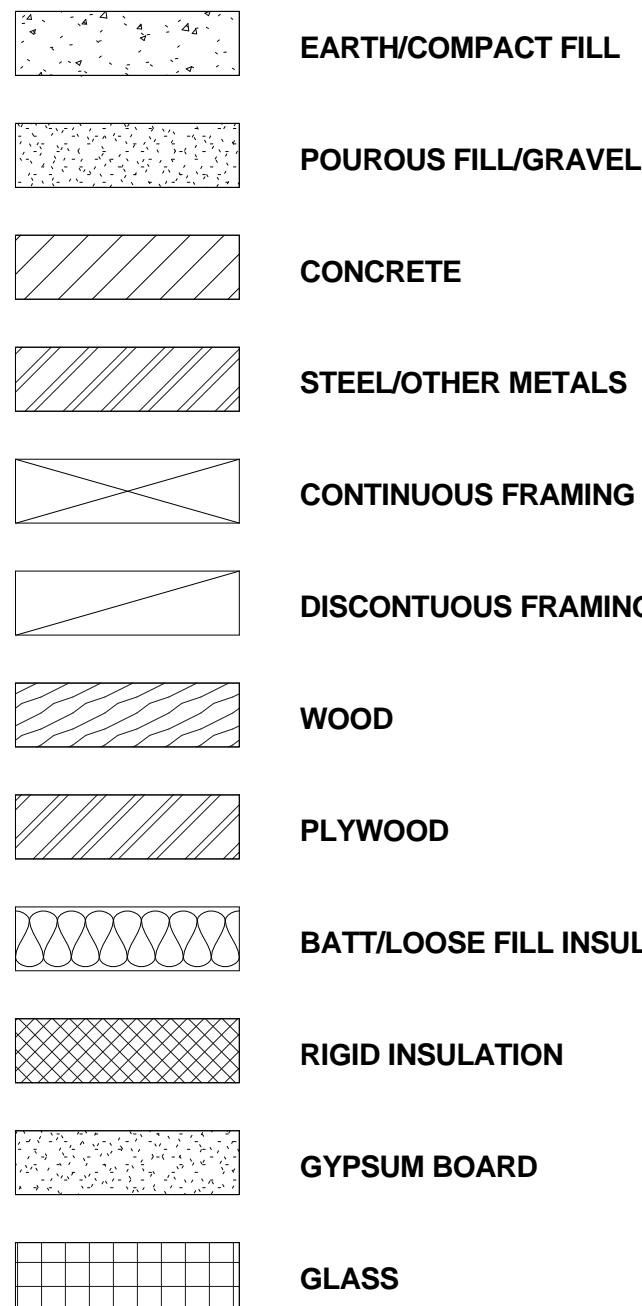
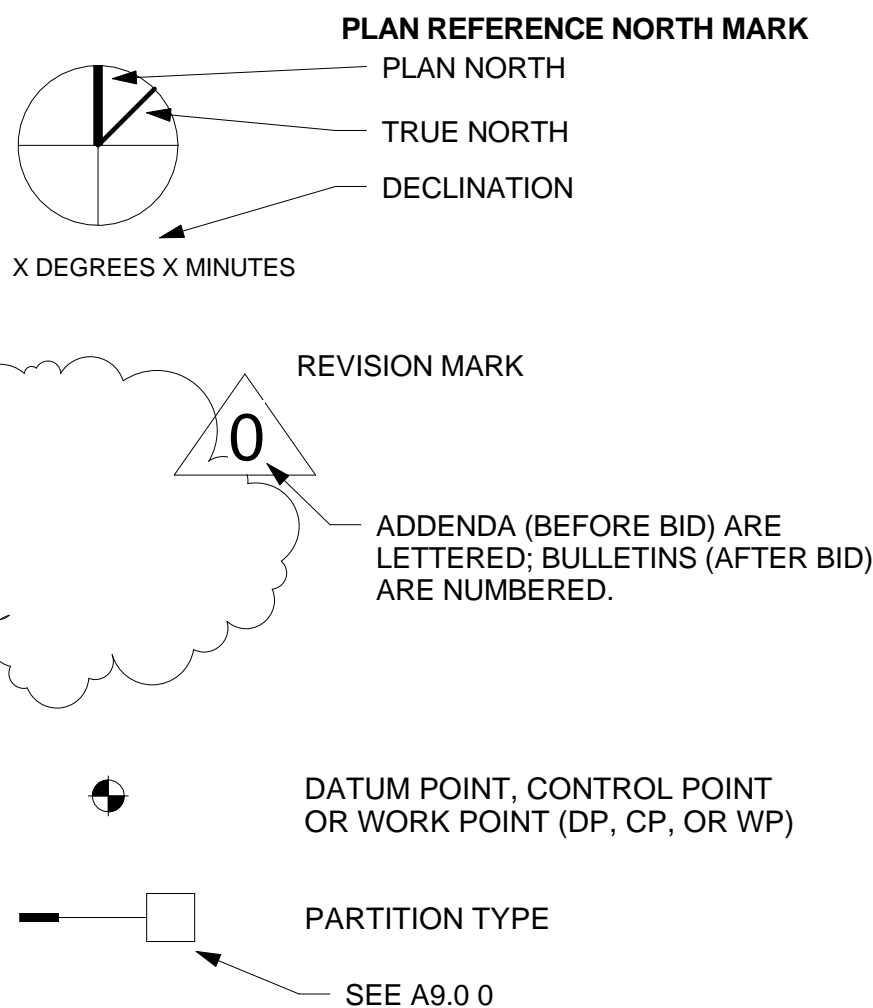


ABBREVIATION MEANING  
(E) EXISTING  
(N) NEW  
(P) PROTECT  
(R) REMOVE  
(S) SALVAGE  
ACX PLYWOOD GRADE ACX  
ADJ ADJUSTABLE  
AFF ABOVE FINISH FLOOR  
AHU AIR HANDLING UNIT  
B.O. BOTTOM OF  
BLDG BUILDING  
BS\* BACKING SYSTEM, SEE DETAILS.  
C.L. CENTERLINE  
CDX PLYWOOD GRADE CDX  
CLS CEILING  
CLO CLOSET  
CLR CLEAR  
CMP COMPOSITE METAL PANEL  
CMU CONCRETE MASONRY UNIT  
CONC CONCRETE  
CONT CONTINUOUS  
CPT\* CARPET  
CT\* CERAMIC TILE  
CTR CENTER  
CTSK COUNTERSINK  
DATA DATA OUTLET  
DBL DOUBLE  
DIST DISTANCE  
DUP DUPLEX CONVENIENCE OUTLET  
EIFS EXTERIOR INSULATION AND FINISH SYSTEM  
EJ EXPANSION JOINT  
EP\* EXTERIOR PAINT  
EPDM ETHYLENE PROPYLENE DIENE MONOMER  
EQ EQUAL  
ERU ENERGY RECOVERY UNIT  
F.O... FACE OF  
FA FIRE ALARM  
FD FLOOR DRAIN  
FDN FOUNDATION  
FE FIRE EXTINGUISHER  
FEC FIRE EXTINGUISHER CABINET  
FIN FINISH  
FLR FLOOR  
FSW FLOWING SEA WATER  
FTG FOOTING  
FTR FIN TUB RADIATOR  
FU FURNACE UNIT  
GA GAUGE  
GALV GALVANIZED  
GB\* GRAB BAR  
GFI GROUND FAULT INTERRUPT  
GSM GALVANIZED SHEET METAL  
GWB GYPSUM WALL BOARD  
HB HOSE BIBB  
HDWD HARDWOOD  
HM HOLLOW METAL  
HR HOUR  
HR HOUR  
IBC INTERNATIONAL BUILDING CODE  
ID INSIDE DIAMETER  
IF(O) INSIDE FACE (OF)  
IP\* INTERIOR PAINT  
JAN. JANITOR  
JBOX JUNCTION BOX  
JT JOINT  
JVL LAMINATED VENEER LUMBER  
ME/P MECHANICAL/ELECTRICAL/PLUMBING  
MAX MAXIMUM  
MB\* MARKER BOARD  
MIN MINIMUM  
MIN MINUTE  
MJ MOVEMENT JOINT  
MTD MOUNTED  
NFPA NATIONAL FIRE PROTECTION ASSOCIATION  
OA OVERALL  
OC ON CENTER  
OD OUTSIDE DIAMETER  
OF(O) OUTSIDE FACE (OF)  
OFCI OWNER FURNISHED CONTRACTOR INSTALLED  
OFOI OWNER FURNISHED OWNER INSTALLED  
OH OPPOSITE HAND  
PEN PENETRATION  
PERP PERPENDICULAR  
PL\* PLASTIC LAMINATE  
PLY PLYWOOD  
PM POWER MONUMENT  
PS\* PROJECTION SCREEN  
PSL PARALLEL STRAND LUMBER  
QCO QUAD CONVENIENCE OUTLET  
R.O ROUGH OPENING  
RB RUBBER BASE  
RD ROOF DRAIN  
RF\* RESINOUS FLOOR  
RFT\* RESILIENT FLOOR TILE  
RJ\* REVEAL JOINT  
RS\* RESILIENT SHEET  
RS\* ROOM SIGN  
RWL RAIN WATER LEADER  
SC-\* SUSPENDED CEILING  
SIM SIMILAR  
SPLIT SPLIT DATA/PHONE JACK  
ST STL STAINLESS STEEL  
T.O... TOP OF  
TB\* TACK BOARD  
TEL TELEPHONE  
TGM\* TEMPERED GLASS MIRROR  
TPO THERMOPLASTIC POLYOLEFIN  
TYP TYPICAL  
UCN UNLESS OTHERWISE NOTED  
UV UNIT VENTILATOR  
WO WHERE OCCURS  
WS\* WORK SURFACE  
WT\* WINDOW TREATMENT  
1. SEE ADDITIONAL ABBREVIATIONS ON ELECTRICAL, STRUCTURAL AND MECHANICAL DRAWINGS  
2. ABBREVIATIONS ENDING IN \* INDICATE SCHEDULED ITEMS, SUCH AS INTERIOR PAINT (IP1, IP2...)  
3. SEE CASEWORK TYPES FOR CASEWORK NOMENCLATURE  
4. SEE WALL TYPES FOR WALL NOMENCLATURE

ABBREVIATIONS ①  
12" = 1'-0"



MATERIAL SYMBOLS ②  
1" = 1'-0"

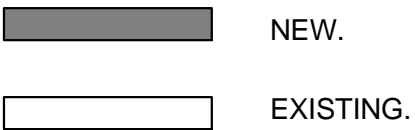


WALL TYPES.

ON DEMOLITION SHEETS:



ON NEW WORK SHEETS:



DRAFTING SYMBOLS ③  
1" = 1'-0"

DOOR SCHEDULE					
MARK	PANEL SIZE	FRAME MATERIAL	FINISH	PANEL MATERIAL	Comments
1	3 0W 6 3T	VINYL	FACTORY	FIBERGLASS	VERIFY R.O HEIGHT
2	3 0W 6 8T	WOOD	PTD	SC WOOD	
3	3 0W 6 8T	WOOD	PTD	SC WOOD	
4	3 0W 6 8T	WOOD	PTD	SC WOOD	
5	3 0W 6 3T	VINYL	FACTORY	FIBERGLASS	VERIFY R.O HEIGHT

Grand total: 5

SPECIFICATIONS  
1/4" = 1'-0"

Contractor shall be solely responsible for constructions means, methods, techniques, sequences and procedures and for safety precautions and programs in connection with the work.

Limit use of Project site to work in areas indicated. Keep driveways, garages and entrances serving premises clear and available to Owner and emergency vehicles at all times. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize use of driveways and entrances by construction operations. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site. Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.

Owner will occupy building during entire construction period. Cooperate with Owner to minimize conflicts and facilitate Owner usage. Perform Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated.

Limit work to normal business working hours of 8:00 am to 5:00 pm, Monday through Friday, unless otherwise indicated and as coordinated with VA and homeowner. Do not interrupt utilities without Owner's written permission. Use of tobacco products and other controlled substances on Project site is not permitted.

Provide temporary toilets, wash facilities, and drinking water for use of construction personnel. Comply with requirements of authorities having jurisdiction for type, number, location, operation, and maintenance of fixtures and facilities. Toilet facilities shall be kept supplied and clean and in sanitary condition until the completion of the work and then shall be removed from the site. Upon removal the site shall be properly cleaned and graded.

Use parking areas designated by Owner.

Provide waste-collection containers in sizes adequate to handle waste from construction operations. Comply with requirements of authorities having jurisdiction.

The contractor shall provide and maintain for duration of work all required temporary stairs, ladders, ramps, runways and hoists for use of all trades.

The contractor shall provide barriers to protect existing conditions from damage from construction operations and demolition.

All materials, supplies and equipment shall be installed per manufacturer's recommendations and per applicable codes and requirements. All Items not specifically mentioned that are required to make the work complete and operational shall be included.

Material stored on site shall be protected from damage by moisture, wind, sun, abuse or any other harmful effects.

Provide blocking as required.

Plumbing and Electrical systems shall conform to current building codes.

Selective Demolition:  
General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:  
1. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.  
2. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.  
3. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.  
4. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.  
5. Dispose of demolished items and materials promptly.

Salvage bathroom mirrors and light fixtures for reinstallation. Do not demolish building elements beyond what is indicated on Drawings without VA Representative's approval.  
Disposal: Transport demolished materials off Owner's property and legally dispose of them.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.

Bituminous Paving: Hot mix asphalt binder and finish course complying with MDOT 401-Hot Mix Asphalt Supplemental Specification. Binder course minimum two-inch thickness. Finish course minimum two-inch thickness.

All lumber shall be minimum SPF no. 1/no. 2 unless otherwise noted.

Door 1: Thermatru insulated fiberglass door, vinyl frame, outswing screen door. Match existing hardware.  
Doors 2, 3, 4: Wood frames, 1-3/8-in solid core wood doors, match existing door style and hardware.  
Door 5: Thermatru Smooth-star full stile lines, S118, insulated clear glass door lite. Tempered. No grille. Public access sill with thermal break.

Toilet: Sterling Riverton Luxury Height Elongated 2-Piece, Low Consumption Toilet #402532 ADA height bowl, with seat or equal. Color: White. Provide supply line in new location as indicated on drawings.

Lavatory: Sterling Sanibel Self-rimming Lavatory #442008 with 8" center holes or equal. Color: White.

Lavatory Faucet: Delta Lorain Lavatory Faucet, two handle widespread, deck mount, 3-hole sink 8" center widespread installation or equal.

Walk-In Bath: American Standard 3151 Series 31" x 51" Soaking Tub, 55 gallon capacity or equal. Color: White.

Bath Faucet: Delta T4792 Addison Roman Tub Faucet Trim with hand shower and rough-in kit, or equal.

Grab Bars: Bobrick B-6806.99 Series, 1 1/2" diameter stainless steel grab bar with snap flange or equal. Satin finish with peened gripping surface.  
GB-3: 36-inch length.  
GB-4: 42-inch length.

Shelving Hardware: Knappe & Vogt 255 Series Steel Pilaster Standards and 239 Series Support Clips or equal.

Countertop: Plastic Laminate over 3/4-inch MDF with four-inch splash at back wall.

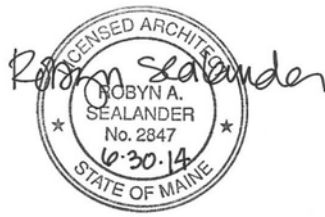
Plastic Laminate: High-Pressure Decorative Laminate: NEMA LD 3, Grade HGS, Formica, Wilsonart, Lamin-Art or equal. Color and finish to be selected by Owner from manufacturer's full range.

Ceramic Tile: DaTile Sem-Gloss 4-1/4 x 4-1/4 inch wall tile, or equal. Color to be selected by Owner from manufacturer's Group 1 range. Owner to select grout color.

Resilient Flooring: Tarkett FiberFloor Fresh Start, or equal. Color to be selected by Owner from manufacturer's full range. Integral cove at bathroom. Wood baseboard to match existing at other rooms.

All new wood and gypsum board surfaces to be painted. Owner to select color.

SEALANDER ARCHITECTS  
79 Main Street, Suite C  
Elisworth ME 04605  
207.667.7755

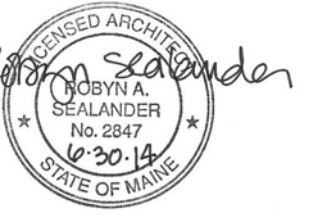
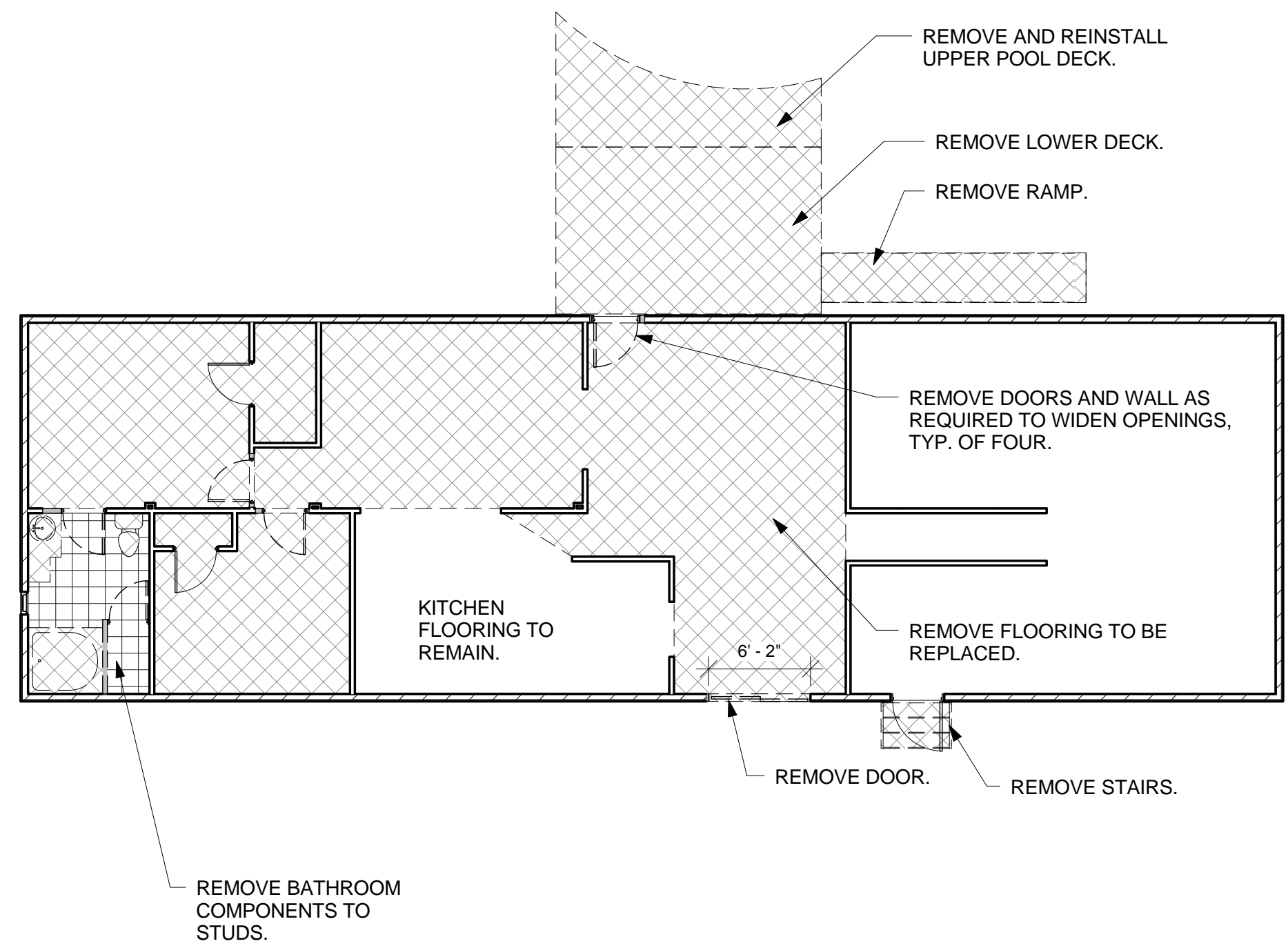
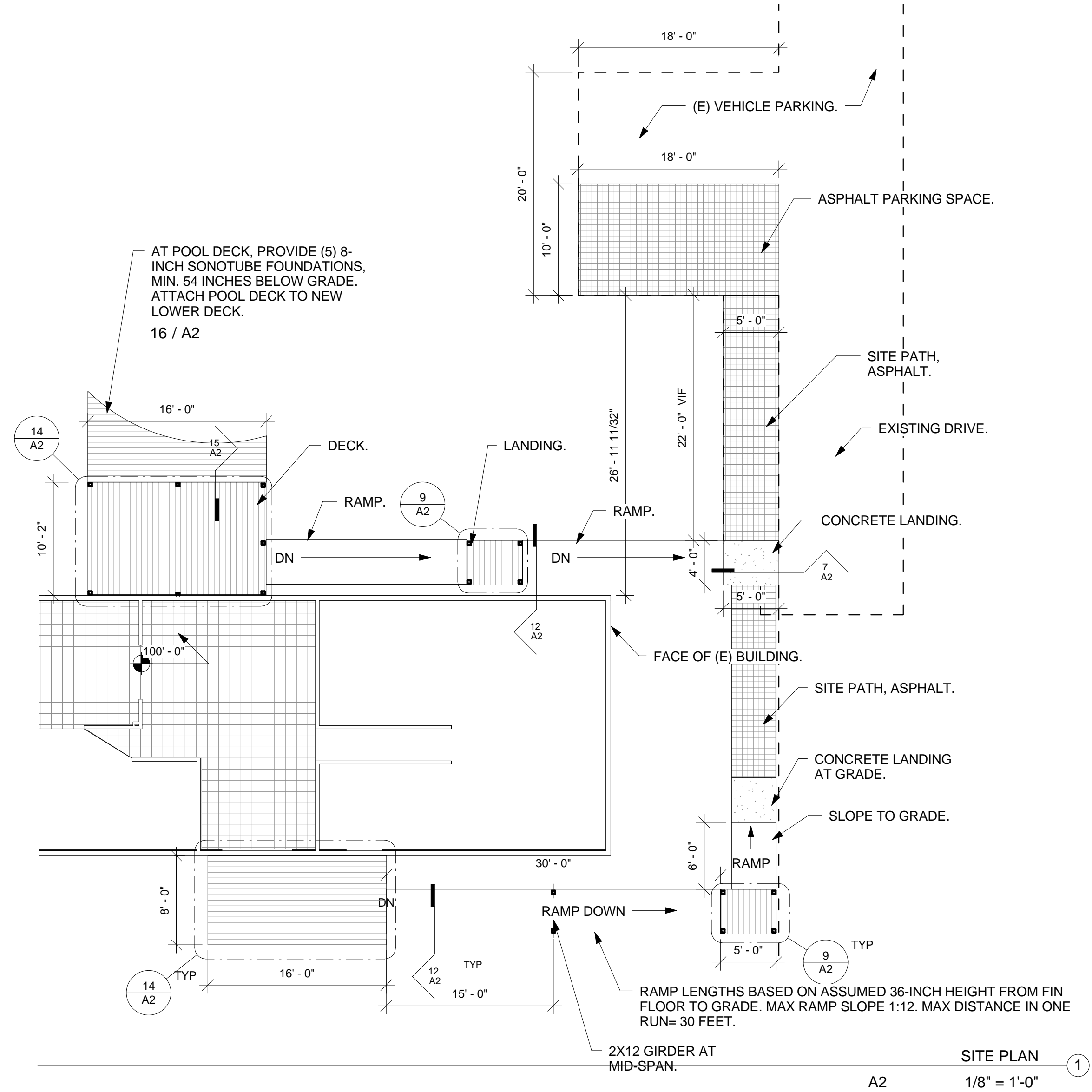


WOOLWICH ME  
ACCESSIBILITY IMPROVEMENTS

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TITLE SHEET

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ACCESSIBILITY IMPROVEMENTS

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SITE AND DEMO  
PLANS

WOOLWICH ME  
ACCESSIBILITY IMPROVEMENTS

