

SHEET NOTES:

- 1 PHASE 1A INCLUDES EXCAVATION OF THE FOOTINGS FOR ALL THE COLUMNS, CONCRETE PLACEMENT FOR BUILDING COLUMNS AND STRUCTURAL STEEL PLACEMENT. PLEASE NOTE THAT CRANE LIFTS FOR STEEL PLACEMENT WOULD BE DURING OFF HOURS AND THERE WILL BE NO PERSONNEL ACCESS TO THE FRONT OF THE BUILDING. SOME OF THE STEEL WILL BE CROSSING ABOVE THE ENTRANCE TUNNEL AND NEEDS TO BE SECURED BEFORE BUILDING ACCESS IS OPENED. AT THE END OF THIS PHASE THE STRUCTURAL STEEL FRAME FOR THE BUILDING EXPANSION WILL BE COMPLETED INCLUDING COLUMNS, BEAMS, AND CROSS BRACING TO ENSURE A FULLY FUNCTIONAL AND SECURE STRUCTURE.
- 2 PHASE 1B WILL CONSIST OF THE COMPLETION OF ALL CONSTRUCTION BETWEEN COLUMN LINE 103 TO 111 AND FROM EXISTING BUILDING WALL (PROTECTED BY TEMPORARY WOOD PLANK WALL) AND THE EXTERIOR WALL OF THE EXPANSION AREA. THE WALKS AND PERMANENT BUILDING ACCESS RAMPS WILL BE COMPLETED AND THE CONTRACTOR WILL TURN THIS SPACE OVER TO THE VA.
- 3 A TEMPORARY WALL WILL BE BUILT TO PROVIDE ACCESS TO THE EXISTING BUILDING 650 LOBBY. THE PLYWOOD WALL ON THE PERIMETER OF THE EXISTING BUILDING AND A PERMANENT SHEET ROCK WALL WILL BE BUILT TO CONNECT THE EXPANSION AREA WITH THE EXISTING BUILDING AS INDICATED ON THE PLANS. THE NEW MEN RESTROOMS SHOULD BE FUNCTIONAL AT THE END OF THIS PHASE.
- 4 CONTRACTOR SHALL MAINTAIN CLEAR BUILDING ACCESS ALL THE TIME
- 5 SEE PREFATORY PHASING PLAN ON DRAWING G103

ALTERNATIVE BID DEDUCTS.

- 1 REMOVE THE ASPHALT PAVEMENT REPAIR IN CIRCLE DRIVE, APPROXIMATELY 6,265 SF.
- 2 ALL LANDSCAPE WORK IN PROJECT INCLUDING PLANTINGS, SOIL COVERINGS, SPRINKLERS, SEATING WALLS, AND BIKE RACKS AND IRON FENCING.
- 3 DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN VSO OFFICES, APPROXIMATELY 1523 SF THE SUITE PERIMETER WALL WILL BE BUILT AS INDICATED IN THE DRAWING.
- 4 DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN EE OFFICES, APPROXIMATELY 650 SF THE SUITE PERIMETER WALL, AND DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN MHV OFFICES, APPROXIMATELY 772 SF. THE SUITES PERIMETER WALL WILL BE BUILT AS INDICATED IN THE DRAWING.
- 5 NO WORK TO BE PERFORMED IN THE AREA MARKED BETWEEN COLUMN LINES 109 AND 112, APPROXIMATELY 970 SF. EEO AND OFFICES WILL REMAIN IN PRESENT CONDITIONS.
- 6 NO WORK TO BE PERFORMED IN THE AREA MARKED BETWEEN COLUMN LINES 105 AND 108, APPROXIMATELY 2660 SF. CHAPLAIN SERVICES AREA WILL REMAIN IN PRESENT CONDITIONS.

PHASING LEGEND

- PHASE 1A & 1B
- PHASE 2
- PHASE 3
- PHASE 4

ISSUE FOR BID	
ISSUE FOR BID (13-311)	12/23/14
FINAL CONSTRUCTION DOCUMENTS (13-304)	9/19/14
100% CONSTRUCTION DOCUMENTS (13-289)	7/17/14
75% CONSTRUCTION DOCUMENTS (13-285)	6/27/14
100% DESIGN DEVELOPMENT (13-266)	3/28/14
100% SCHEMATIC DESIGN (13-237)	1/20/14
50% SCHEMATIC DESIGN (13-227)	12/20/13
PROGRESS REPORT	11/12/13
Revisions:	Date

CONSULTANTS:

KEY PLAN

STAMP

ARCHITECT/ENGINEERS:

Drawing Title
GENERAL
CONSTRUCTION PHASE 1A AND 1B

Project Title
VA MEDICAL CENTER, MATHERS CA
BUILDING 650, 1ST FLOOR RENOVATION
AND EXPANSION

Project Number
612-126
Building Number
650

Location
10535 HOSPITAL WAY, MATHER, CA.

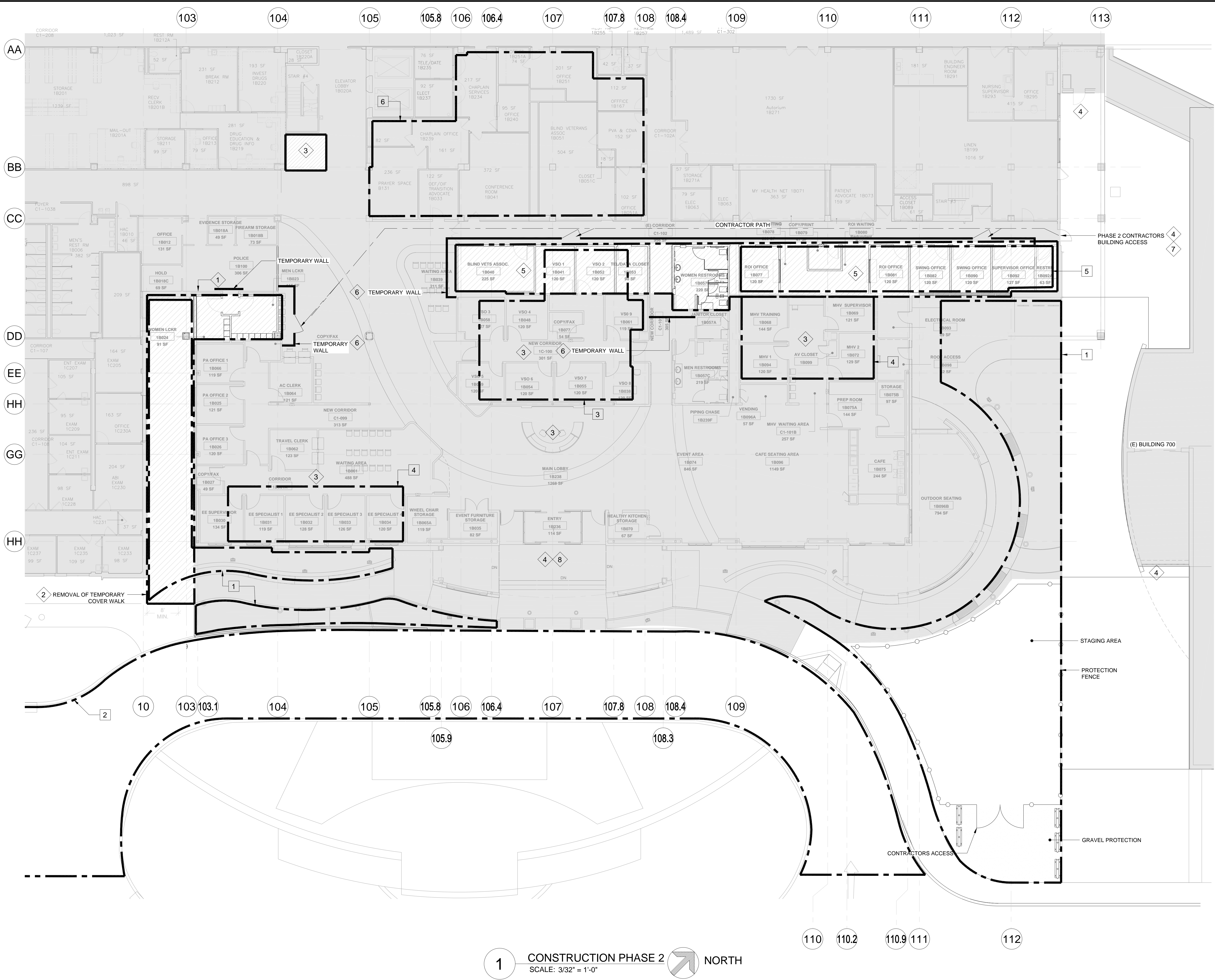
Drawing Number
G104A

Date
Checked
J. MORELAN
Drawn
J. AGUIRRE

Office of
Facilities
Management

Department of
Veterans Affairs

three inches = one foot
one and one half inches = one foot
one inch = one foot
three quarters inch = one foot
one half inch = one foot
one quarter inch = one foot
three eighths inch = one foot
one eighth inch = one foot



- SHEET NOTES:**
- 1 PHASE 2 WILL INCLUDE THE REMOVAL OF THE TEMPORARY WOOD TUNNEL AND THE CONSTRUCTION OF THE LOCKER ROOMS.
 - 2 PHASE 2 CONTRACTOR SHALL REMOVE TEMPORARY COVER WALK.
 - 3 PHASE 2 WILL ALSO INCLUDE THE RELOCATION OF THE INFORMATION DESK, CAFE, VETERAN SERVICE ORGANIZATIONS (VSO), ESCORT SERVICES, ENROLMENT AND ELIGIBILITY (EE), TRAVEL AND CASHIER. THE NEW ACCESS CORRIDOR TO THE ELEVATOR LOBBY WILL BE COMPLETED AND FUNCTIONAL AT THE COMPLETION OF THIS PHASE TO ENSURE FULL BUILDING ACCESS FROM THE NEW LOBBY.
 - 4 CONTRACTOR SHALL MAINTAIN CLEAR BUILDING ACCESS ALL THE TIME
 - 5 PHASE 2 INCLUDE THE INTERIOR REMODEL AND UPGRADE OF OFFICES, BLIND VET ASSOCIATION, VSO, ROI TELE/DATA CLOSET AND WOMAN RESTROOMS
 - 6 CONTRACTOR SHALL INSTALL TEMPORARY WALL. THIS WALL TO BE REMOVED WHEN PHASE 2 IS COMPLETED.
 - 7 CONTRACTOR SHALL ENTER THE BUILDING THRU SECONDARY ACCESS AS INDICATED IN DRAWING DURING THIS PHASE. COORDINATE MATERIAL STAGING SCHEDULE WITH COR.
 - 8 NO MATERIALS OR CONTRACTOR PERSONAL IS ALLOWED TO ENTER THE BUILDING THRU MAIN ENTRANCE.

- ALTERNATIVE BID DEDUCTS.**
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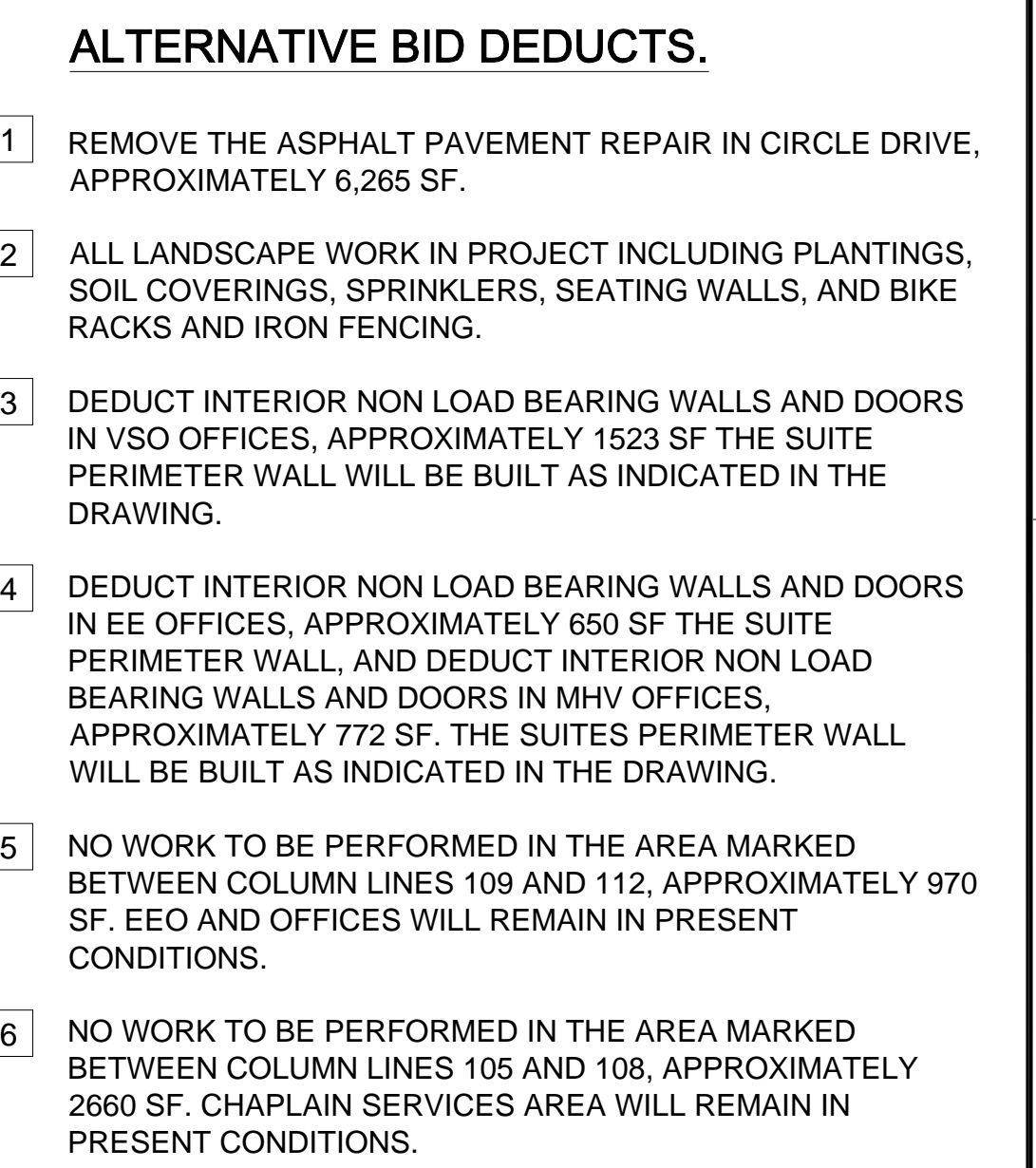
ARCHITECT/ENGINEERS:

Drawing Title
**GENERAL
CONSTRUCTION PHASE 2**

Project Title
**VA MEDICAL CENTER, MATHERS CA
BUILDING 650, 1ST FLOOR RENOVATION
AND EXPANSION**

Project Number
612-126
Building Number
650
Drawing Number
G104B

**Office of
Facilities
Management**
Department of
Veterans Affairs



PHASE 1A & 1B

PHASE 2

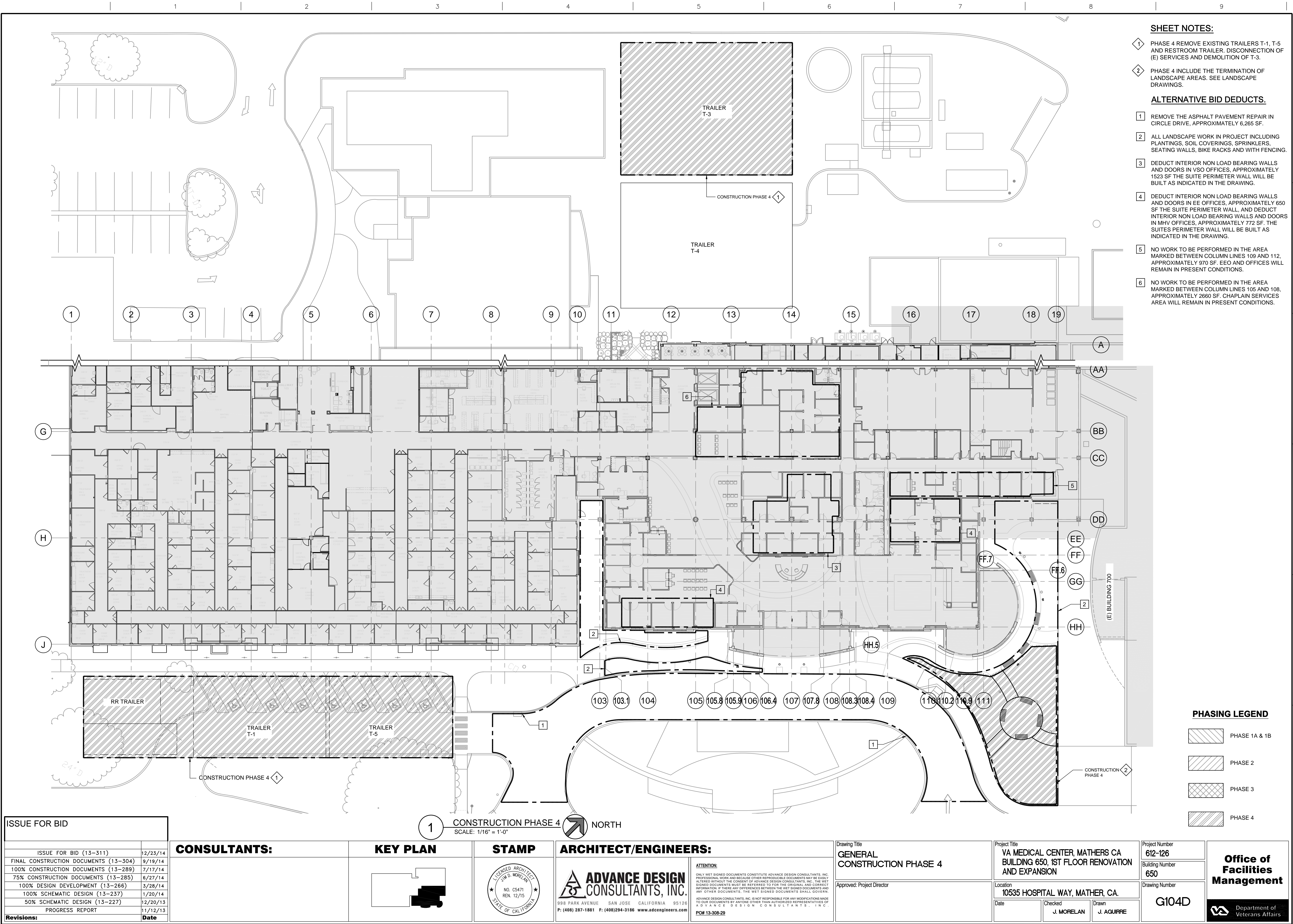
PHASE 3

PHASE 4

**Office of
Facilities
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 Department of
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SHEET NOTES:

- 1 PHASE 4 REMOVE EXISTING TRAILERS T-1, T-5 AND RESTROOM TRAILER. DISCONNECTION OF (E) SERVICES AND DEMOLITION OF T-3.
 - 2 PHASE 4 INCLUDE THE TERMINATION OF LANDSCAPE AREAS. SEE LANDSCAPE DRAWINGS.
- ALTERNATIVE BID DEDUCTS.**
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Office of Facilities Management

Department of Veterans Affairs