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PreBid RFI Responses

Date	January 31, 2014	Subject	Pre-Bid RFI Responses
Project	VA Salisbury - Bldg 42 Phase III		
Project No	09-0005.03	Prepared By	Frank Freeman

RPA Design offers the following responses to Requests for Information we have received during the bidding process. The question received is in italics. Our response is in bold.

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- 1. The elevator tower is indicated in Phase B. This is stated to be the first phase along with Phase A to be complete. Please indicate that the Day Room 1D112 and 2D112 can be included in Phase B to properly do building tie-ins and demo necessary to construct the elevator tower.*

Response: It is acceptable to include rooms 1D112 and 2D112 in phase B if beneficial to the construction of the elevator tower. The rooms need to stay in operation while the structural components of the elevator tower are erected. The rooms may be taken for construction use when utility tie-in is required. Coordinate dates of closure with resident engineer. All life safety and infection control protection measures must be in place prior to initiating construction. Coordinate with alternates.
 - 2. Please indicate if depressed slabs with grout beds exist in other areas not shown on drawings. During the site visit, it was observed that there were multiple bathroom and HK closets that do not indicate a depressed slab at these locations.*

Response: The existing drawings do not call by room name, number, type, or locations of depressed slabs. Based on previous phases, all rooms with a floor drain should be considered to have a depressed slab.
 - 3. Will it be possible for the GC to remove a section of the brick wall at the ground floor east of the new proposed fountain for access of materials and equipment?*

Response: It is acceptable to remove a section of the brick wall. Upon completion of the construction, the wall must be reconstructed to match prior form. See revised sheet AS101 for locations.
 - 4. Please indicate a lay-down area for this project.*

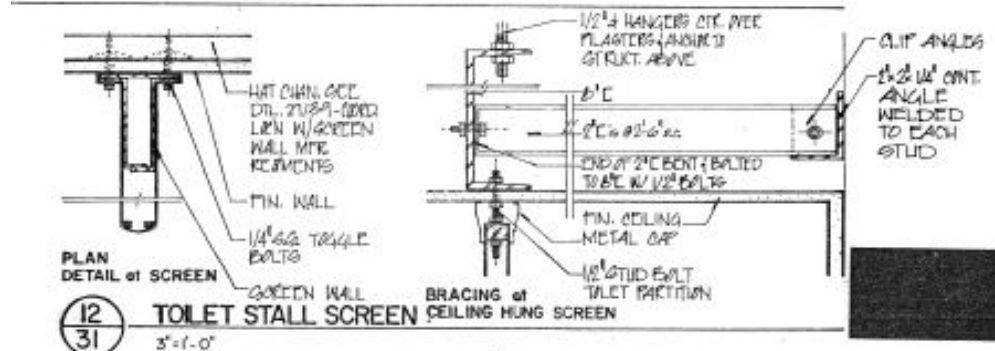
Response: See revised sheet AS101 for approximate location of lay-down area.
 - 5. Will it be possible to remove existing windows to allow trash chute and dumpster access or will all demo need to be removed via existing stairwells?*

Response: It is acceptable to remove existing windows. Upon completion of the construction, the window(s) must be reconstructed to match prior form. See revised sheet AS101 for notation.
 - 6. Please indicate finishes and ceiling types on ground floor under C-wing and how the plumbing demo will occur. Will this space be available at all times or only at night? This area is stated to be a Hoptel. Will the VA confirm that this space will not be used during plumbing demo and concrete infill portions for old duct and line being removed?*

Response: Finishes for the ceiling components of the Hoptel are: GYP and ACT-1. ACT-1 is Certain Teed, Fine Fissured, 24 x 24, Reveal Edge (beveled), HHF-154. Grid: white, 15/16". Coordinate availability and procedures for renovations with Contracting Officer's Representative.

7. *It appears that the toilet partitions in all large common bathroom are suspended above ceiling. Please confirm if structural steel is supporting it. If so, does this steel need to be removed? Contractors not able to verify due to denied access.*

Response: Existing document details the bracing at the ceiling hung partition as a system of channels suspended by rods to the structure above. See diagram below.



8. *Please indicate the type and brand of roof on B 42 due to the large number of roof patches needed for all the associated demo.*

Response: The roof is a 3-ply built-up bituminous roof with 1-ply mineral surfaced cap. Roofing is a Tremco system. Roof was installed in 2010.

9. *Please provide a detail for the build of the 1" to 1 1/2" build-up at the patient room bathrooms. Also indicate if an additional ramp will be needed in every room since the build-up at the doorway will not be ADA compliant.*

Response: The LVT flooring in the resident room is to be "feathered" up to floor transition to meet the floor tile in the bathroom. A 3" x 3" tile has been specified in the bathrooms to work with the floor slope easier than the 6" x 6", which was specified on phase 2.

10. *Please indicate on drawing A012 why general notes are incorporated into the drawing notes. Drawing note 21 has a typo and note 22 is not used.*

Response: Drawing revised to remove overlap.

11. *Drawing note 6 on multiple pages indicates that the patient lift is to be removed. This note is not shown in every room. Please indicate if indeed each room will have the patient lift removed.*

Response: Contractor shall anticipate removing a patient lift from each resident room. Note that lifts vary in size based on the number of beds in the room.

12. *No above ceiling inspection was allowed and existing column wraps were not visible. Please indicate a quantity of columns that need to be demoed and fire proofed.*

Response: All conditions to be verified during demolition. Approximated quantity of columns requiring correction:

First Floor – 20

Second Floor – 20

13. *General note 7 on AD101 states to repair/replace spray applied fire proofing where work exposes structural steel members. Does this mean that the contractor is responsible for only areas disturbed by demo or existing conditions where there is missing fire proofing on steel members? If the contractor is responsible for existing conditions, please quantify how much steel will need to be fire proofed due to the fact that the VA denied access to above ceiling areas.*

Response: Contractor is responsible for areas disturbed or exposed in the project area. Drawing note 21 on A011 and A012 included in areas where braces are expected based on the existing building drawings.

14. *What is Finish LW-1? It is not indicated on the finish schedule.*

Response: LW-1 is an incorrect abbreviation. LW-1 should be FW-1 and LW-2 is to be FW-2. See revise sheet IF104.

15. *Sheet A014 indicates on demolition note 15 to remove existing guardrail. Please indicate if all glass block, metal handrail and glazing is to be removed from this area.*

Response: The intention is to remove all glass block, metal handrails, and glazing in the area.

16. *Drawing E503 and specification section 28 31 indicates that the existing fire alarm panel is a NFS 2 3030. The existing panel is NFS 640 with only 2 loops. The NFS 3030 panel that does not exist and show on drawings and specs has 4 loops. The current NFS 320 existing panel will need to be updated to a NFS 2 3030 along with E-Vac system since the existing NFS panel will not interface with the non-existent NFS 3030 shown on drawings. The current panel is at full capacity and can hold no more points. Please indicate that the VA will update the current NFS 640 panel to the NFS 2 3030 panel needed to handle the load Phase III will put on the system.*

Response: A new NFS 640 panel shall be installed adjacent to the existing panel or located in electrical room BA108. This new panel shall be connected to the existing panel via a 4C/#14 AWG communications cable. All new SLC loops for the renovated wings shall be routed to this new panel. Provide a new 120V/20A/single pole breaker, (3) #12, in 3/4" conduit from panel ELGL-5 to power this panel.

17. *Room 2C 136 will only accommodate 3 electrical panels. The drawings show six to be installed. Per code, the room will not be able to hold the three extra panels or the two new transformers in this space. Please confirm where these extra panel and transformers will be installed.*

Response: On sheet E121C, the enlarged electrical room floor plan shows tranformer T-2WL and panel 2WH being removed. The enlarged detail room number is 2C136 not 2C36. Removing the panel and the transformer will create room for the new panels and transformer.

18. *Room 2D 135 will only accommodate three electrical panels. The drawings show six to be installed. Per code, the room will not be able to hold the three extra panels or the one new transformer in this space. Please confirm where these extra panels and tranformer will be installed.*

Response: On sheet E121D, the enlarged electrical room floor plan shows the existing panels 2NL section 1 & 2 and panel 2NH being removed. These panels should have been noted as "ETBD" or existing to be demolished.

19. *In Room A100, the drawings state that a new electrical panel is to be installed in this room. Currently there is no room to add any additional panels. Please confirm the location of this panel.*

Response: On sheet E311D, panel EE1CL is located in electrical room 1D 135.

20. Will the new elevator and equipment room require a sprinkler system? If so, please provide information on how to tie it in.

Response: A new sprinkler system is required for the elevator. The requirements are shown in the notes on sheet FP001. The fire protection dwgs are a performance spec design and do not show sprinkler piping and head layout. It is the responsibility of the fire protection contractor to provide hydraulic calculations and show piping and tie-in locations.

21. There are two specification sections covering window treatments. 122400 "Window Shades" (for cloth shades and blinds) and 12490 "Roller Shades" (covering both manually-operated and motor-operated shades). However, the drawings make no delineation as to what product is to be used at specific windows other than Note 12 on the IF drawings which states: "All windows to receive roller shades RS01 UON". On drawing IF601, RS-1 is specified to be MechoShade Eco Veil 1550 Series, but that's no help since what is specified is only the shade fabric itself and there is no mention as to whether RS-1 shades are manually-operated or motor-operated. Please provide a comprehensive list of rooms for each type of shade specified in Sections 122400 and 124940.

Response:

Section 12 49 40

All living rooms, office/consult rooms, dining rooms, private dining rooms, and lounges are to receive RS-1. RS-1 is to be equal to Mecho Systems – Mecho /5 – Manually Operated. Fabric for shade to be equal to Mecho Shade EcoVeil 1550 Series.

Section 12 24 00

This section is not required.

22. Detail 1/S402 states that canopy is by others, detail 4/A504 does not. Which is correct?

Response: Canopy shall be provided in this project. Structural Engineer of Record has accommodated approximate loading only. The canopy manufacturer shall be responsible for verifying conditions and generating the project specific design.

23. Alternate 2 deletes outdoor fountain. Will the area where fountain was have slab?

Response: The proposed location for the fountain is currently a large sidewalk. That sidewalk shall remain unchanged if Alternate #2 is taken.

24. Alternate 1 deletes fireplaces and replaces with adjustable shelves. Will these shelves match adjacent millwork and how many shelves?

Response: As stated in 1.2.B.5 in spec section 01 00 00, infill with two (2) sets of two (2) adjustable shelving units. Match finish of other casework in room.

25. Alternate 4 deletes work in four rooms. Alternate calls for new paint and flooring. Will the existing ceiling remain or will there be a new one?

Response: Existing ceiling to remain.

26. Detail 3/A123 calls for ACT-9 in IB111 Game Room. IF101B calls for ACT-5. Which is correct and will Lounge 2B154 be the same?

Response: Ceiling to be ACT-9 in Game Room 1B151, as well as in Lounge 1D112, Lounge 2B154 and Lounge 2D112.

27. WC Stretcher IB155, IC111, 2B155, and 2C111 call for ceilings to be N.I.C. on sheets A121B and A122B. IF101B and IF102B call for ACT-2. Which is correct?

Response: Ceilings are NIC (not in contract) for the following rooms. 1B150, 1C111, 1C129, 1D111, 2B155, 2C111, 2C129, AND 2D111. See revised sheets IF101B, 1F101C, 1F102B and IF102C.

28. *Note: Expansion joint has been identified in D Wing at the first floor only.*

Response: See revised sheet A101C.

29. *How do we get approval to bid an item that will meet or exceed the specifications?*

Response: Any “or equal” products would be submitted to the Government for review after the contract has been awarded. During the submittal phase, the Government will make a determination as the acceptability/unacceptability of any proposed “or equal” item.

-End of Responses-