

- SHEET KEYNOTES

1. INFILL HOLE IN EXISTING SLAB, SEE F1/AD101.

2. SAWCUT FOR PIPE AND DUCT PENETRATIONS, SEE F3/AD101. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

3. REMOVE EXISTING LAUNDRY CHUTE.

4. REMOVE ALL EXISTING CEILING FINISHES.
- GENERAL SHEET NOTES

A. DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND DO NOT INTEND TO SHOW THE FULL EXTENT OF ALL AREAS EFFECTED BY UTILITY REMOVAL AND RECONSTRUCTION. REMOVAL SHALL INCLUDE ALL ITEMS INDICATED ON THE DEMOLITION PLANS AND ALL OTHER ITEMS REQUIRED TO BE REMOVED TO ACCOMPLISH NEW CONSTRUCTION.

B. REMOVE ALL COMPONENTS BACK TO STRUCTURE, INCLUDING HANGERS, BRACKETS, WIRES, ETC.

C. CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING, AND REPAIR OF ALL EXISTING CONSTRUCTION AND FINISHES REQUIRED FOR THE REMOVAL AND RECONSTRUCTION OF UTILITIES.

D. SEE ALL DRAWINGS FOR ADDITIONAL REMOVAL, RECONSTRUCTION, AND PROTECTION INFORMATION.

E. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING WALLS, CEILINGS, ETC., MAY HAVE BEEN REMOVED BY MEDICAL CENTER.

F. CONTRACTOR TO VERIFY EXACT COMPOSITION OF EXISTING WALLS.

G. CONTRACTOR TO PROVIDE TEMPORARY DUST PARTITIONS TIGHTLY SEALED TO STRUCTURE TO SEPARATE CONSTRUCTION WORK FROM I.T./TELEPHONE CLOSETS.

H. CONTRACTOR SHALL COORDINATE WITH THE COR AN ACCEPTABLE SCHEDULE FOR DISCONNECTING UTILITIES.

I. CONTRACTOR SHALL COORDINATE WITH THE COR THE SCHEDULING OF NOISY OR OTHERWISE INTERRUPTIVE OPERATIONS TO MINIMIZE IMPACT ON MEDICAL CENTER FUNCTIONS.

J. REPAIR AND/OR REPLACE ADJACENT FINISHES TO PROVIDE A SMOOTH AND CONTINUOUS FINISH.

K. CONTRACTOR SHALL FILL ALL HOLES IN CONCRETE INCLUDING MECHANICAL AND PLUMBING PIPING IN FIRST FLOOR THRU THIRD FLOOR WITH CONCRETE. CONTRACTOR SHALL REPAIR OR REPLACE ALL FINISHES TO LIKE-NEW CONDITION.

L. WHERE EXISTING MASONRY WALLS ARE REMOVED OR NEW OPENINGS PROVIDED WITHIN EXISTING MASONRY WALLS TO REMAIN: STRAIGHT AND CLEAN SAWCUTS SHALL BE USED FOR REMOVAL BETWEEN WALL PORTIONS TO BE REMOVED.

M. UNLESS NOTED OTHERWISE, ALL REMOVED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE PROPERLY DISPOSED OFF-SITE.

N. REPAIR, LEVEL AND RE-FINISH EXISTING CONCRETE SLABS WHERE NECESSARY FOR INSTALLATION OF SCHEDULED FLOOR FINISHES.

O. REMOVE ALL WALLS, DOORS, WINDOWS, MILLWORK, PLUMBING FIXTURES, ETC., AS INDICATED BY DASHED LINES.

P. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR EXISTING CONSTRUCTION TO REMAIN. (SEE GENERAL REQUIREMENTS)

Q. CONTRACTOR TO COORDINATE REMOVAL WITH FIRE PROTECTION/PLUMBING/MECHANICAL/ELECTRICAL CONTRACTORS AND PATCH WALLS, FLOORS AND CEILINGS AS NECESSARY.

R. SAWCUT AND REMOVE CONCRETE TO 2 INCHES BELOW FLOOR SLAB AT PLUMBING FIXTURES TO ABANDON AND CAP OFF EXISTING UNDER SLAB PIPING. CAP PIPE WITH CONCRETE OR GROUT. REPAIR AND PATCH FLOOR SLAB WITH NEW CONCRETE AS NECESSARY TO RECEIVE SCHEDULED FLOOR FINISHES.

S. CONTRACTOR TO REMOVE ALL WALL BASE AND FLOOR FINISHES TO CONCRETE SLAB. CONTRACTOR TO PATCH AND REPAIR CONCRETE SLAB FOR INSTALLATION OF NEW FLOOR FINISHES AND WALL BASE.

E1

THIRD FLOOR PLAN - DEMOLITION

SCALE: 1/8" = 1'-0"

SYMBOLS LEGEND

	EXISTING WALL, DOOR, WINDOW, MILLWORK, FIXTURE OR OTHER FIXTURE OR ASSEMBLY TO BE REMOVED.
	EXISTING WALL, DOOR, WINDOW, MILLWORK, FIXTURE OR OTHER FIXTURE OR ASSEMBLY TO REMAIN.
	NEW WALL
	2 HOUR RATED FIRE BARRIER
	1 HOUR RATED FIRE BARRIER
	PROJECT LIMITS OF WORK
	NO PIPING OR DUCTWORK SHALL BE ROUTED THROUGH ELECTRICAL AND/OR DATA ROOMS.
	NEW CONCRETE
	EXISTING AREAS OF RAISED CONCRETE TO REMAIN
	EXISTING CONCRETE TO BE REMOVED AND REPAIRED

REVISION NO.

REVISION DESCRIPTION

1

2

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Department of Veterans Affairs

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VA Medical Center

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ARCHITECT/ENGINEER

51683

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HDC PROJECT # 14009

Recommended Approvals:

1. MEDICAL DIRECTOR

2. ASSOCIATE DIRECTOR

3. CHIEF OF STAFF

4. ASSOC. DIRECTOR

5. SERVICE LINE MGRS.

6. OPERATIONS SERVICE LINE MANAGER

7. INFECTION CONTROL MANAGER

8. SAFETY MANAGER

9. GENERAL ENGINEER

10. COR

Drawing Title

THIRD FLOOR PLAN - DEMOLITION

CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title

RENOVATE BUILDING 8 FOR ENVIRONMENT AND CONDITION DEFICIENCIES

Drawn GG

Building Number 8

AutoCAD File Name

Checked

Reviewed

Const. Contract No.

Date

OCTOBER 26, 2015

Project Number

621-14-135

DRAWING No.

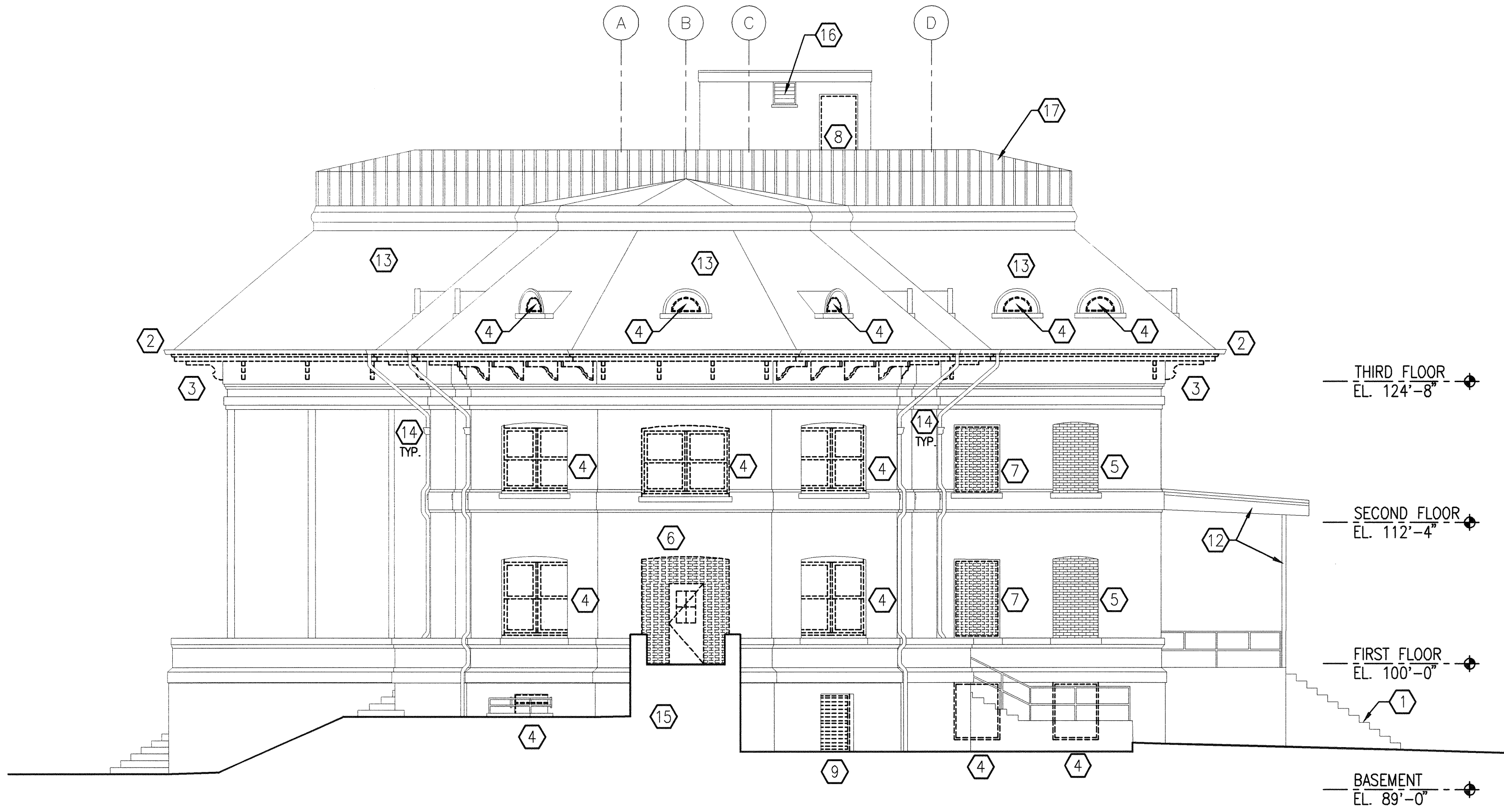
AD103

DWG 26 of 208

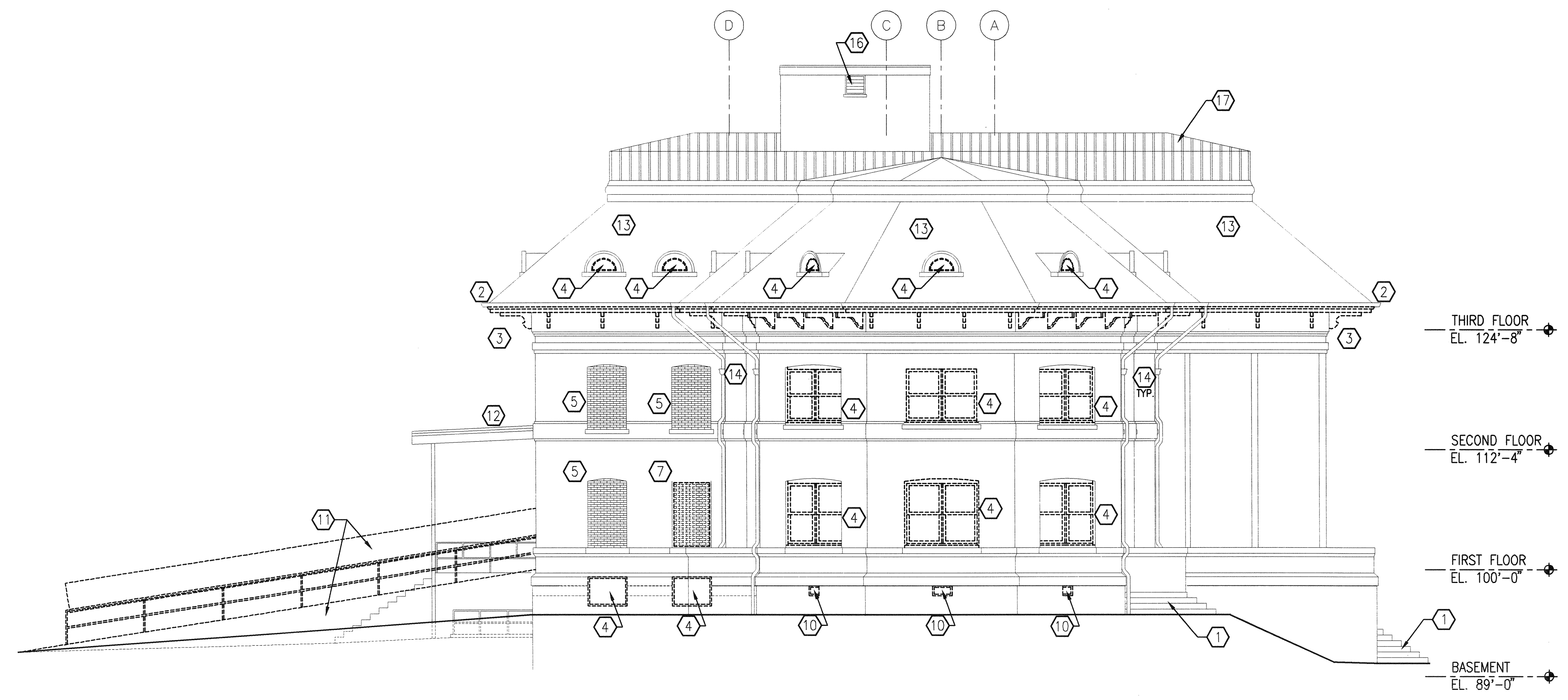
Veterans Affairs

0 1 2 3 4 5 6 7 8 9 10

three inches = one foot
one and one half inches = one foot
one inch = one foot
three quarters inch = one foot
one half inch = one foot
three eighths inch = one foot
one quarter inch = one foot
one eighth inch = one foot



EAST ELEVATION - DEMOLITION
C3 SCALE: 1/8" = 1'-0" 0 4' 8' 16'



WEST ELEVATION - DEMOLITION
F3 SCALE: 1/8" = 1'-0" 0 4' 8' 16'

GENERAL SHEET NOTES

- A. CONTRACTOR TO PROTECT ALL BUILDING OPENINGS FROM INTRUSION AND WEATHER AS DOORS, WINDOWS, LOUVERS AND VENTS ARE REMOVED.
- B. COPPER GUTTERS, LEADERS AND DOWNSPOUTS ARE TO BE REMOVED, CLEANED, REPAIRED AND REINSTALLED IN ORIGINAL LOCATIONS.


SHEET KEYNOTES

- 1. EXISTING STAIRS TO REMAIN
- 2. SOFFIT ENCLOSURE AND WOOD TRIM TO BE REMOVED
- 3. ROOF BRACKETS TO BE REMOVED
- 4. WINDOWS AND SCREENS TO BE REMOVED
- 5. BRICK INFILL, EXISTING TO REMAIN
- 6. BRICK INFILL SURROUND AND DOOR TO BE REMOVED
- 7. BRICK INFILL TO BE REMOVED
- 8. DOOR AND THRESHOLD TO BE REMOVED. EXISTING FRAME TO REMAIN.
- 9. LOUVER TO BE REMOVED
- 10. VENT TO BE REMOVED
- 11. RAMP, RAMP GUARDRAILS AND CANVAS CANOPY TO BE REMOVED
- 12. ENTRY CANOPY, EXISTING TO REMAIN
- 13. SLATE SHINGLES, EXISTING TO REMAIN
- 14. EXISTING GUTTERS AND DOWNSPOUTS - SEE GENERAL NOTE B.
- 15. TUNNEL, EXISTING TO REMAIN
- 16. LOUVER, EXISTING TO REMAIN
- 17. EXISTING METAL PANEL ROOF ENCLOSURE TO REMAIN

SYMBOLS LEGEND

- REMOVE
- REMOVE
- REMOVE

REVISION NO.	REVISION DESCRIPTION	By	Date



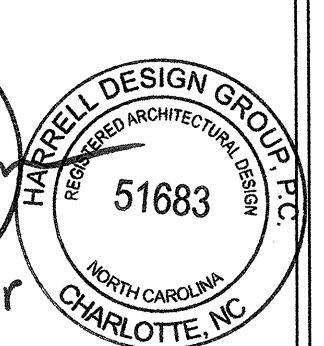
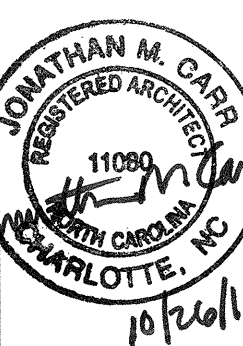
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HDC PROJECT # 14009

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2. ASSOCIATE DIRECTOR	7. INFECTION CONTROL MANAGER		
3. CHIEF OF STAFF	8. SAFETY MANAGER		
4. ASSOC. DIRECTOR	9. GENERAL ENGINEER		
5. SERVICE LINE MGRS.	10. COR		

Drawing Title

EXTERIOR ELEVATIONS - DEMOLITION

CONSTRUCTION DOCUMENTS

FULLY SPRINKLERED

Project Title

RENOVATE BUILDING 8 FOR ENVIRONMENT AND CONDITION DEFICIENCIES

Drawn	GG	Building Number	8	AutoCAD File Name	
Checked		Reviewed		Const. Contract No.	

Date

OCTOBER 26, 2015

Project Number

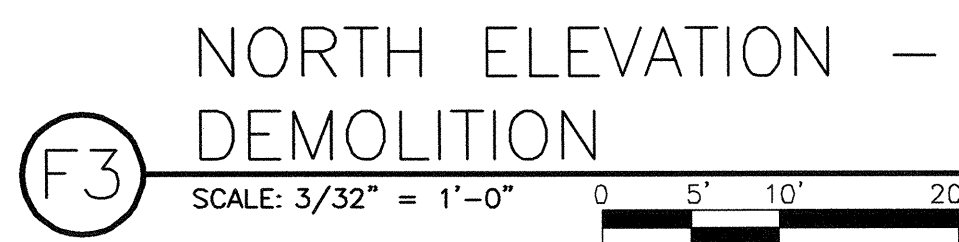
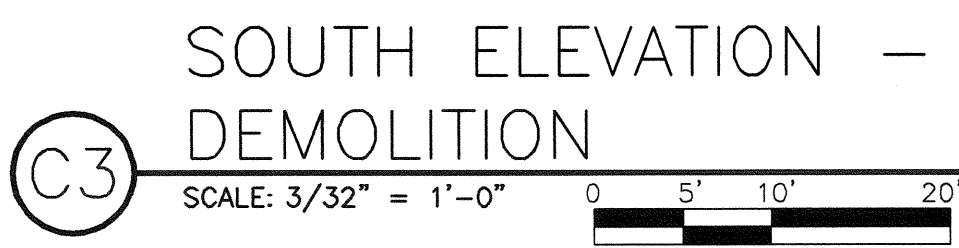
621-14-135

DRAWING No.

AD104

DWG 27 of 208





A.	CONTRACTOR TO PROTECT ALL BUILDING OPENINGS FROM INTRUSION AND WEATHER AS DOORS, WINDOWS, LOUVERS AND VENTS ARE REMOVED.
B.	COPPER GUTTERS, LEADERS AND DOWNSPOUTS ARE TO BE REMOVED, CLEANED, REPAIRED AND REINSTALLED IN ORIGINAL LOCATIONS.

1. EXISTING STAIRS TO REMAIN
2. SOFFIT ENCLOSURE AND WOOD TRIM TO BE REMOVED
3. ROOF BRACKETS TO BE REMOVED
4. WINDOW AND SCREEN TO BE REMOVED
5. BRICK INFILL TO REMAIN
6. BRICK INFILL, DOOR, FRAME AND THRESHOLD TO BE REMOVED
7. METAL ROOF TO REMAIN
8. DOOR, THRESHOLD AND FRAME TO BE REMOVED
9. LOUVER TO BE REMOVED
10. VENT TO BE REMOVED
11. RAMP AND CANOPY TO BE REMOVED
12. LOADING DOCK CANOPY TO REMAIN
13. SLATE SHINGLES TO REMAIN
14. EXISTING GUTTERS AND DOWNSPOUTS - SEE GENERAL NOTE B.
15. TUNNEL TO REMAIN
16. LOADING DOCK TO REMAIN
17. BRICK INFILL TO BE REMOVED
18. WINDOWS AND SCREEN TO REMAIN
19. REMOVE WINDOW A/C UNIT
20. REMOVE PORTION OF BRICK INFILL FOR NEW LOUVER
21. EXISTING CANOPY TO REMAIN


REMOVE

REMOVE



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DRAWING No.
AD105
DWG 22 of 223


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