

# Department of Veterans Affairs (VA) Seeks to Lease Outpatient Clinic and 50 On-Site Surface Parking Spaces in Chula Vista, California

**Solicitation Number: VA262-14-R-0091**

## **REQUIREMENT:**

The Department of Veterans Affairs (VA) occupies clinical and related space in a building under lease in the City of Chula Vista, CA that will be expiring June 30, 2014. The VA seeks to lease at an alternative location a minimum 8,995 net usable square feet (NUSF), with a maximum 10,000 Rentable Square Feet (RSF), and 50 parking spaces for use by VA as an outpatient clinic (OPC) in Chula Vista, California.

For this requirement, VA will only consider expressions of interest for an **existing space for lease**.

The building and parking area must be fully accessible, meeting all requirements of the Americans with Disabilities Act and the Uniform Federal Accessibility Standards. The building must comply with the Interagency Security Committee Security Design Criteria for New Federal Office Buildings and Major Modernization Projects as well as other security guidelines, which will be provided during the Solicitation for Offers process.

## **Parking Requirements:**

On-site parking must 1) be dedicated for the exclusive use of VA; 2) be fully compliant with local laws, rules and regulations; 3) total no less than fifty (50) surface parking spaces adjacent to the building; 4) at least four (4) of the parking spaces shall be handicapped designated; 5) All spaces shall be sized in accordance with design standards as described in the VA Design Guide.

The lease shall be up to ten (10) years firm term.

## **DELINEATED AREA:**

The delineated area is defined as follows:

West - I-5 San Diego Freeway

North – SR-54 Filipino-American Hwy/Inlet

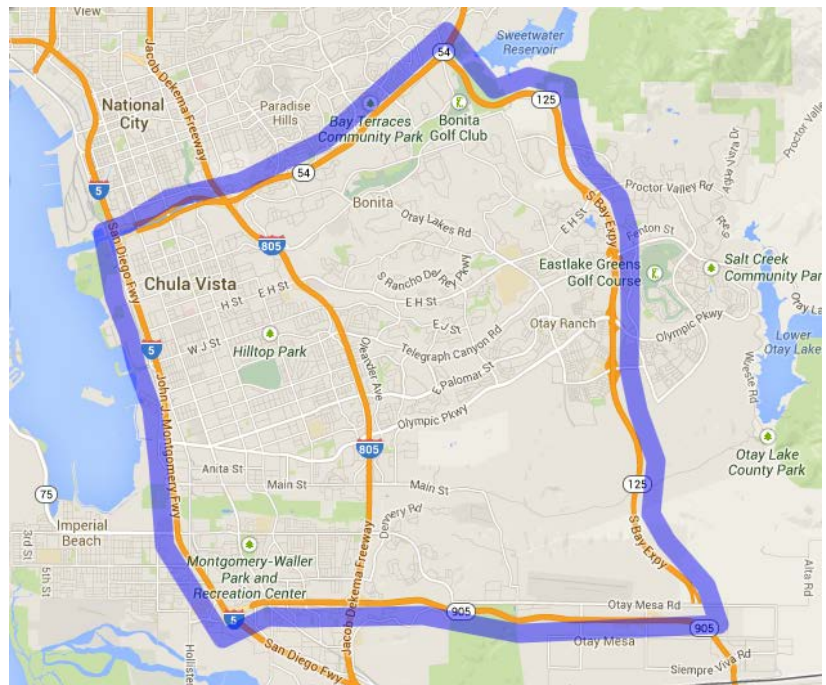
East - SR-125 South Bay Expressway

South - SR-905 Otay Mesa Freeway

## **EXPRESSIONS OF INTEREST:**

Should Include:

1. Building name, address and location of the available space within the building
2. Rentable square feet available, and expected fully serviced rental rate per rentable square foot
3. ANSI/BOMA office area (ABOA) square feet to be offered, and expected rental rate per ABOA square foot, fully serviced. Indicated whether the quoted rental rate includes an amount for tenant improvements and state the amount, if any
4. Date of space availability
5. Building ownership information
6. Number of parking spaces available for VA use
7. Energy efficiency and renewable energy features existing within the building.
8. List of building services provided



Buildings offered must meet all current Federal, State, and local codes and regulations, including, but not limited to fire and life safety, accessibility, OSHA, and seismic protection. If the rent is to escalate, the VA requests rental escalations to be predetermined rather than unknown escalations such as the Consumer Price Index (CPI) formula or like. The VA shall pay rent in arrears.

**Interested offerors (owners, brokers, or their legal representatives) should submit their information no later than December 10, 2013, at 2:00 PM PST to:**

Krista Lestina  
NCO 22 Contracting Officer  
4811 Airport Plaza Drive, Suite 600  
Long Beach, CA 90815  
(562) 766-2246 (phone)  
(562) 346-1703 (fax)  
[Krista.Lestina@va.gov](mailto:Krista.Lestina@va.gov)

Rentable Square Feet does not include such areas as stairs, elevators, mechanical and utility rooms, ducts, shafts, vestibules and public corridors, and public toilets required by local code.

The Government is limited by law (41 C.F.R. Â§ 102-73.55) to pay no more than the appraised fair rental value for space.

**RESPONDENTS ARE ADVISED THAT THE VA ASSUMES NO RESPONSIBILITY TO AWARD A LEASE  
BASED UPON RESPONSES TO THIS ADVERTISEMENT.**