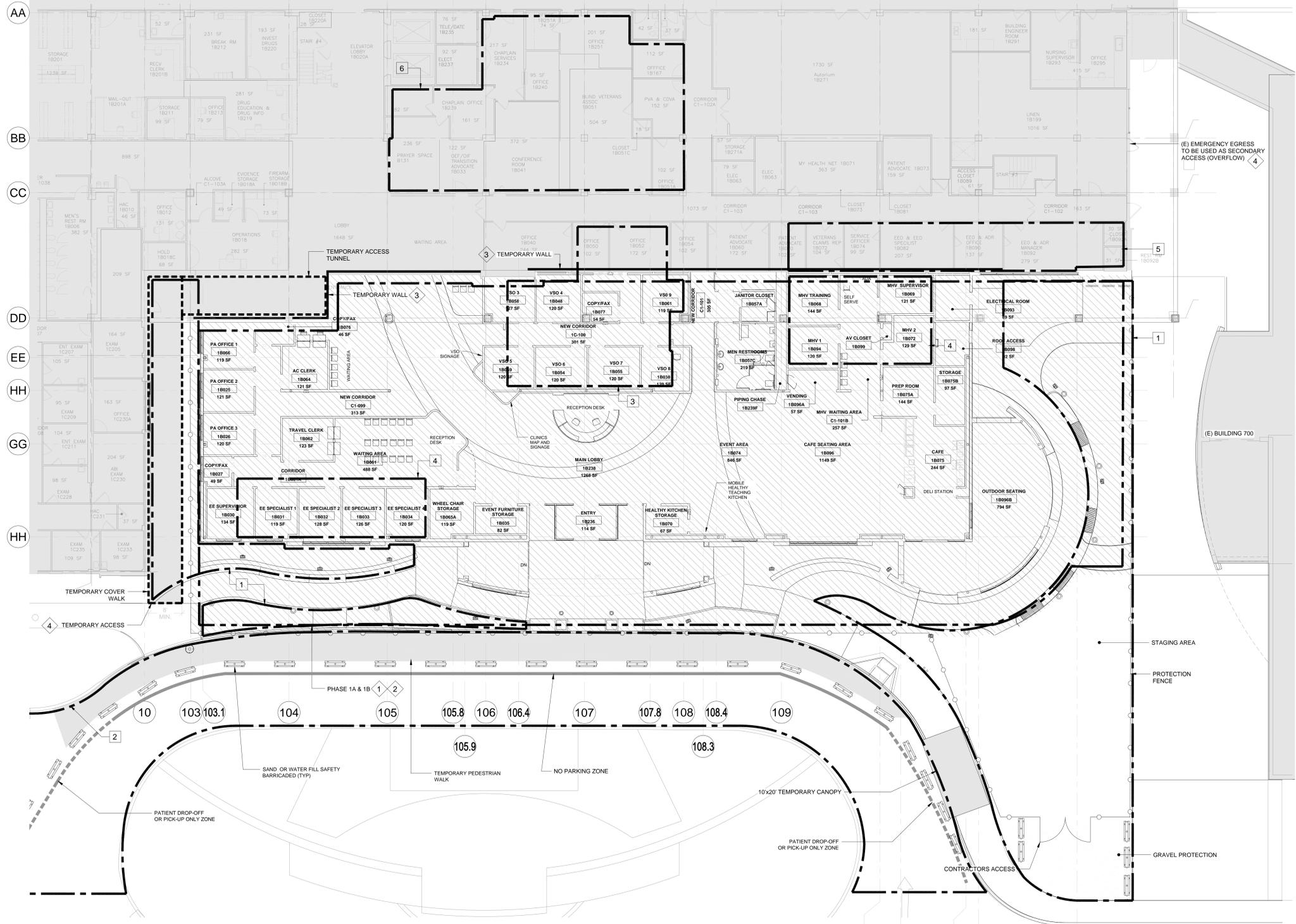
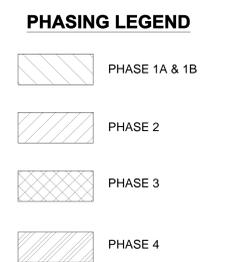


103 104 105 105.8 106 106.4 107 107.8 108 108.4 109 110 110.9 111 112 113



- SHEET NOTES:**
- PHASE 1A INCLUDES EXCAVATION OF THE FOOTINGS FOR ALL THE COLUMNS, CONCRETE PLACEMENT FOR BUILDING COLUMNS AND STRUCTURAL STEEL PLACEMENT. PLEASE NOTE THAT CRANE LIFTS FOR STEEL PLACEMENT WOULD BE DURING OFF HOURS AND THERE WILL BE NO PERSONNEL ACCESS TO THE FRONT OF THE BUILDING. SOME OF THE STEEL WILL BE CROSSING ABOVE THE ENTRANCE TUNNEL AND NEEDS TO BE SECURED BEFORE BUILDING ACCESS IS OPENED. AT THE END OF THIS PHASE THE STRUCTURAL STEEL FRAME FOR THE BUILDING EXPANSION WILL BE COMPLETED INCLUDING COLUMNS, BEAMS, AND CROSS BRACING TO ENSURE A FULLY FUNCTIONAL AND SECURE STRUCTURE.
 - PHASE 1B WILL CONSIST OF THE COMPLETION OF ALL CONSTRUCTION BETWEEN COLUMN LINE 103 TO 111 AND FROM EXISTING BUILDING WALL (PROTECTED BY TEMPORARY WOOD PLANK WALL) AND THE EXTERIOR WALL OF THE EXPANSION AREA. THE WALKS AND PERMANENT BUILDING ACCESS RAMPS WILL BE COMPLETED AND THE CONTRACTOR WILL TURN THIS SPACE OVER TO THE VA.
 - A TEMPORARY WALL WILL BE BUILT TO PROVIDE ACCESS TO THE EXISTING BUILDING 650 LOBBY. THE PLYWOOD WALL ON THE PERIMETER OF THE EXISTING BUILDING AND A PERMANENT SHEET ROCK WALL WILL BE BUILT TO CONNECT THE EXPANSION AREA WITH THE EXISTING BUILDING AS INDICATED ON THE PLANS. THE NEW MEN RESTROOMS SHOULD BE FUNCTIONAL AT THE END OF THIS PHASE.
 - CONTRACTOR SHALL MAINTAIN CLEAR BUILDING ACCESS ALL THE TIME
 - SEE PREFATORY PHASING PLAN ON DRAWING G103

- ALTERNATIVE BID DEDUCTS.**
- REMOVE THE ASPHALT PAVEMENT REPAIR IN CIRCLE DRIVE, APPROXIMATELY 970 SF.
 - ALL LANDSCAPE WORK IN PROJECT INCLUDING PLANTINGS, SOIL COVERINGS, SPRINKLERS, SEATING WALLS, AND BIKE RACKS AND IRON FENCING.
 - DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN VSO OFFICES, APPROXIMATELY 1523 SF THE SUITE PERIMETER WALL WILL BE BUILT AS INDICATED IN THE DRAWING.
 - DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN EE OFFICES, APPROXIMATELY 650 SF THE SUITE PERIMETER WALL, AND DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN MHV OFFICES, APPROXIMATELY 772 SF. THE SUITES PERIMETER WALL WILL BE BUILT AS INDICATED IN THE DRAWING.
 - NO WORK TO BE PERFORMED IN THE AREA MARKED BETWEEN COLUMN LINES 109 AND 112, APPROXIMATELY 970 SF. EE0 AND OFFICES WILL REMAIN IN PRESENT CONDITIONS.
 - NO WORK TO BE PERFORMED IN THE AREA MARKED BETWEEN COLUMN LINES 105 AND 108, APPROXIMATELY 2660 SF. CHAPLAIN SERVICES AREA WILL REMAIN IN PRESENT CONDITIONS.



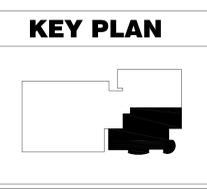
1 CONSTRUCTION PHASE 1
SCALE: 1/4" = 1'-0"

three eighths inch = one foot
one quarter inch = one foot
one eighth inch = one foot
one half inch = one foot
one inch = one foot
three quarters inch = one foot
one and one half inches = one foot
two inches = one foot
three inches = one foot

ISSUE FOR BID

ISSUE FOR BID (13-311)	12/23/14
FINAL CONSTRUCTION DOCUMENTS (13-304)	9/19/14
100% CONSTRUCTION DOCUMENTS (13-289)	7/17/14
75% CONSTRUCTION DOCUMENTS (13-285)	6/27/14
100% DESIGN DEVELOPMENT (13-266)	3/28/14
100% SCHEMATIC DESIGN (13-237)	1/20/14
50% SCHEMATIC DESIGN (13-227)	12/20/13
PROGRESS REPORT	11/12/13
Revisions:	Date

CONSULTANTS:



ARCHITECT/ENGINEERS:

ADVANCE DESIGN CONSULTANTS, INC.
998 PARK AVENUE SAN JOSE CALIFORNIA 95126
P: (408) 287-1881 F: (408)294-3186 www.adcengineers.com

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PC# 13-308-29

Drawing Title
GENERAL CONSTRUCTION PHASE 1A AND 1B

Approved: Project Director

Project Title
VA MEDICAL CENTER, MATHERS CA BUILDING 650, 1ST FLOOR RENOVATION AND EXPANSION

Location
10535 HOSPITAL WAY, MATHER, CA.

Project Number
612-126

Building Number
650

Drawing Number
G104A



SHEET NOTES:

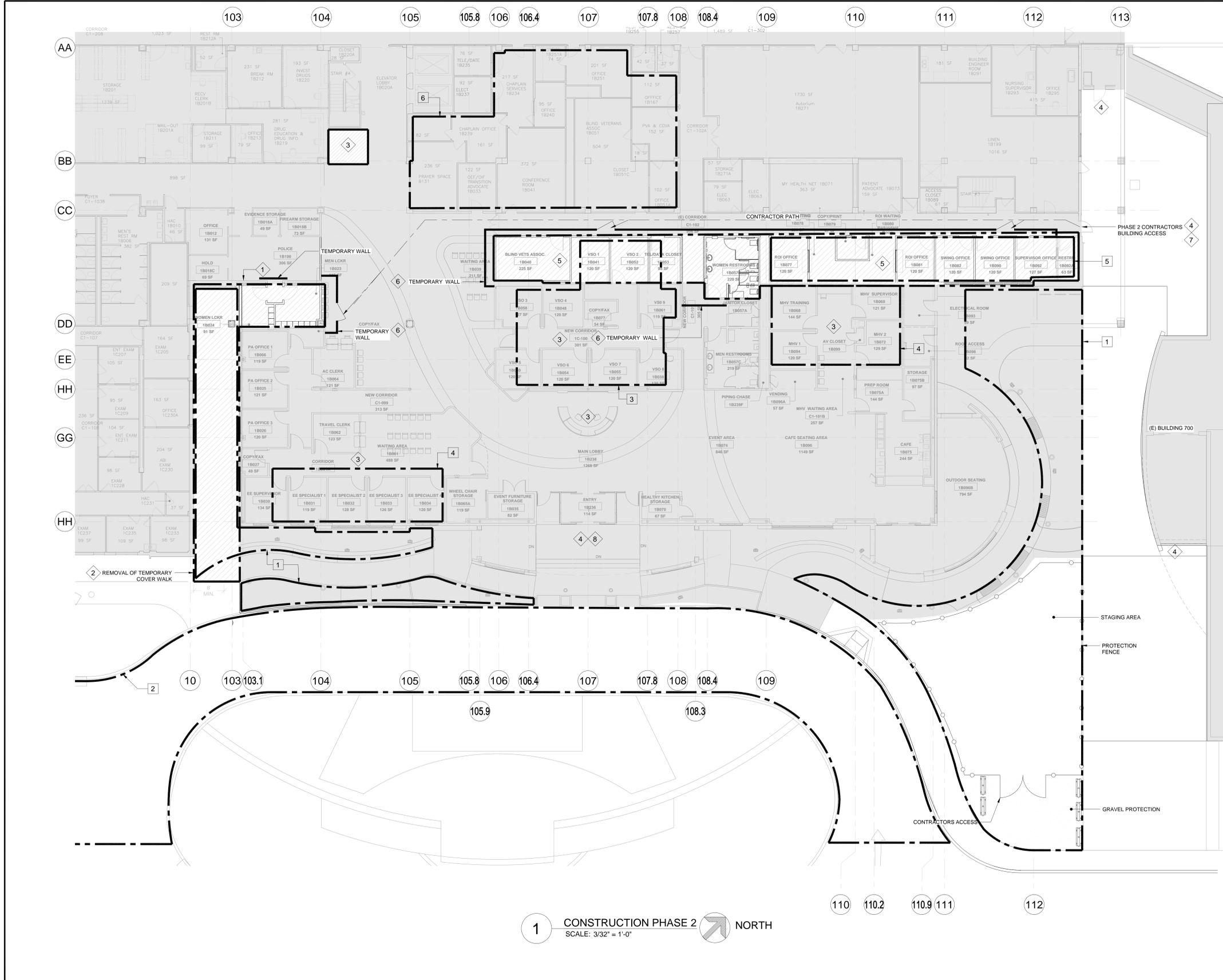
- 1 PHASE 2 WILL INCLUDE THE REMOVAL OF THE TEMPORARY WOOD TUNNEL AND THE CONSTRUCTION OF THE LOCKER ROOMS.
- 2 PHASE 2 CONTRACTOR SHALL REMOVE TEMPORARY COVER WALK.
- 3 PHASE 2 WILL ALSO INCLUDE THE RELOCATION OF THE INFORMATION DESK, CAFE, VETERAN SERVICE ORGANIZATIONS (VSO), ESCORT SERVICES, ENROLMENT AND ELIGIBILITY (EE), TRAVEL AND CASHIER. THE NEW ACCESS CORRIDOR TO THE ELEVATOR LOBBY WILL BE COMPLETED AND FUNCTIONAL AT THE COMPLETION OF THIS PHASE TO ENSURE FULL BUILDING ACCESS FROM THE NEW LOBBY.
- 4 CONTRACTOR SHALL MAINTAIN CLEAR BUILDING ACCESS ALL THE TIME
- 5 PHASE 2 INCLUDES THE INTERIOR REMODEL AND UPGRADE OF OFFICES, BLIND VET ASSOCIATION, VSO, ROI TELE/DATA CLOSET AND WOMAN RESTROOMS
- 6 CONTRACTOR SHALL INSTALL TEMPORARY WALL. THIS WALL TO BE REMOVED WHEN PHASE 2 IS COMPLETED.
- 7 CONTRACTOR SHALL ENTER THE BUILDING THRU SECONDARY ACCESS AS INDICATED IN DRAWING DURING THIS PHASE. COORDINATE MATERIAL STAGING SCHEDULE WITH COR.
- 8 NO MATERIALS OR CONTRACTOR PERSONAL IS ALLOWED TO ENTER THE BUILDING THRU MAIN ENTRANCE.

ALTERNATIVE BID DEDUCTS.

- 1 REMOVE THE ASPHALT PAVEMENT REPAIR IN CIRCLE DRIVE, APPROXIMATELY 6,265 SF.
- 2 ALL LANDSCAPE WORK IN PROJECT INCLUDING PLANTINGS, SOIL COVERINGS, SPRINKLERS, SEATING WALLS, AND BIKE RACKS AND IRON FENCING.
- 3 DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN VSO OFFICES, APPROXIMATELY 1523 SF THE SUITE PERIMETER WALL WILL BE BUILT AS INDICATED IN THE DRAWING.
- 4 DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN EE OFFICES, APPROXIMATELY 650 SF THE SUITE PERIMETER WALL, AND DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN MHV OFFICES, APPROXIMATELY 772 SF. THE SUITES PERIMETER WALL WILL BE BUILT AS INDICATED IN THE DRAWING.
- 5 NO WORK TO BE PERFORMED IN THE AREA MARKED BETWEEN COLUMN LINES 109 AND 112, APPROXIMATELY 970 SF. EEO AND OFFICES WILL REMAIN IN PRESENT CONDITIONS.
- 6 NO WORK TO BE PERFORMED IN THE AREA MARKED BETWEEN COLUMN LINES 105 AND 108, APPROXIMATELY 2660 SF. CHAPLAIN SERVICES AREA WILL REMAIN IN PRESENT CONDITIONS.

PHASING LEGEND

-  PHASE 1A & 1B
-  PHASE 2
-  PHASE 3
-  PHASE 4

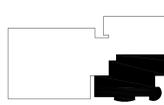


1 CONSTRUCTION PHASE 2
SCALE: 3/32" = 1'-0" NORTH

ISSUE FOR BID	
ISSUE FOR BID (13-311)	12/23/14
FINAL CONSTRUCTION DOCUMENTS (13-304)	9/19/14
100% CONSTRUCTION DOCUMENTS (13-289)	7/17/14
75% CONSTRUCTION DOCUMENTS (13-285)	6/27/14
100% DESIGN DEVELOPMENT (13-266)	3/28/14
100% SCHEMATIC DESIGN (13-237)	1/20/14
50% SCHEMATIC DESIGN (13-227)	12/20/13
PROGRESS REPORT	11/12/13
Revisions:	Date

CONSULTANTS:

KEY PLAN



STAMP



ARCHITECT/ENGINEERS:

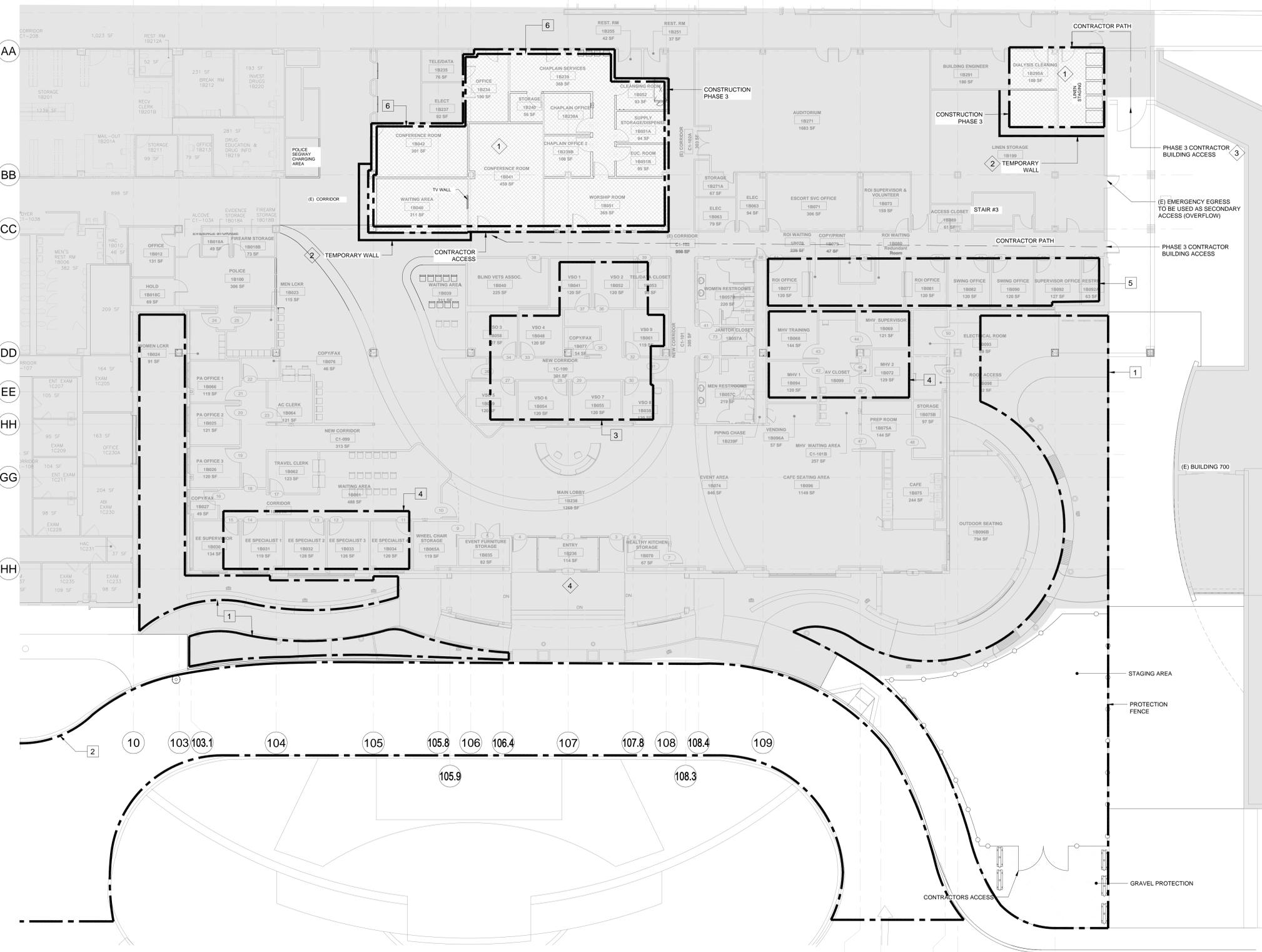
ADVANCE DESIGN CONSULTANTS, INC.
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PC# 13-308-29

Drawing Title GENERAL CONSTRUCTION PHASE 2	Project Title VA MEDICAL CENTER, MATHERS CA BUILDING 650, 1ST FLOOR RENOVATION AND EXPANSION
Approved: Project Director	Project Number 612-126 Building Number 650
	Location 10535 HOSPITAL WAY, MATHER, CA.
	Date
	Checked J. MORELAN
	Drawn J. AGUIRRE
	Drawing Number G104B

Office of Facilities Management
Department of Veterans Affairs

103 104 105 105.8 106 106.4 107 107.8 108 108.4 109 110 110.2 110.9 111 112 113



- SHEET NOTES:**
- 1 PHASE 3 WILL INCLUDE THE INTERIOR REMODEL AND UPGRADE OF CHAPLAIN AND DIALYSIS CLEANING.
 - 2 CONTRACTOR SHALL PROVIDED TEMPORARY WALL. THIS WALL TO BE REMOVED WHEN THIS CONSTRUCTION PHASE IS COMPLETED.
 - 3 CONTRACTOR SHALL ENTER THE BUILDING THRU SECONDARY ACCESS AS INDICATED IN DRAWING DURING THIS PHASE. COORDINATE MATERIAL STAGING SCHEDULE WITH COR.
 - 4 NO MATERIALS OR CONTRACTOR PERSONAL IS ALLOWED TO ENTER THE BUILDING THRU MAIN ENTRANCE.

- ALTERNATIVE BID DEDUCTS.**
- 1 REMOVE THE ASPHALT PAVEMENT REPAIR IN CIRCLE DRIVE, APPROXIMATELY 6,265 SF.
 - 2 ALL LANDSCAPE WORK IN PROJECT INCLUDING PLANTINGS, SOIL COVERINGS, SPRINKLERS, SEATING WALLS, AND BIKE RACKS AND IRON FENCING.
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 - 5 NO WORK TO BE PERFORMED IN THE AREA MARKED BETWEEN COLUMN LINES 109 AND 112, APPROXIMATELY 970 SF. EEO AND OFFICES WILL REMAIN IN PRESENT CONDITIONS.
 - 6 NO WORK TO BE PERFORMED IN THE AREA MARKED BETWEEN COLUMN LINES 105 AND 108, APPROXIMATELY 2660 SF. CHAPLAIN SERVICES AREA WILL REMAIN IN PRESENT CONDITIONS.

PHASING LEGEND

- PHASE 1A & 1B
- PHASE 2
- PHASE 3
- PHASE 4

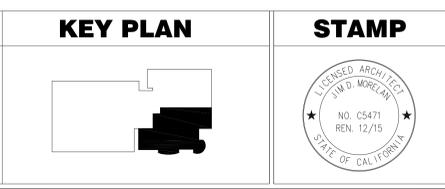
1 CONSTRUCTION PHASE 3
SCALE: 3/32" = 1'-0"

ISSUE FOR BID

ISSUE FOR BID (13-311)	12/23/14
FINAL CONSTRUCTION DOCUMENTS (13-304)	9/19/14
100% CONSTRUCTION DOCUMENTS (13-289)	7/17/14
75% CONSTRUCTION DOCUMENTS (13-285)	6/27/14
100% DESIGN DEVELOPMENT (13-266)	3/28/14
100% SCHEMATIC DESIGN (13-237)	1/20/14
50% SCHEMATIC DESIGN (13-227)	12/20/13
PROGRESS REPORT	11/12/13
Revisions:	Date

CONSULTANTS:

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STAMP

ARCHITECT/ENGINEERS:

ADVANCE DESIGN CONSULTANTS, INC.

998 PARK AVENUE SAN JOSE CALIFORNIA 95126
P: (408) 287-1881 F: (408) 294-3186 www.adcengineers.com

Drawing Title
GENERAL CONSTRUCTION PHASE 3

Approved: Project Director

Project Title
VA MEDICAL CENTER, MATHERS CA BUILDING 650, 1ST FLOOR RENOVATION AND EXPANSION

Location
10535 HOSPITAL WAY, MATHER, CA.

Project Number
612-126

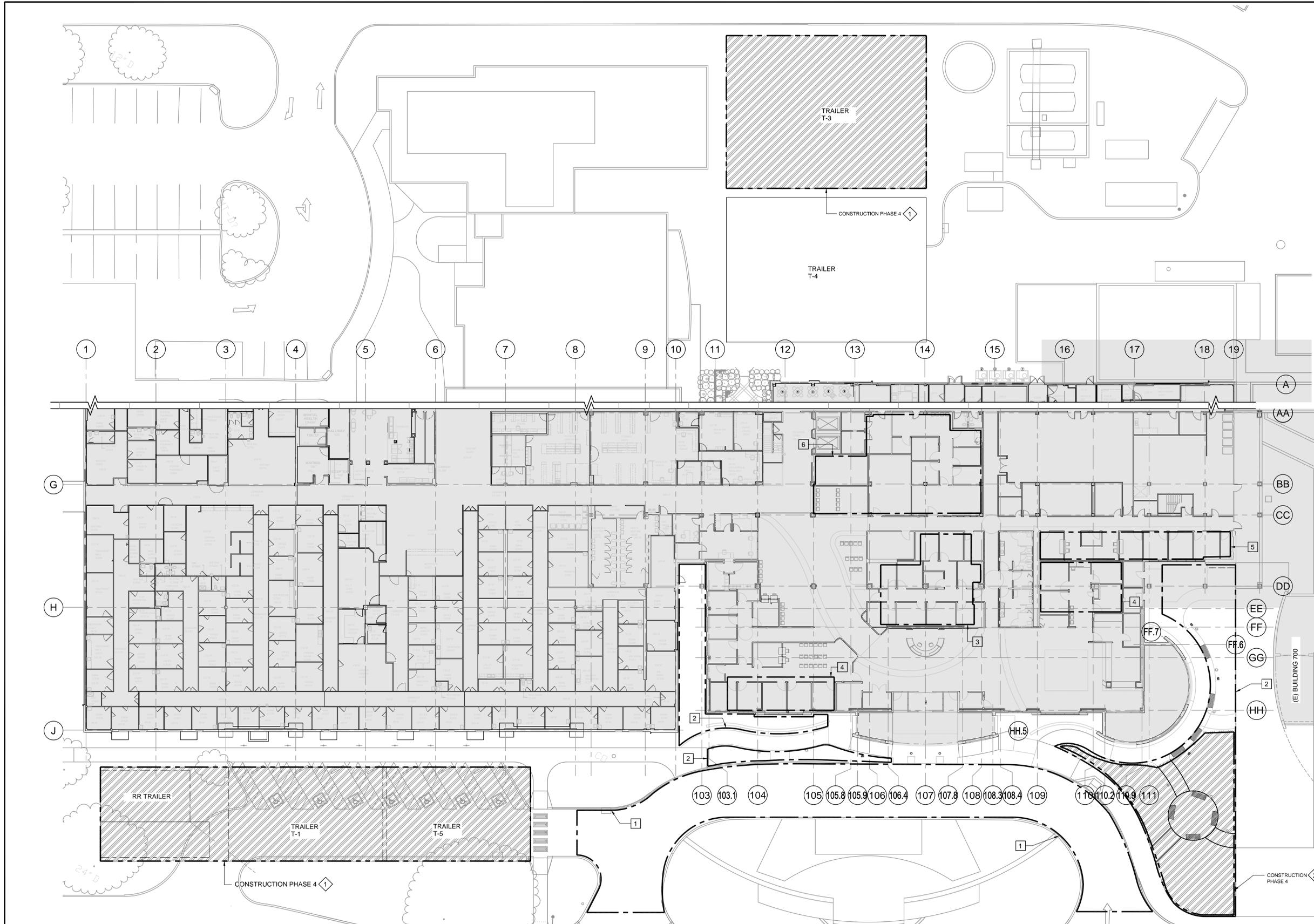
Building Number
650

Drawing Number
G104C

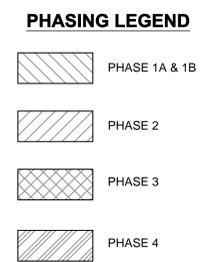
Office of Facilities Management

Department of Veterans Affairs

three inches = one foot
 one and one half inches = one foot
 one inch = one foot
 three quarters inch = one foot
 one half inch = one foot
 three eighths inch = one foot
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 one eighth inch = one foot

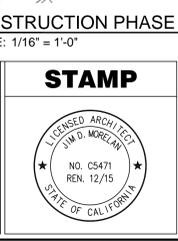
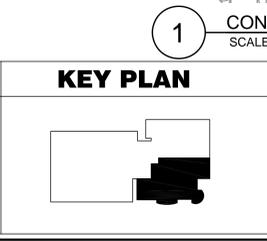


- SHEET NOTES:**
- 1 PHASE 4 REMOVE EXISTING TRAILERS T-1, T-5 AND RESTROOM TRAILER, DISCONNECTION OF (E) SERVICES AND DEMOLITION OF T-3.
 - 2 PHASE 4 INCLUDE THE TERMINATION OF LANDSCAPE AREAS. SEE LANDSCAPE DRAWINGS.
- ALTERNATIVE BID DEDUCTS.**
- 1 REMOVE THE ASPHALT PAVEMENT REPAIR IN CIRCLE DRIVE, APPROXIMATELY 6,265 SF.
 - 2 ALL LANDSCAPE WORK IN PROJECT INCLUDING PLANTINGS, SOIL COVERINGS, SPRINKLERS, SEATING WALLS, BIKE RACKS AND WITH FENCING.
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 - 4 DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN EE OFFICES, APPROXIMATELY 650 SF THE SUITE PERIMETER WALL, AND DEDUCT INTERIOR NON LOAD BEARING WALLS AND DOORS IN MHV OFFICES, APPROXIMATELY 772 SF. THE SUITES PERIMETER WALL WILL BE BUILT AS INDICATED IN THE DRAWING.
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100% DESIGN DEVELOPMENT (13-266)	3/28/14
100% SCHEMATIC DESIGN (13-237)	1/20/14
50% SCHEMATIC DESIGN (13-227)	12/20/13
PROGRESS REPORT	11/12/13
Revisions:	Date

CONSULTANTS:



ARCHITECT/ENGINEERS:

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POB 13-308-29

Drawing Title
GENERAL CONSTRUCTION PHASE 4

Approved: Project Director

Project Title
VA MEDICAL CENTER, MATHERS CA BUILDING 650, 1ST FLOOR RENOVATION AND EXPANSION

Location
 10535 HOSPITAL WAY, MATHER, CA.

Date _____ Checked **J. MORELAN** Drawn **J. AGUIRRE**

Project Number
612-126

Building Number
650

Drawing Number
G104D

