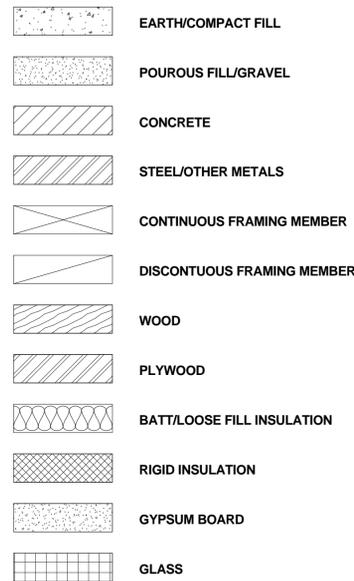


ABBREVIATION MEANING

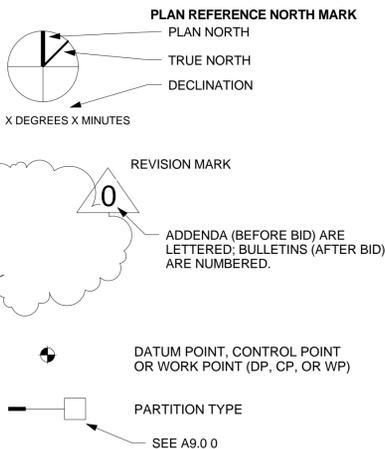
(E) EXISTING
(N) NEW
(P) PROTECT
(R) REMOVE
(S) SALVAGE
ACX PLYWOOD GRADE ACX
ADJ ADJUSTABLE
AFF ABOVE FINISH FLOOR
AHJ AIR HANDLING UNIT
B.O. BOTTOM OF
BLDG BUILDING
BS* BACKING SYSTEM, SEE DETAILS.
C.L. CENTERLINE
CDX PLYWOOD GRADE CDX
CLG CEILING
CLO CLOSET
CLR CLEAR
CMP COMPOSITE METAL PANEL
CMU CONCRETE MASONRY UNIT
CONC CONCRETE
CONT CONTINUOUS
CPT* CARPET
CT CERAMIC TILE
CTR CENTER
CTSK COUNTERSINK
DATA DATA OUTLET
DBL DOUBLE
DIST DISTANCE
DUP DUPLEX CONVENIENCE OUTLET
EIFS EXTERIOR INSULATION AND FINISH SYSTEM
EJ EXPANSION JOINT
EP* EXTERIOR PAINT
EPDM ETHYLENE PROPYLENE DIENE MONOMER
EQ EQUAL
ERU ENERGY RECOVERY UNIT
F.O... FACE OF
FA FIRE ALARM
FD FLOOR DRAIN
FDN FOUNDATION
FE FIRE EXTINGUISHER
FEC FIRE EXTINGUISHER CABINET
FIN FINISH
FLR FLOOR
FSW FLOWING SEA WATER
FTG FOOTING
FTR FIN TUB RADIATOR
FU FURNACE UNIT
GA GAUGE
GALV GALVANIZED
GB* GRAB BAR
GFI GROUND FAULT INTERRUPT
GSM GALVANIZED SHEET METAL
GWB GYPSUM WALL BOARD
HB HOSE BIBB
HDWD HARDWOOD
HM HOLLOW METAL
HR HOUR
IBC INTERNATIONAL BUILDING CODE
ID INSIDE DIAMETER
IF(O) INSIDE FACE (OF)
IP* INTERIOR PAINT
JAN JANITOR
JBOX JUNCTION BOX
JT JOINT
LVL LAMINATED VENEER LUMBER
ME/EP MECHANICAL/ELECTRICAL/PLUMBING
MAX MAXIMUM
MB* MARKER BOARD
MIN MINIMUM
MIN MINUTE
MJ MOVEMENT JOINT
MTD MOUNTED
NFPA NATIONAL FIRE PROTECTION ASSOCIATION
OA OVERALL
OC ON CENTER
OD OUTSIDE DIAMETER
OF(O) OUTSIDE FACE (OF)
OF(C) OWNER FURNISHED CONTRACTOR INSTALLED
OF(OI) OWNER FURNISHED OWNER INSTALLED
OH OPPOSITE HAND
PEN PENETRATION
PERP PERPENDICULAR
PL* PLASTIC LAMINATE
PLY PLYWOOD
PM POWER MONUMENT
PS* PROJECTION SCREEN
PSL PARALLEL STRAND LUMBER
QCO QUAD CONVENIENCE OUTLET
R.O ROUGH OPENING
RB RUBBER BASE
RD ROOF DRAIN
RF* RESINOUS FLOOR
RFT* RESILIENT FLOOR TILE
RJ* REVEAL JOINT
RS RESILIENT SHEET
RS* ROOM SIGN
RWL RAIN WATER LEADER
SC* SUSPENDED CEILING
SIM SIMILAR
SPLIT SPLIT DATA/PHONE JACK
ST STL STAINLESS STEEL
T.O... TOP OF
TB* TACK BOARD
TEL TELEPHONE
TGM* TEMPERED GLASS MIRROR
TPO THERMOPLASTIC POLYOLEFIN
TYP TYPICAL
UN UNLESS OTHERWISE NOTED
UV UNIT VENTILATOR
WO WHERE OCCURS
WS* WORK SURFACE
WT* WINDOW TREATMENT

1. SEE ADDITIONAL ABBREVIATIONS ON ELECTRICAL, STRUCTURAL AND MECHANICAL DRAWINGS
2. ABBREVIATIONS ENDING IN * INDICATE SCHEDULED ITEMS, SUCH AS INTERIOR PAINT (IP1, IP2...)
3. SEE CASEWORK TYPES FOR CASEWORK NOMENCLATURE
4. SEE WALL TYPES FOR WALL NOMENCLATURE

ABBREVIATIONS ①
12" = 1'-0"



MATERIAL SYMBOLS ②
1" = 1'-0"

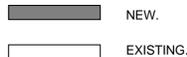


WALL TYPES.

ON DEMOLITION SHEETS:



ON NEW WORK SHEETS:



DRAFTING SYMBOLS ③
1" = 1'-0"

| DOOR SCHEDULE | | | | | |
|---------------|------------|----------------|---------|----------------|-------------------|
| MARK | PANEL SIZE | FRAME MATERIAL | FINISH | PANEL MATERIAL | Comments |
| 1 | 3 0W 6 3T | VINYL | FACTORY | FIBERGLASS | VERIFY R.O HEIGHT |
| 2 | 3 0W 6 8T | WOOD | PTD | SC WOOD | |
| 3 | 3 0W 6 8T | WOOD | PTD | SC WOOD | |
| 4 | 3 0W 6 8T | WOOD | PTD | SC WOOD | |
| 5 | 3 0W 6 3T | VINYL | FACTORY | FIBERGLASS | VERIFY R.O HEIGHT |

Grand total: 5

SPECIFICATIONS
1/4" = 1'-0"

Contractor shall be solely responsible for constructions means, methods, techniques, sequences and procedures and for safety precautions and programs in connection with the work.

Limit use of Project site to work in areas indicated. Keep driveways, garages and entrances serving premises clear and available to Owner and emergency vehicles at all times. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize use of driveways and entrances by construction operations. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site. Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.

Owner will occupy building during entire construction period. Cooperate with Owner to minimize conflicts and facilitate Owner usage. Perform Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated.

Limit work to normal business working hours of 8:00 am to 5:00 pm, Monday through Friday, unless otherwise indicated and as coordinated with VA and homeowner. Do not interrupt utilities without Owner's written permission. Use of tobacco products and other controlled substances on Project site is not permitted.

Provide temporary toilets, wash facilities, and drinking water for use of construction personnel. Comply with requirements of authorities having jurisdiction for type, number, location, operation, and maintenance of fixtures and facilities. Toilet facilities shall be kept supplied and clean and in sanitary condition until the completion of the work and then shall be removed from the site. Upon removal the site shall be properly cleaned and graded.

Use parking areas designated by Owner.

Provide waste-collection containers in sizes adequate to handle waste from construction operations. Comply with requirements of authorities having jurisdiction.

The contractor shall provide and maintain for duration of work all required temporary stairs, ladders, ramps, runways and hoists for use of all trades.

The contractor shall provide barriers to protect existing conditions from damage from construction operations and demolition.

All materials, supplies and equipment shall be installed per manufacturer's recommendations and per applicable codes and requirements. All items not specifically mentioned that are required to make the work complete and operational shall be included.

Material stored on site shall be protected from damage by moisture, wind, sun, abuse or any other harmful effects.

Provide blocking as required.

Plumbing and Electrical systems shall conform to current building codes.

Selective Demolition:

General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:

1. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.
2. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.
3. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.
4. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
5. Dispose of demolished items and materials promptly.

Salvage bathroom mirrors and light fixtures for reinstallation. Do not demolish building elements beyond what is indicated on Drawings without VA Representative's approval. Disposal: Transport demolished materials off Owner's property and legally dispose of them.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.

Bituminous Paving: Hot mix asphalt binder and finish course complying with MDOT 401-Hot Mix Asphalt Supplemental Specification. Binder course minimum two-inch thickness. Finish course minimum two-inch thickness.

All lumber shall be minimum SPF no. 1/no. 2 unless otherwise noted.

Door 1: Thermatru insulated fiberglass door, vinyl frame, outswing screen door. Match existing hardware. Doors 2, 3, 4: Wood frames, 1-3/8-in solid core wood doors, match existing door style and hardware.

Door 5: Thermatru Smooth-star full stile lines, S118, insulated clear glass door lite. Tempered. No grille. Public access sill with thermal break.

Toilet: Sterling Riverton Luxury Height Elongated 2-Piece, Low Consumption Toilet #402532 ADA height bowl, with seat or equal. Color: White. Provide supply line in new location as indicated on drawings.

Lavatory: Sterling Sanibel Self-rimming Lavatory #442008 with 8" center holes or equal. Color: White.

Lavatory Faucet: Delta Lorain Lavatory Faucet, two handle widespread, deck mount, 3-hole sink 8" center widespread installation or equal.

Walk-In Bath: American Standard 3151 Series 31" x 51" Soaking Tub, 55 gallon capacity or equal. Color: White.

Bath Faucet: Delta T4792 Addison Roman Tub Faucet Trim with hand shower and rough-in kit, or equal.

Grab Bars: Bobrick B-6806.99 Series, 1 1/2" diameter stainless steel grab bar with snap flange or equal. Satin finish with peened gripping surface.

GB-3: 36-inch length.

GB-4: 42-inch length.

Shelving Hardware: Knappe & Vogt 255 Series Steel Pilaster Standards and 239 Series Support Clips or equal.

Countertop: Plastic Laminate over 3/4-inch MDF with four-inch splash at back wall.

Plastic Laminate: High-Pressure Decorative Laminate: NEMA LD 3, Grade HGS, Formica, Wilsonart, Lamin-Art or equal. Color and finish to be selected by Owner from manufacturer's full range.

Ceramic Tile: DaTile Sem-Gloss 4-1/4 x 4-1/4 inch wall tile, or equal. Color to be selected by Owner from manufacturer's Group 1 range. Owner to select grout color.

Resilient Flooring: Tarkett FiberFloor Fresh Start, or equal. Color to be selected by Owner from manufacturer's full range. Integral cove at bathroom. Wood baseboard to match existing at other rooms.

All new wood and gypsum board surfaces to be painted. Owner to select color.

SEALANDER ARCHITECTS
79 Main Street, Suite C
Elisworth ME 04605
207.667.7755



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ACCESSIBILITY IMPROVEMENTS

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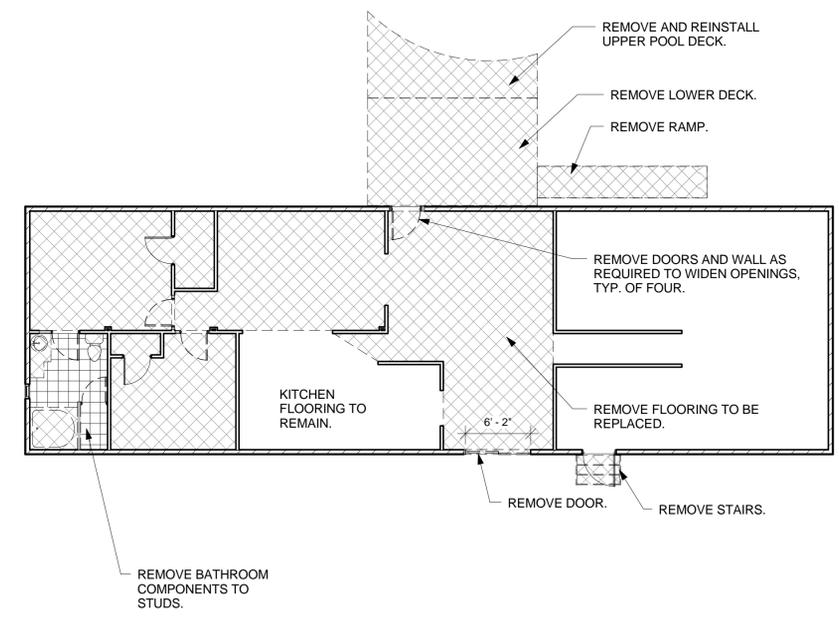
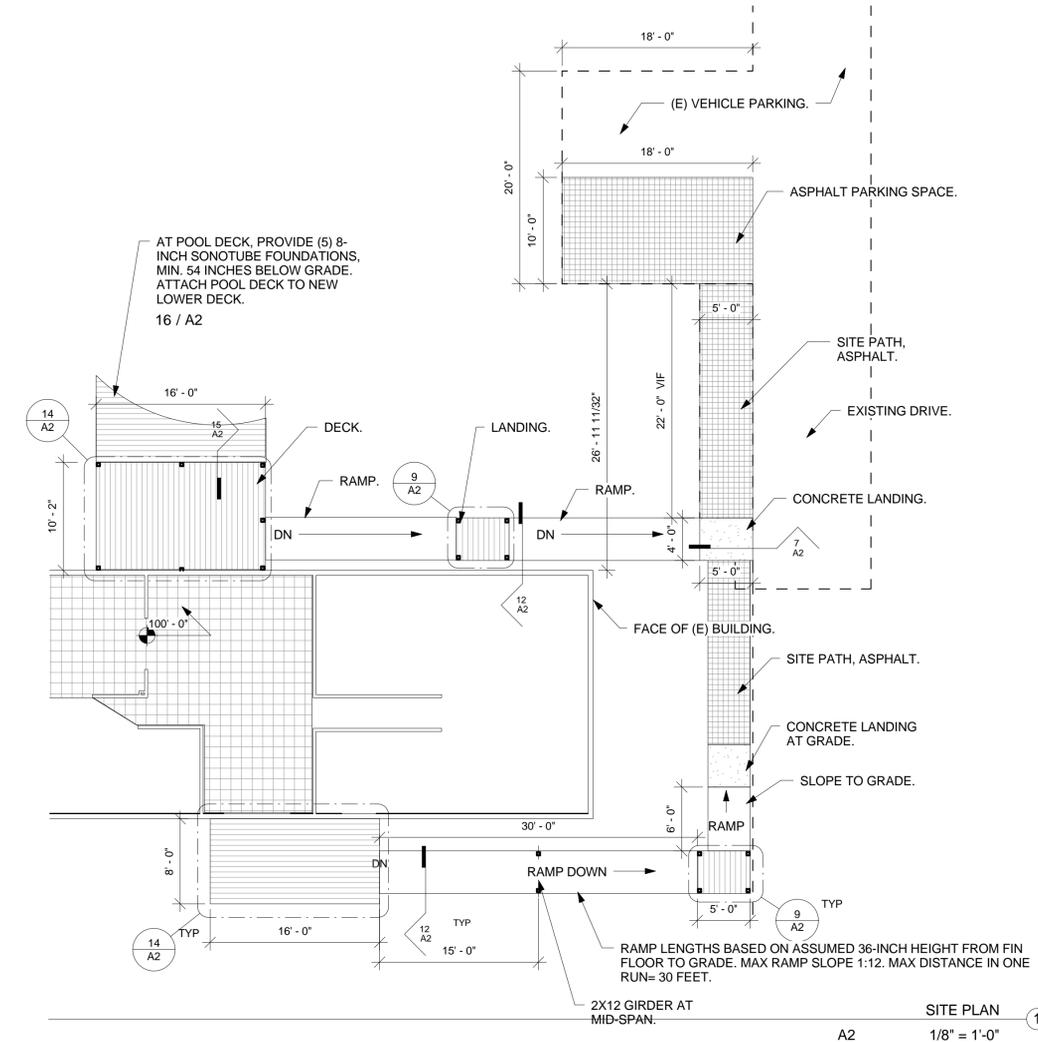


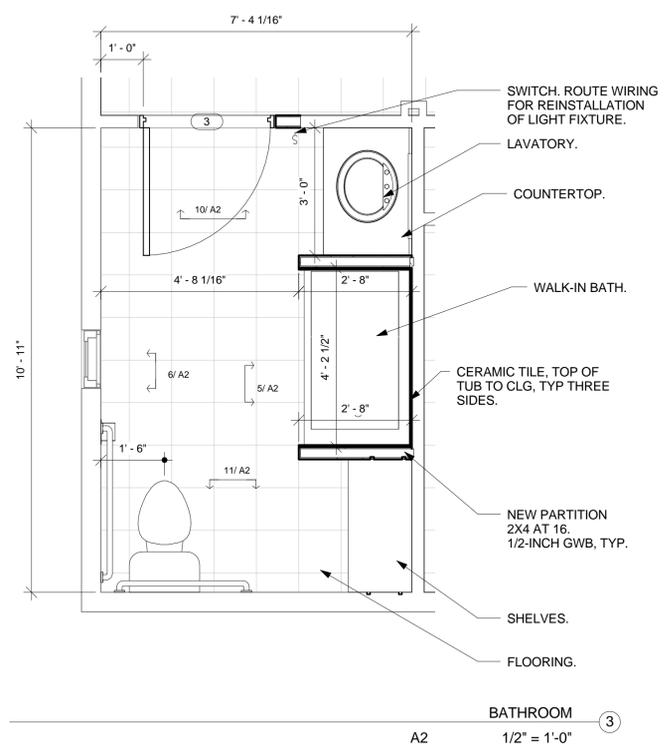
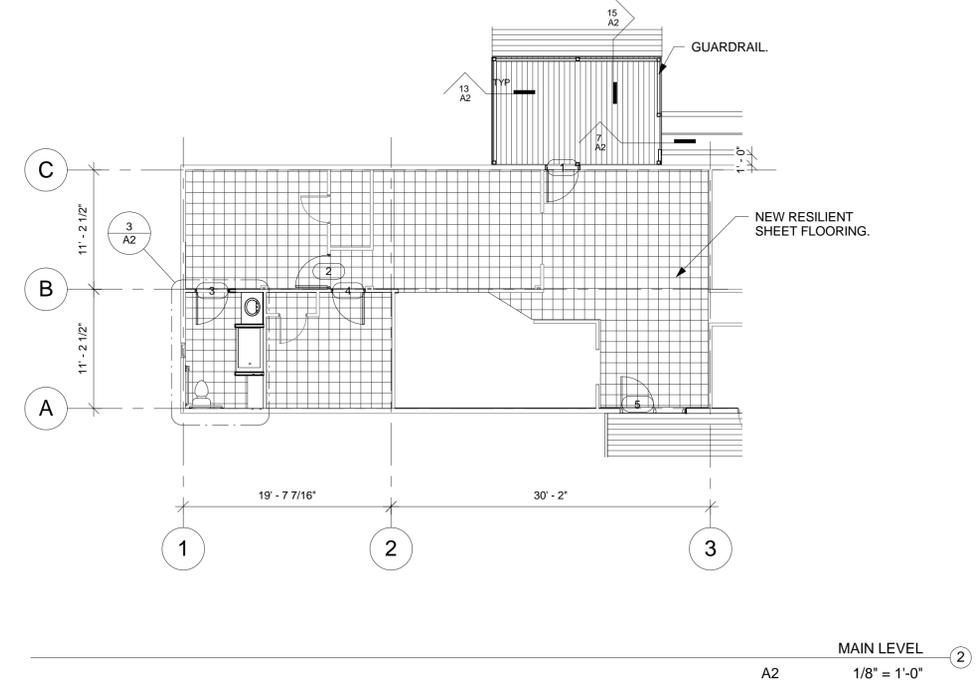
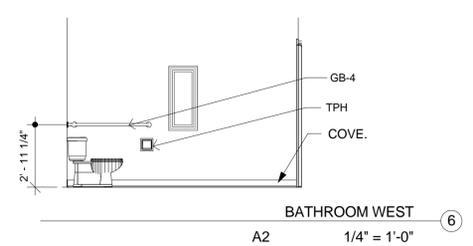
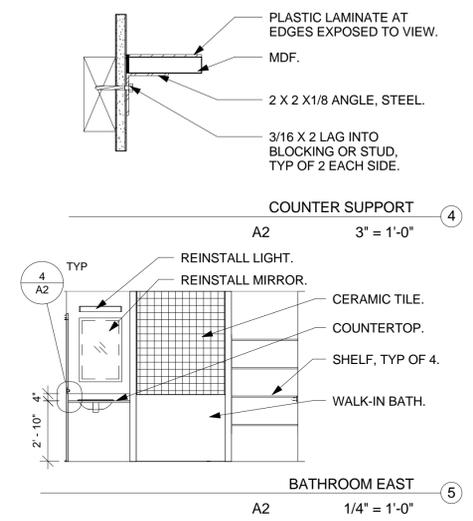
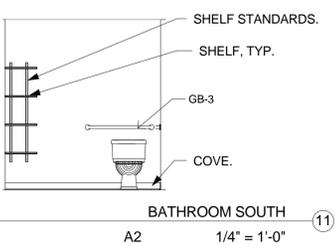
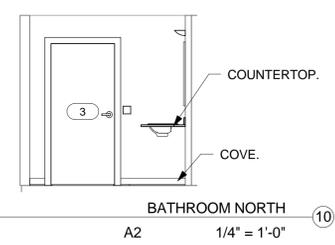
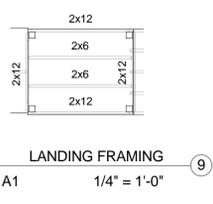
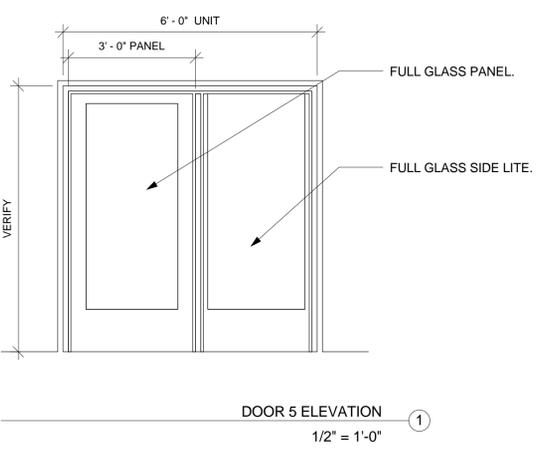
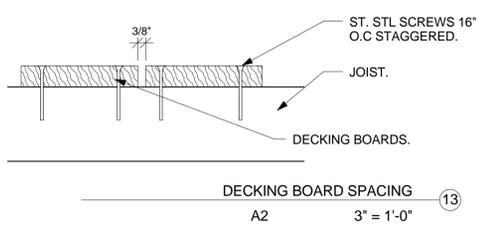
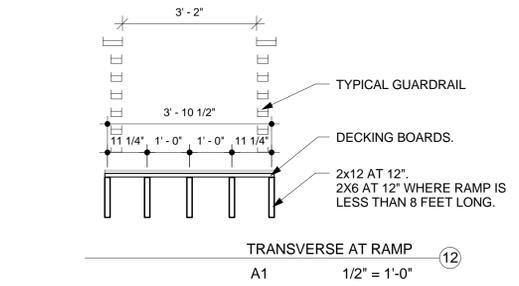
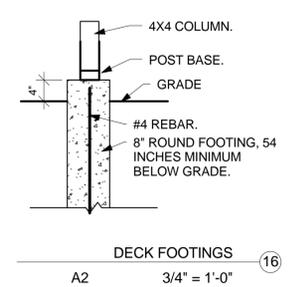
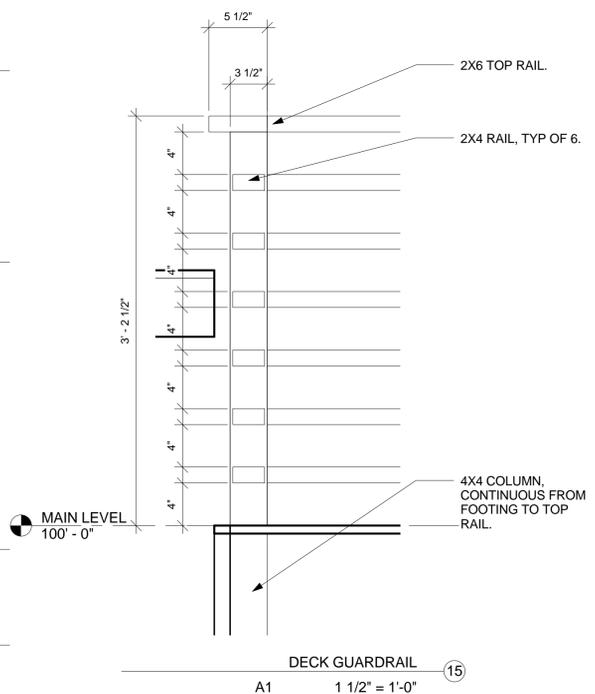
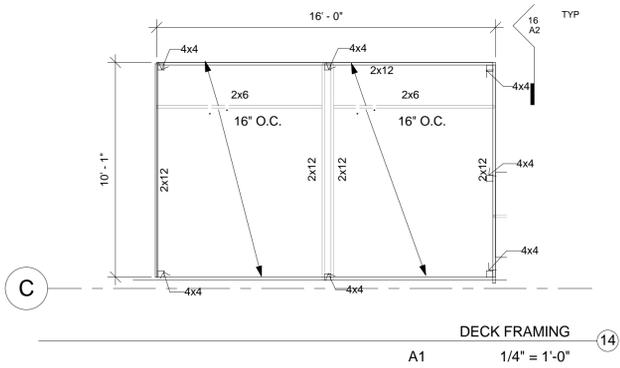
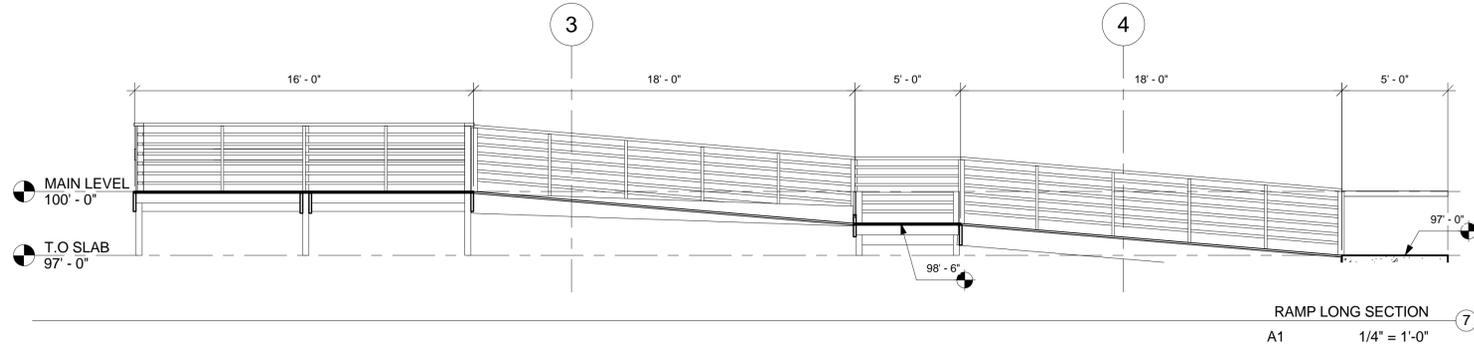
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ACCESSIBILITY IMPROVEMENTS

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