



DEPARTMENT OF VETERANS AFFAIRS  
 MEDICAL CENTER, 111 EAST END BLVD.  
 WILKES-BARRE, PENNSYLVANIA 18711

# SECOND FLOOR CORRIDOR RENOVATIONS

## PROJECT NUMBER: 693-07-117

DECEMBER 10, 2010



DRAWING LIST

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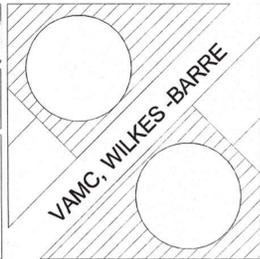


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Drawing Title <b>COVER SHEET</b>
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Project Title <b>SECOND FLOOR CORRIDOR RENOVATIONS</b>	Building Number <b>01</b>	Checked TJG	Drawn RDT
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FULLY SPRINKLERED  
 Department of Veterans Affairs

**GENERAL DEMOLITION NOTES :**

THE SCOPE OF WORK INCLUDES THE REMOVAL OF ALL ELEMENTS NECESSARY TO ACCOMMODATE THE NEW WORK. THIS INCLUDES AND IS NOT RESTRICTED TO ALL INDICATED NONBEARING AND/OR BEARING INTERIOR AND EXTERIOR WALLS, ALL CEILINGS, ALL FINISH FLOORING DOWN TO A LEVEL WORKING SURFACE, AND ALL SYSTEMS THAT ARE NOT TO BE REUSED IN THE NEW CONSTRUCTION. NO STRUCTURAL ELEMENTS WILL BE REMOVED WITHOUT OWNER OR ENGINEER'S APPROVAL. DEMOLITION AND REMOVALS SHALL BE AS FOLLOWS:

- ALL DEMOLITION AND REMOVALS SHALL BE IN STRICT ACCORDANCE WITH LOCAL AUTHORITIES HAVING JURISDICTION.
- CONSULT OWNER PRIOR TO THE START OF DEMOLITION TO DETERMINE THE PRECISE SCOPE OF MATERIALS, FINISHES, AND SYSTEMS THAT ARE TO BE REUSED. THIS SCOPE MAY DIFFER FROM THAT INDICATED IN THESE DOCUMENTS.
- BEFORE STARTING WORK, MAKE A THOROUGH EXAMINATION OF THOSE PORTIONS OF THE STRUCTURE IN WHICH THE WORK IS TO BE PERFORMED. CHECK ALL THE WORK IN ADJOINING OR AT UNDERLYING LOCATIONS. REPORT TO THE OWNER & DESIGN PROFESSIONAL ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK. DO NOT START THE WORK UNTIL SUCH CONDITIONS HAVE BEEN EXAMINED AND A COURSE OF ACTIONS MUTUALLY AGREED UPON.
- ALL WORK TO BE IN ACCORDANCE WITH AND COORDINATED WITH THE BUILDING OWNERS AND/OR MANAGEMENT.
- DURING DEMOLITION, SUPPORT ALL EXISTING STRUCTURES AND SYSTEMS WITH TEMPORARY BRACING AND SHORING AS REQUIRED BY CODES TO ASSURE A SAFE WORKING ENVIRONMENT. ANY DAMAGE CAUSED BY THE DEMOLITION PROCESS WILL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST.
- IF THE DEMOLITION PROCESS RESULTS IN AN UNSAFE WORKING ENVIRONMENT, STOP WORK IMMEDIATELY AND NOTIFY APPROPRIATE AUTHORITIES, OWNER AND THE ARCHITECT PRIOR TO PROCEEDING. KEEP ALL ADJOINING PUBLIC AREAS CLEAN AND FREE OF DEBRIS OR CONSTRUCTION DURING WORKING HOURS, AND MAKE AN EFFORT TO PROVIDE SAFE CONDITIONS FOR THE GENERAL PUBLIC AND WORKMEN.
- PROVIDE ALL LIFE SAFETY SYSTEMS INCLUDING, BUT NOT LIMITED TO TEMPORARY LIGHTING, BARRICADES, GUARD RAILS AND VENTILATION SYSTEMS REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS (OSHA)
- ANY SYSTEMS THAT ARE REMOVED THAT WERE CONNECTED TO A UTILITY SHALL BE REMOVED BY A TRADE FAMILIAR WITH THAT UTILITY. CAP ALL REMAINING UTILITIES AND MARK THEIR LOCATION AT THE SITE AND ON THE AS BUILT RECORD SET DOCUMENTS. NOTIFY THE UTILITY COMPANY AND THE OWNER OF INTENTIONS PRIOR TO PROCEEDING WITH THE REMOVAL PROCESS.
- AS WASTE MATERIALS ARE GENERATED, IMMEDIATELY REMOVE AND LEGALLY DISPOSE OF THE DEBRIS AWAY FROM THE PREMISES SO AS TO ASSURE A CLEAR WORKING ENVIRONMENT. ARRANGE WITH THE OWNER FOR AN ACCEPTABLE REMOVAL PROCESS. ON SITE BURNING OF THE DEBRIS IS NOT PERMITTED.
- PROTECT ALL EXISTING ON-SITE AND OFF-SITE CONSTRUCTION THAT IS TO REMAIN. (FINISH MATERIAL, ALARM SYSTEM, PLUMBING, HVAC, ELECTRICAL, SPRINKLER) PATCH, FILL AND REPAIR ALL SURFACES DISTURBED, CUT, DAMAGED, IN NEED OF REPAIR OR MADE IMPERFECT BY ALTERATIONS OR REMOVAL WORK AND AS REQUIRED TO PREPARE SURFACES FOR NEW MATERIALS AND ARRANGEMENTS.
- THE DESIGN PROFESSIONAL OR DESIGN BUILD CONTRACTOR HAVE NO KNOWLEDGE OF ANY HAZARDOUS MATERIAL ON THE JOB SITE. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED NOTIFY THE OWNER AND THE ARCHITECT. THE REMOVAL OF ANY HAZARDOUS MATERIALS SHALL BE PERFORMED IN STRICT CONFORMANCE TO THE APPLICABLE REGULATIONS AND PROCEDURES.
- PRIOR TO THE DEMOLITION OF THOSE ITEMS WHICH HAVE UTILITY CONNECTIONS (WATER, GAS, ELECTRICITY ETC.) ARRANGE TO LOCATE SHUT-OFF VALVES, PANEL BOXES AND OTHER CONTROL ELEMENTS. DO NOT ABANDON ANY ELECTRICAL OR MECHANICAL EQUIPMENT. REMOVE ALL EQUIPMENT NOT BEING REUSED OR REBURNISHED.
- THE SCOPE OF DEMOLITION AND REMOVAL TO BE PERFORMED SHALL NOT BE LIMITED BY THE DRAWINGS OR NOTES, BUT SHALL INCLUDE ALL WORK THAT SHALL BE REQUIRED OR DIRECTED BY THE OWNER'S REPRESENTATIVE IN ORDER TO FACILITATE THE NEW WORK.
- PRIOR TO STARTING THE CONSTRUCTION PHASE OF WORK, CLEAN THE SITE OF ALL DEMOLITION DEBRIS AND TOOLS AND LEAVE PREMISES BROOM CLEAN. ASSURE THAT THE DEMOLITION IS COMPLETE TO THE POINT WHERE NO ADDITIONAL DEMOLITION WILL BE REQUIRED TO ACCOMMODATE THE NEW WORK, UNLESS COORDINATED.
- PRIOR TO THE DEMOLITION OF THOSE ITEMS WHICH HAVE UTILITY CONNECTIONS (WATER, GAS, ELECTRICITY ETC.) ARRANGE TO LOCATE SHUT-OFF VALVES, PANEL BOXES AND OTHER CONTROL ELEMENTS, SO THAT WATER DAMAGE AND OTHER POTENTIALLY INCONVENIENT OR DANGEROUS SITUATIONS ARE AVOIDED.
- ALL UNUSED PIPING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- REPAIR AND/OR REPLACE EXISTING ITEMS NOT SCHEDULED OR NOTED TO BE DEMOLISHED, AND NOT SPECIFIED TO BE REMOVED, BUT WHICH BECAME DAMAGED DURING THE PROGRESS OF THE WORK. MAKE ANY AND ALL SUCH REPAIRS, REPLACEMENTS AND MODIFICATIONS TO RESTORE THE DAMAGED ITEMS TO THEIR ORIGINAL CONDITION AT THE TIME OF DAMAGE, TO THE SATISFACTION OF THE OWNER.
- COORDINATE ADDITION DEMOLITION WITH DRAWING A-700.

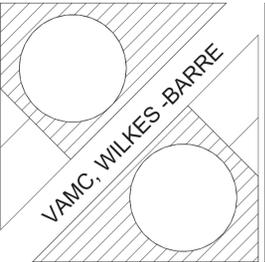
**GENERAL CONSTRUCTION NOTES**

- THE G.C. SHALL INVESTIGATE JOB SITE TO COMPARE CONTRACT DOCUMENTS AND EXISTING CONDITIONS. INCLUDE COST FOR ALL WORK DESCRIBED IN CONTRACT DOCUMENTS AND REQUIRED OR IMPLIED BY EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK, OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
- THE G.C. SHALL ISSUE COMPLETE SETS OF THE CONTRACT DOCUMENTS TO EACH OF THE SUBCONTRACTORS FOR COORDINATION OF THEIR WORK AND DESCRIPTION OF SCOPE. COORDINATE ALL DEMOLITION AND CONSTRUCTION WITH OTHER TRADES.
- THE G.C. SHALL APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. PROVIDE COPIES OF ALL TRANSACTIONS TO OWNER. NOTIFY DESIGN PROFESSIONAL OF ANY VARIANCE WITH CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- THE G.C. SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION AND DELIVERY COSTS, HOISTING, REMOVAL OF TRASH AND DEBRIS, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK.
- ALL WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, ALL CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR DELAYS BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH A CONTRACTOR.
- OTHER CONTRACTORS AND THEIR SUBCONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUSLY WITHIN THE DURATION OF THIS CONTRACT. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUB-CONTRACTOR TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, UNION OR NON-UNION.
- WORK SHALL BE DONE DURING NORMAL WORKING HOURS - COORDINATE WITH OWNER. CONTRACTOR SHALL SCHEDULE AND PERFORM ALL WORK SO AS NOT TO UNREASONABLY DISTURB ANY TENANT IN THE BUILDING AND SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.
- THE G.C. SHALL COMPLY AND COORDINATE ALL WORK WITH BUILDING OWNER REGARDING HEAT, WATER, ELECTRICITY, DELIVERIES, ACCESS, NOISE CONTROL, TRASH AND DEBRIS REMOVAL, HOISTING, AND ANY OTHER UTILITIES OR OWNER'S RULES AND REGULATIONS CONCERNING THE PROJECT SITE.
- THE G.C. SHALL OBTAIN MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. NOTIFY ARCHITECT WITHIN 5 DAYS OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH COULD DELAY COMPLETION OF CONTRACT.
- THE G.C. SHALL COORDINATE SCHEDULING, PROVISIONS FOR INSTALLATION, LOCATIONS AND THE ACTUAL INSTALLATION OF ITEMS FURNISHED BY OWNER OR BY OTHERS.
- WORK WITH ALL TRADES ON THE PROJECT NOT UNDER CONTRACT TO THE CONTRACTOR (I.E.: TELEPHONE, COMPUTER INSTALLERS, ETC.), ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN SUCH TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE G.C. SHALL VERIFY ALL DIMENSIONS IN THE FIELD. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- THE G.C. SHALL SUBMIT FOR REVIEW ALL ABOVE BUILDING STANDARD SAMPLES AND PRODUCT LITERATURE. SUBMIT FOR ARCHITECT'S CONSIDERATION SAMPLES AND PRODUCT LITERATURE AND OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS.
- THE G.C. SHALL SUBMIT FOR REVIEW PRIOR TO FABRICATION OR PURCHASE, SHOP DRAWINGS OR SAMPLES FOR ALL MILLWORK, CUSTOM METALWORK, CUSTOM CASEWORK, AND ALL OTHER ITEMS AS REQUESTED BY THE ARCHITECT FOR ALL ABOVE BUILDING STANDARD ITEMS.
- CHANGES IN DRAWINGS OR ACTUAL WORK SHALL BE ISSUED BY THE DESIGN PROFESSIONAL.
- PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARD OF WORKMANSHIP.
- THE G.C. SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS. ADVISE DESIGN PROFESSIONAL OF ANY EXISTING CONSTRUCTION NOT LEVEL, SMOOTH AND PLUMB WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
- THE G.C. SHALL INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK AND IN COORDINATION WITH PROGRESSION OF WORK SCHEDULE. PERFORM WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTIONS AT NO ADDITIONAL CHARGE TO OWNER.
- WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED, BY THE CONTRACTOR, AT NO ADDITIONAL CHARGE TO THE OWNER.
- THE G.C. SHALL MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND LIFE SAFETY SYSTEMS IN WORKING ORDER.

- EXIT DOORS, EGRESS DOORS, AND OTHER DOORS REQUIRED FOR MEANS OF EGRESS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- VERIFY ALL KEYING REQUIREMENTS OF ALL LOCKS WITH OWNER.
- 24 HOURS PRIOR TO OCCUPANCY OF ANY PHASE, THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL AND EQUIPMENT. VACUUM OR MOP ALL FLOORS AND CLEAN WINDOWS.
- SUBSTANTIAL COMPLETION SHALL BE THE DATE ON WHICH THE PREMISES ARE AVAILABLE FOR OCCUPANCY.
- THE G.C. SHALL PROVIDE A WARRANT TO THE OWNER THAT ALL MATERIALS, AND EQUIP. FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND SHALL CONFORM TO THE CONTRACT DOCUMENTS.
- FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPTLY CORRECT WORK FOUND NOT TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COST OF CORRECTIONS.
- CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS OF THE CONTRACT, LOCAL CONDITIONS RELATING TO LOCATION, ACCESSIBILITY AND GENERAL CHARACTER OF THE CONSTRUCTION SITE AND LOCAL LABOR CONDITIONS SO THAT HE UNDERSTANDS THE NATURE, EXTENT, DIFFICULTIES, AND RESTRICTIONS RELATED TO THE EXECUTION OF WORK. NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL FRAME AND FINISH WHERE NECESSARY ALL MECHANICAL AND ELECTRICAL WALL PENETRATIONS.
- WOOD IN DIRECT CONTACT WITH CONCRETE OR WEATHER TO BE MOISTURE RESISTANT.
- G.C. TO COORDINATE WITH E.C. THE MOUNTING HEIGHT OF ALL SWITCHES AND OUTLETS AT MILLWORK, COUNTERS, SHELVING, SINKS, ETC.
- CONTRACTOR IS TO PROVIDE ALL MISC. FRAMING, BLOCKING, ETC. TO HANG SCREENS, BULLETIN BOARDS, RAILS, TOILET ACCESSORIES, WOODWORK, ETC.
- G.C. IS TO COORDINATE WITH ALL TRADES FOR CEILING PENETRATIONS AND PROVIDE BRACING FOR EXTRA SUPPORT AS NECESSARY FOR PROPER INSTALLATION.
- G.C. IS TO PROVIDE TEMPORARY WEATHERTIGHT WEATHERPROOF CLOSURES AT ALL ROOF OPENINGS UNTIL AFTER INSTALLATION OF MECHANICAL UNITS, DRAINS, VENTS, ETC. ROOF IS THEN TO BE RESEALED.
- ALL EXISTING AND NEW PENETRATIONS, VERTICAL AND HORIZONTAL ARE TO BE PROVIDED WITH AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM HAVING A SMOKE RESISTANCE AND/OR FIRE RESISTANCE RATING EQUAL TO OR GREATER THAN THE ASSEMBLY PENETRATED.
- PIPE SLEEVES ARE TO BE CONDUIT (LENGTH TO MATCH THE THICKNESS OF THE WALL), WITH INSULATED BUSHINGS AND ARE TO BE SEALED AFTER CONDUIT INSTALLATION TO MAINTAIN RATING.
- CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS WHEN RELOCATING AND/OR INSTALLING ANY EQUIPMENT AND FURNISHINGS.
- GENERAL CONTRACTOR SHALL VERIFY EQUIPMENT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIR-TIGHT SEAL.
- CONTRACTOR TO REMOVE ANY STRAY PAINT, DIRT, OR STAINS INCURRED DURING THE CONSTRUCTION PROCESS. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TEMPORARY EQUIPMENT COVERINGS USED DURING CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR REMOVING TRASH OFF OF THE JOB SITE DAILY.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND WELDING IN COMPLIANCE WITH THE PUBLISHED STANDARDS OF NFPA. THE CONTRACTOR SHALL PROVIDE FIRE WATCHES FOR ALL CUTTING, GRINDING, AND WELDING OPERATIONS. THE TRAINING OF THESE FIRE WATCHES AND THE USE OF THE CONTRACTOR'S SUPPLIED FIRE EXTINGUISHERS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY STEEL NOT SHOWN ON THE STRUCTURAL DRAWINGS IS TO BE FURNISHED BY THE MISCELLANEOUS IRON CONTRACTOR (M.I. CONTR.)
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DETAILS OF UTILITY WALL PENETRATIONS.
- ALL STRUCTURAL STEEL MEMBERS TO HAVE ONE SHOP COAT OF PAINT (PRIMER ONLY).
- PROVIDE TILE BACKERBOARD @ ALL WALL AREAS RECEIVING TILE.
- WHERE TWO DISSIMILAR METALS MEET, PAINT FACE OF ONE WITH BITUMINOUS PAINT.
- PROVIDE OPENINGS AS REQUIRED FOR MECH. AND ELECT. EQUIPMENT. DRYWALL CONTRACTOR TO PROVIDE STUD BRACING AS REQUIRED TO STABILIZE WALLS ABOVE CEILINGS AT HIGH AND LOW PARTITIONS.
- GYPSUM WALL BOARD CEILING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVISION AND INSTALLATION OF ALL SUPPLEMENTAL MISCELLANEOUS IRON AND/OR STRUCTURAL STEEL (16 GA.) STUDDING REQUIRED TO ADEQUATELY SUPPORT ALL GYPSUM WALLBOARD DROPS SOFFITS, CORNICES, ETC. FROM THE STRUCTURAL STEEL ABOVE.
- SAID CONTRACTOR AS WELL AS THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE THE INSTALLATION OF THE REQUIRED SUPPLEMENTAL MISC. IRON AND/OR STRUCTURAL STEEL STUDDING SO AS NOT TO INTERFERE WITH THE INSTALLATION OF DUCTWORK, PIPING, CONDUIT, SPRINKLER SYSTEM AND/OR ACOUSTICAL SUSPENDED CEILING SYSTEM.
- ALL RECEPTACLES ARE TO CENTERLINE OF BOX AND ARE 18" A.F.F. UNLESS OTHERWISE NOTED. ALL GFTS IN TOILET ROOMS ARE TO CENTERLINE OF BOX UNLESS OTHERWISE NOTED.

**EXISTING BUILDING SAFETY NOTES:  
COMMERCIAL RENOVATION:**

- ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE DEPARTMENT OF VETERANS AFFAIRS AND THE REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- MEANS OF EGRESS:
  - ALL EXISTING MEANS OF EGRESS FOR THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY:
  - ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE FOR ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED AREA. ACCESS TO THE AREA TO BE CONTROLLED BY THE OWNER OR THE GENERAL CONTRACTOR.
  - ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
  - ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
  - ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
  - ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
  - ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS, UNLESS REQUIRED BY OWNER, GOVERNING CODE OR EQUIPMENT MANUFACTURER REQUIREMENTS.
  - THE CONTRACTOR IS AT ALL TIMES TO ENSURE THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDING, OR FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.
- DUST CONTROL:
  - DEBRIS, DIRT AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
  - CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREAS BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.
  - DEBRIS, DIRT AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
  - CONSTRUCTION TO FOLLOW PREVIOUSLY SIGNED ICRA FORMWORK.
- NOISE AFTER HOURS:
  - CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES TO WORK OTHER THAN REGULAR HOURS. (REGULAR WORKING HOURS AS DICTATED BY DEPARTMENT OF VETERANS AFFAIRS).
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER OR ELECTRICAL SERVICE TO OTHER TENANTS - UNLESS NOTIFIED IN WRITING SEVEN (7) DAYS PRIOR TO INTERRUPTION. CONTRACTOR SHALL ALSO NOTIFY OWNER.

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Professional Seal										

FULLY SPRINKLERED

SYMBOL LEGEND	
	DIMENSION LINE
	ROOM DESIGNATION
	ROOM NUMBER
	ROOM AREA
	DOOR AND DOOR TAG
	WINDOW TAG
	PARTITION TAG
	PLAN DETAIL TAG
	PLAN DETAIL TAG
	SECTION CUT TAG
	ELEVATION DESIGNATION
	ELEVATION DESIGNATION
	COLUMN DESIGNATION
	GRID LINE
	BREAK LINE
	NORTH ARROW
	REVISION NUMBER
	ELEVATION TAG
	FIRE EXTINGUISHER WITH WALL BRACKET

### ARCHITECTURAL ABBREVIATIONS

ABV ABOVE	FOM FACE OF MASONRY	PT(D) PAINT(ED)
ACP ACOUSTICAL CEILING PANEL	FOS FACE OF STUDS	PR PAIR
ADD ADDENDUM	FP FIREPROOF(ING)	PSF POUNDS PER SQUARE FOOT
AFF ABOVE FINISHED FLOOR	FTG FOOTING	PSI POUNDS PER SQUARE INCH
AHU AIR HANDLING UNIT	GA GAUGE	PT POINT
ALT ALTERNATE	GALV GALVANIZED	PTN PARTITION
ALUM ALUMINUM	GC GENERAL CONTRACTOR	R RISER
AP ACOUSTICAL PANEL	GL GLASS, GLAZING	RA RETURN AIR
APPR APPROXIMATE	GMD GROUP MOUNTED DEVICE	RAD RADIUS
ARCH ARCHITECT(URAL)	GWB GYPSUM WALLBOARD	RB RESILIENT BASE
BIT BITUMINOUS	H/C HANDICAP(PED)	RD ROOF DRAIN
BLDG BUILDING	H HIGH	REINF REINFORCE(D), REINFORCING
B.O. BOTTOM OF	HDWR HARDWARE	REF REFERENCE
BOT BOTTOM	HM HOLLOW METAL	REQD REQUIRED
BRK BRICK	HORZ HORIZONTAL	RES RESILIENT
BMT BASEMENT	HT HEIGHT	RET RETURN
CJT CONTROL JOINT	HVAC HEATING, VENTILATING, AND AIR CONDITIONING	REV REVISION
CLG CEILING	ID INSIDE DIAMETER	RM ROOM
CLOS CLOSET	INCL INCLUDE(D), INCLUDING	RO ROUGH OPENING
CMU CONCRETE MASONRY UNIT	INFO INFORMATION	RT RUBBER TILE
COL COLUMN	INS INSULATE, INSULATION	SCH SCHEDULE
CONC CONCRETE	INT INTERIOR	SECT SECTION
CONF CONFERENCE	JC JANITOR'S CLOSET	SF SQUARE FOOT
CONST CONSTRUCTION	JT JOINT	SQ, FT SQUARE FOOT
CONT CONTINUOUS	KIT KITCHEN	SFF SPECIAL FLOOR FINISH
CONTR CONTRACTOR	L LENGTH/LONG	SHW SHOWER
CORR CORRIDOR	LAB LABORATORY	SIM SIMILAR
CP CONTROL PANEL	LAM LAMINATE(D)	SPEC(S) SPECIFICATION(S)
CPT CARPET	LAV LAVATORY	SQ SQUARE
CRS COURSE(S)	LF LINEAR FOOT	STC SOUND TRANSMISSION CLASS
CUH CABINET UNIT HEATER	MAX MAXIMUM	STD STANDARD
CT CERAMIC TILE	MDO MEDIUM DENSITY OVERLAY	STL STEEL
DTL DETAIL	MECH MECHANICAL	STOR STORAGE
DF DRINKING FOUNTAIN	MED MEDIUM	STR STRUCTURAL
DIAM DIAMETER	MET METAL	SV SHEET VINYL
DIM DIMENSION	MFG MANUFACTURING	SWC SPECIAL WALL COVERING
DR DOOR	MIN MINIMUM	SYM SYMMETRICAL
D.S. DOWN SPOUT	MISC MISCELLANEOUS	SYS SYSTEM
DWG DRAWING	MO MASONRY OPENING	T TREAD
EA EACH	MR MOP RECEPTOR	T&G TONGUE AND GROOVE
EXP JT EXPANSION JOINT	MT(D) MOUNT(ED)	TA TOILET ACCESSORIES
EL ELEVATION	MTG MOUNTING	TEL TELEPHONE
ELEC ELECTRIC(AL)	NEC NECESSARY	TEMP TEMPORARY
ELEV ELEVATOR	NIC NOT IN CONTRACT	THK THICK(NESS)
EMER EMERGENCY	NO NOT OPERABLE	T.O. TOP OF
EQ EQUAL	NOM NOMINAL	TOM TOP OF MASONRY
EQPT EQUIPMENT	NTS NOT TO SCALE	TOD TOP OF ROOF DECK
EWC ELECTRIC WATER COOLER	OA OVERALL	TOS TOP OF STEEL
EX EXISTING	OC ON CENTER	TPTN TOILET PARTITION
EXH EXHAUST	OD OUTSIDE DIAMETER	TSL TOP OF SLAB
EXP EXPANSION	OFCI OWNER FURNISHED CONTRACTOR INSTALLED	TW TOP OF WALL
EXT EXTERIOR	OH OVERHEAD	TYP TYPICAL
FA FIRE ALARM	OPNG OPENING	UC UNDERCUT
FBO FURNISHED BY OTHERS/OWNER	OPP OPPOSITE	UOD UNDERSIDE OF DECK
FD FLOOR DRAIN	PLBG PLUMBING	UON UNLESS OTHERWISE NOTED
FEC FIRE EXTINGUISHER CABINET	PLT PLATE	VCT VINYL COMPOSITE TILE
FIN FINISH(ED)	PLY PLYWOOD	VIF VERIFY IN FIELD
FIXT FIXTURE	PM PRESSED METAL	VERT VERTICAL
FLR FLOOR		VVB VENTED VINYL BASE
FNDN FOUNDATION		W/ WITH
F.O. FACE OF		W/O WITHOUT
FOC FACE OF CONCRETE		WD WOOD
FOF FACE OF FINISH		WPT WORKING POINT

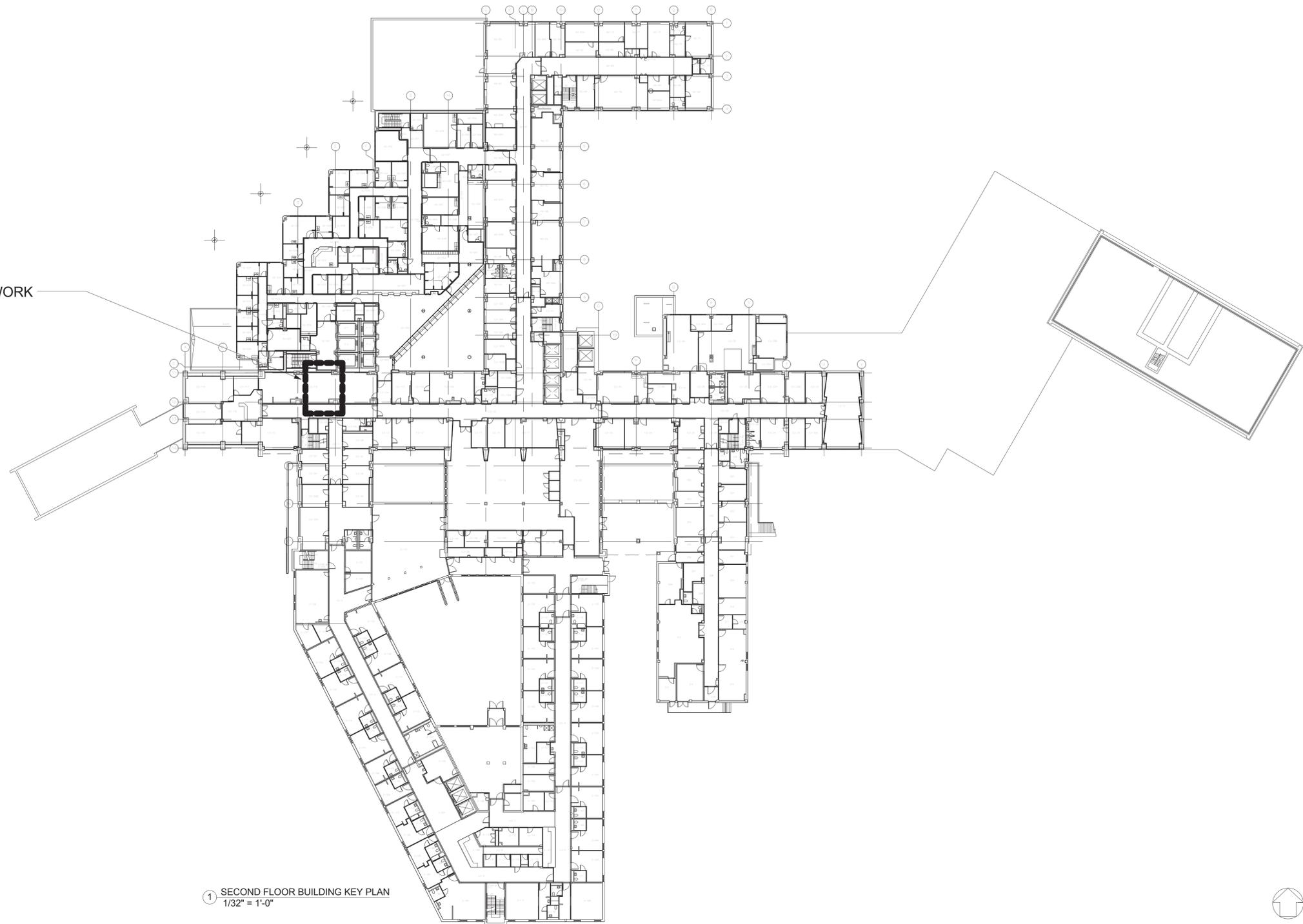
### GENERAL PARTITION NOTES:

- INTERIOR PARTITIONS SHALL HAVE A MINIMUM STC OF 40.
- INSTALL ALL CERAMIC WALL TILE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARD SPECIFICATIONS FOR THE INSTALLATION OF CERAMIC TILE. PROVIDE CEMENT BACKER BOARD AT ALL WET WALL AREAS, NO EXCEPTIONS. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL OTHER WALLS RECEIVING TILE.
- ALL PENETRATIONS THROUGH RATED PARTITIONS SHALL BE SEALED WITH FIRE/SMOKE SEALANT EQUAL OR GREATER THAN THE REQUIRED PARTITION RATING.
- FLOOR PLAN DIMENSIONS GIVEN TO FACE OF GYPSUM WALL BOARD.
- ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF ALL CONTRACTORS FOR ALL PHASES INCLUDING FABRICATION, COORDINATION AND CONSTRUCTION.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- THE G.C. SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS. ADVISE ARCHITECT OF ANY EXISTING CONSTRUCTION THAT IS NOT LEVEL, SMOOTH AND PLUMB WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
- THE G.C. SHALL INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK AND IN COORDINATION WITH PROGRESSION OF WORK SCHEDULE. PERFORM WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTIONS AT NO ADDITIONAL CHARGE TO OWNER.
- WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED, BY THE CONTRACTOR, AT NO ADDITIONAL CHARGE TO THE OWNER.
- G.C. TO COORDINATE WITH E.C. THE MOUNTING HEIGHT OF ALL SWITCHES AND OUTLETS AT MILLWORK, COUNTERS, SHELVING, SINKS, ETC.
- CONTRACTOR IS TO PROVIDE ALL MISC. FIRE RATED, BLOCKING, ETC. TO HANG SCREENS, BULLETTIN BOARDS, WOODWORK, ETC.
- G.C. IS TO COORDINATE WITH ALL TRADES FOR CEILING PENETRATIONS AND PROVIDE BRACING FOR EXTRA SUPPORT AS NECESSARY FOR PROPER INSTALLATION.
- PROVIDE OPENINGS AS REQUIRED FOR MECH. AND ELECT. EQUIPMENT. DRYWALL CONTRACTOR TO PROVIDE STUD BRACING AS REQUIRED TO STABILIZE WALLS ABOVE CEILINGS AT HIGH AND LOW PARTITIONS.

VA REVIEW COMMENTS 100% REVIEW SUBMISSION 95% REVIEW SUBMISSION Revisions	12/10/2010 10/25/2010 9/17/2010 Date		ARCHITECT	LEAD PROFESSIONAL	ENVIRONMENTAL CONSULTANT	STRUCTURAL ENGINEER	Drawing Title	Project Title	Date		Department of <b>VA</b> Veterans Affairs
			<b>RODNEY BURNETT AIA</b> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>BBIX, L.L.C.</b> ARCHITECTS & ENGINEERS 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>TCI ENVIRONMENTAL SERVICES, INC.</b> 100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	<b>LEONARD ENGINEERING, INC.</b> 480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463	<b>LEGENDS</b>	<b>SECOND FLOOR CORRIDOR RENOVATIONS</b>	12/10/2010		
		Professional Seal					Approved: Project Manager	Building Number <b>01</b>	Checked TJG	Drawn RDT	Project Number 076002.01
							Approved: Service Chief	Location <b>VAMC, WILKES-BARRE PENNSYLVANIA</b>			Drawing No. <b>G002</b>

FULLY SPRINKLERED

AREA OF WORK



① SECOND FLOOR BUILDING KEY PLAN  
1/32" = 1'-0"

VA REVIEW COMMENTS	12/10/2010
100% REVIEW SUBMISSION	10/25/2010
95% REVIEW SUBMISSION	9/17/2010
Revisions	Date



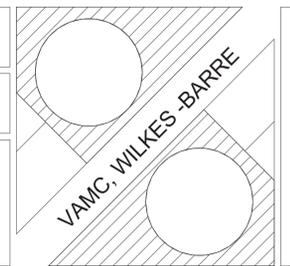
Professional Seal

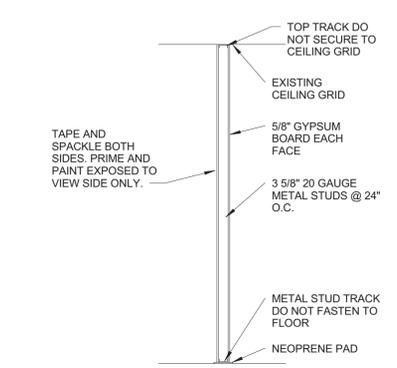
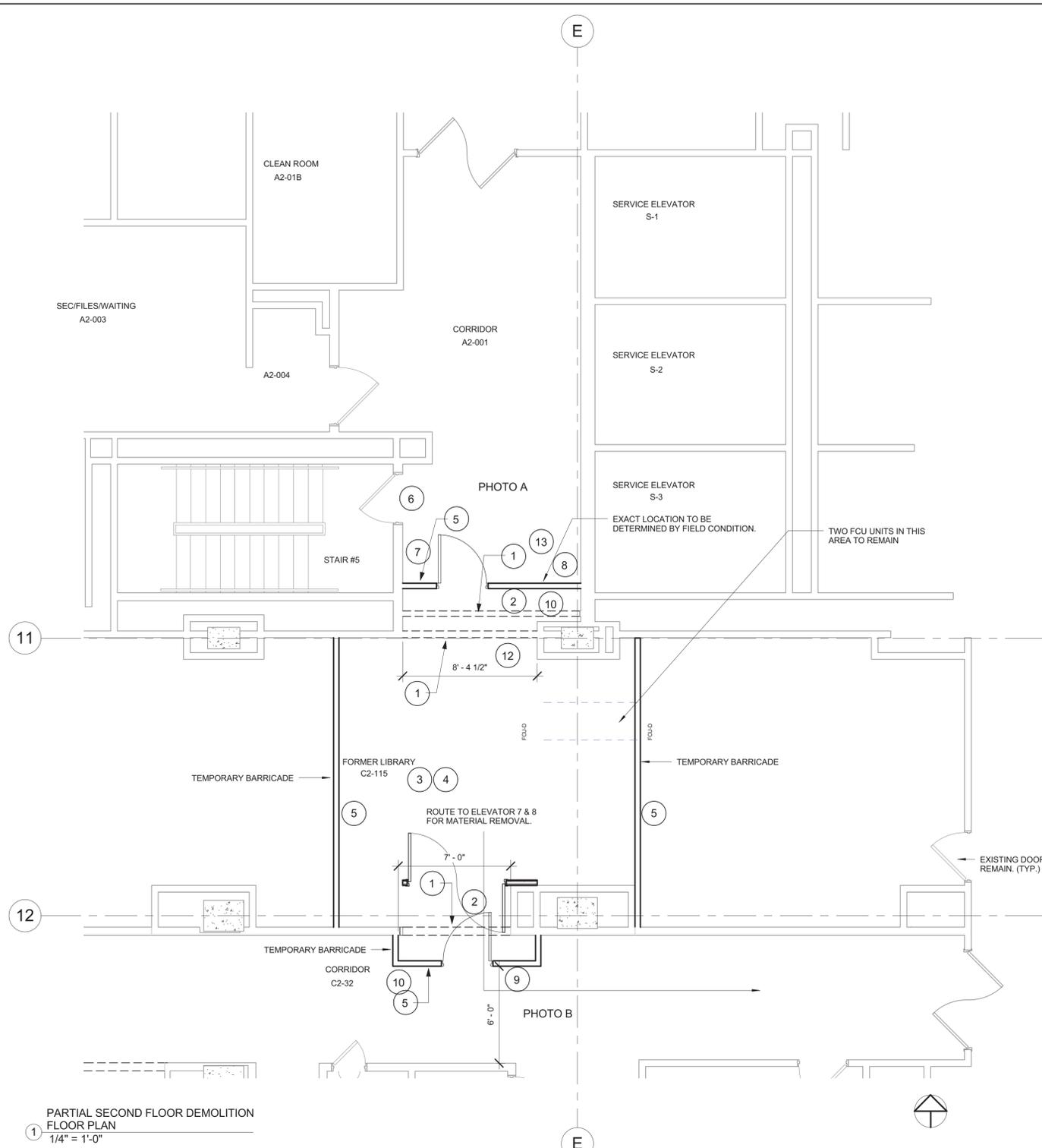
<b>ARCHITECT</b> <b>RODNEY BURNETT AIA</b> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>LEAD PROFESSIONAL</b> <b>BBIX, L.L.C.</b> <small>ARCHITECTS &amp; ENGINEERS</small> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>ENVIRONMENTAL CONSULTANT</b> <b>TCI ENVIRONMENTAL SERVICES, INC.</b> 100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	<b>STRUCTURAL ENGINEER</b> <b>LEONARD ENGINEERING, INC.</b> 480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463
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<b>Drawing Title</b> <b>SECOND FLOOR BUILDING KEY PLAN</b>
Approved: Project Manager
Approved: Service Chief

<b>Project Title</b> <b>SECOND FLOOR CORRIDOR RENOVATIONS</b>		
Building Number <b>01</b>	Checked TJG/SPG	Drawn RMS
Location <b>VAMC, WILKES -BARRE PENNSYLVANIA</b>		

Date 12/10/2010
Project Number 076002.01
Drawing No. <b>G100</b>

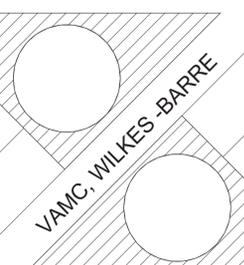


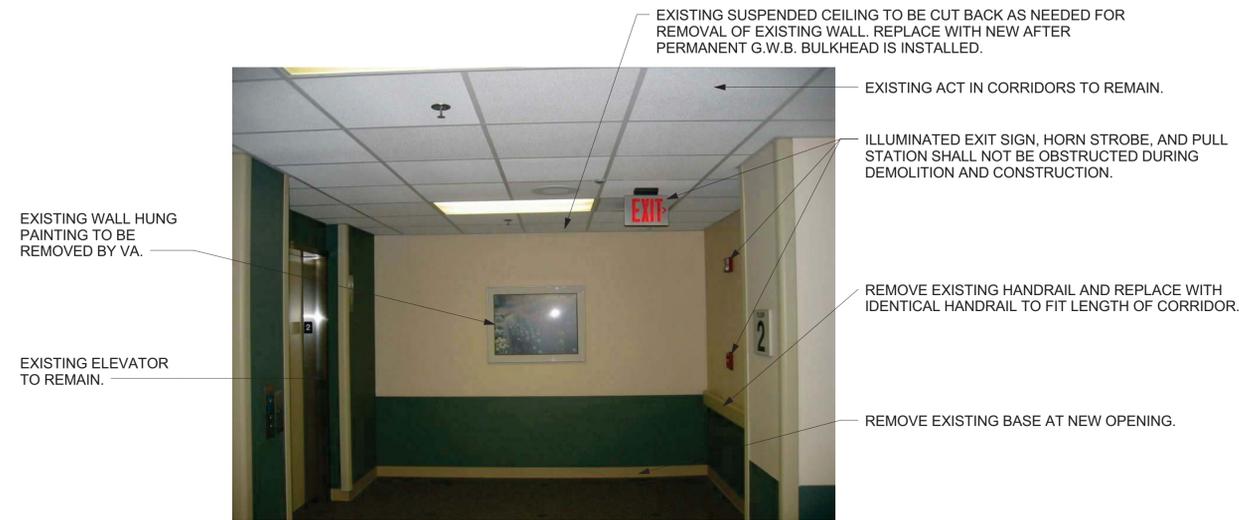


- ### KEY NOTES
- ① WALLS TO BE REMOVED BY ABATEMENT CONTRACTOR.
  - ② ACM MATERIAL TO BE REMOVED BY ABATEMENT CONTRACTOR. SEE SPECIFICATION SECTION 02 82 11 FOR QUANTITIES AND LOCATION AND COORDINATE WITH DRAWING ASB100.
  - ③ REMOVE ALL LIGHT FIXTURES - TURN OVER TO OWNER
  - ④ REMOVE ALL SUSPENDED ACOUSTICAL CEILING TILE
  - ⑤ TEMPORARY BARRICADE  
3 5/8" METAL STUDS WITH ONE LAYER 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD FULL HEIGHT-PROVIDE ONE 3'0"x7'-0" SOLID CORE WOOD DOOR - COORDINATE LOCATION WITH VA.
  - ⑥ EXISTING STAIR TOWER DOOR (EGRESS DOOR) TO REMAIN. DO NOT OBSTRUCT. CLEAR ACCESS REQUIRED.
  - ⑦ EXISTING PULL STATION AND AV UNIT TO REMAIN UNOBSTRUCTED.
  - ⑧ EXISTING ELEVATOR CONTROL TO REMAIN UNOBSTRUCTED.
  - ⑨ ACM FLOOR TILES TO BE REMOVED BY ABATEMENT CONTRACTOR.
  - ⑩ CUT BACK EXISTING CEILING GRID AS REQUIRED. REINSTALL OR REPLACE WITH NEW GRID AND TILES TO MATCH EXISTING.
  - ⑪ REMOVAL OF FLOOR FINISH BY ABATEMENT CONTRACTOR.
  - ⑫ ABATEMENT CONTRACTOR TO PROVIDE TEMPORARY SHORING UNTIL PERMANENT STRUCTURAL SUPPORT IS INSTALLED.
  - ⑬ ANY EXISTING SPRAY ON FIRE PROOFING DAMAGED OR DISTURBED BY DEMOLITION MUST BE REPLACED/REPAIRED TO MAINTAIN EXISTING RATING.

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO THE FOLLOWING:
1. SUBMIT SELECTIVE DEMOLITION SCHEDULE FOR APPROVAL, INCLUDING SCHEDULE AND METHODS, CAPPING, AND CONTINUING UTILITY SERVICE.
  2. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
  3. OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE DEMOLITION WORK AS REQUIRED BY ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION
  4. WHEN THE NATURE OF THE DEMOLITION REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CHUTES FOR THE DISPOSAL OF MATERIAL AND RUBBISH.
  5. REMOVE AND SALVAGE DEBRIS FROM THE SITE DAILY, AFTER NORMAL BUSINESS HOURS IN ENCLOSED, RUBBER WHEEL CARTS. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIAL IN SUCH A MANNER AS TO PREVENT SPILLAGE. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
  6. DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER OCCUPIED OR USED SPACES OR FACILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND THE AUTHORITIES HAVING JURISDICTION. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE AUTHORIZES HAVING JURISDICTION. IF NECESSARY PROVIDE TEMPORARY UTILITIES - ALL COSTS FOR TEMPORARY UTILITIES SHALL BE INCLUDED IN THE CONTRACTOR'S BIO.
  7. CEASE OPERATION IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
  8. IN COMPANY OF THE DESIGN PROFESSIONAL AND OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED PRIOR TO STARTING THE WORK. CAREFULLY IDENTIFY THE LIMITS OF SELECTIVE DEMOLITION. MARK INTERFACE SURFACES AS REQUIRED TO ENABLE THE WORKMEN TO ALSO IDENTIFY THE ITEMS TO BE REMOVED AND STORED, AS WELL AS THE ITEMS TO BE LEFT IN PLACE INTACT.
  9. USE MEANS NECESSARY TO PREVENT DUST FROM MIGRATION IN ACCORDANCE WITH VA ICRA REQUIREMENTS.
  10. EXECUTE DEMOLITION WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY DEBRIS.
  11. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, RE-USE, SHUT-OFF, STUB-OFF, CAPPING-OFF OR UPGRADING OF ALL EXISTING PLUMBING, HVAC, FIRE ALARM, SECURITY AND ELECTRICAL SYSTEMS, EQUIPMENT AND APPURTENANCES-INCLUDING, BUT NOT LIMITED TO, UTILITY LINES, DUCTS, CONNECTIONS, PANELS, VENTS, FANS, ELECTRICAL BASEBOARD HEAT, PIPING, DEVICES, CONTROLS, SWITCHES, OUTLETS, AND CONDUIT DURING THE CONSTRUCTION AS REQUIRED, AS SCHEDULED OR AS SPECIFIED IN ACCORDANCE WITH ALL CODES. REMOVE ALL ABANDONED ITEMS-TYPICAL. GC IS RESPONSIBLE FOR DETERMINING WHICH SERVICES ARE ABANDONED
  12. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL ASBESTOS CONTAINING MATERIAL AND IN DOING SO SHALL COMPLY WITH ALL APPLICABLE VA AND OSHA REGULATIONS AND ALL OTHER FEDERAL, STATE AND LOCAL GUIDELINES REGARDING ASBESTOS-CONTAINING MATERIAL REMOVAL AND DISPOSAL.
  13. OWNER SHALL NOT BE HELD RESPONSIBLE FOR CONTRIBUTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS OR FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN STRICT ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. OWNER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
  14. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE DONE TO EXISTING FEATURES AS A RESULT OF THIS WORK. DAMAGES ITEMS SHALL BE REPLACED IN KIND AND AT NO ADDITIONAL COST TOT HE OWNER.
  15. REUSE OF EXISTING CONDUITS THROUGHOUT PROJECT IS ALLOWED AND ENCOURAGED TO REDUCE WASTE. WIRING SHALL NOT BE REUSED.

① PARTIAL SECOND FLOOR DEMOLITION FLOOR PLAN  
1/4" = 1'-0"

		<b>ARCHITECT</b> <b>RODNEY BURNETT AIA</b> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6880 FAX: 570.822.8005	<b>LEAD PROFESSIONAL</b> <b>BBIX, L.L.C.</b> ARCHITECTS & ENGINEERS 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6880 FAX: 570.822.8005	<b>ENVIRONMENTAL CONSULTANT</b> <b>TCI ENVIRONMENTAL SERVICES, INC.</b> 100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	<b>STRUCTURAL ENGINEER</b> <b>LEONARD ENGINEERING, INC.</b> 480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463	Drawing Title <b>PARTIAL SECOND FLOOR DEMOLITION PLAN AND NOTES</b>	Project Title <b>SECOND FLOOR CORRIDOR RENOVATIONS</b>	Date 12/10/2010		Department of VA Veterans Affairs <b>FULLY SPRINKLERED</b>	
VA REVIEW COMMENTS 100% REVIEW SUBMISSION 95% REVIEW SUBMISSION Revisions		Date 12/10/2010 10/25/2010 9/17/2010 Date		Approved: Project Manager		Building Number <b>01</b>	Checked TJG	Drawn RDT			Project Number 076002.01
				Approved: Service Chief		Location <b>VAMC, WILKES -BARRE PENNSYLVANIA</b>	Drawing No. <b>D100</b>				

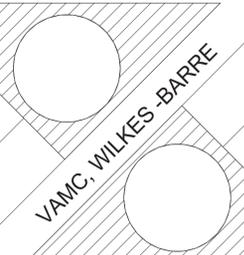


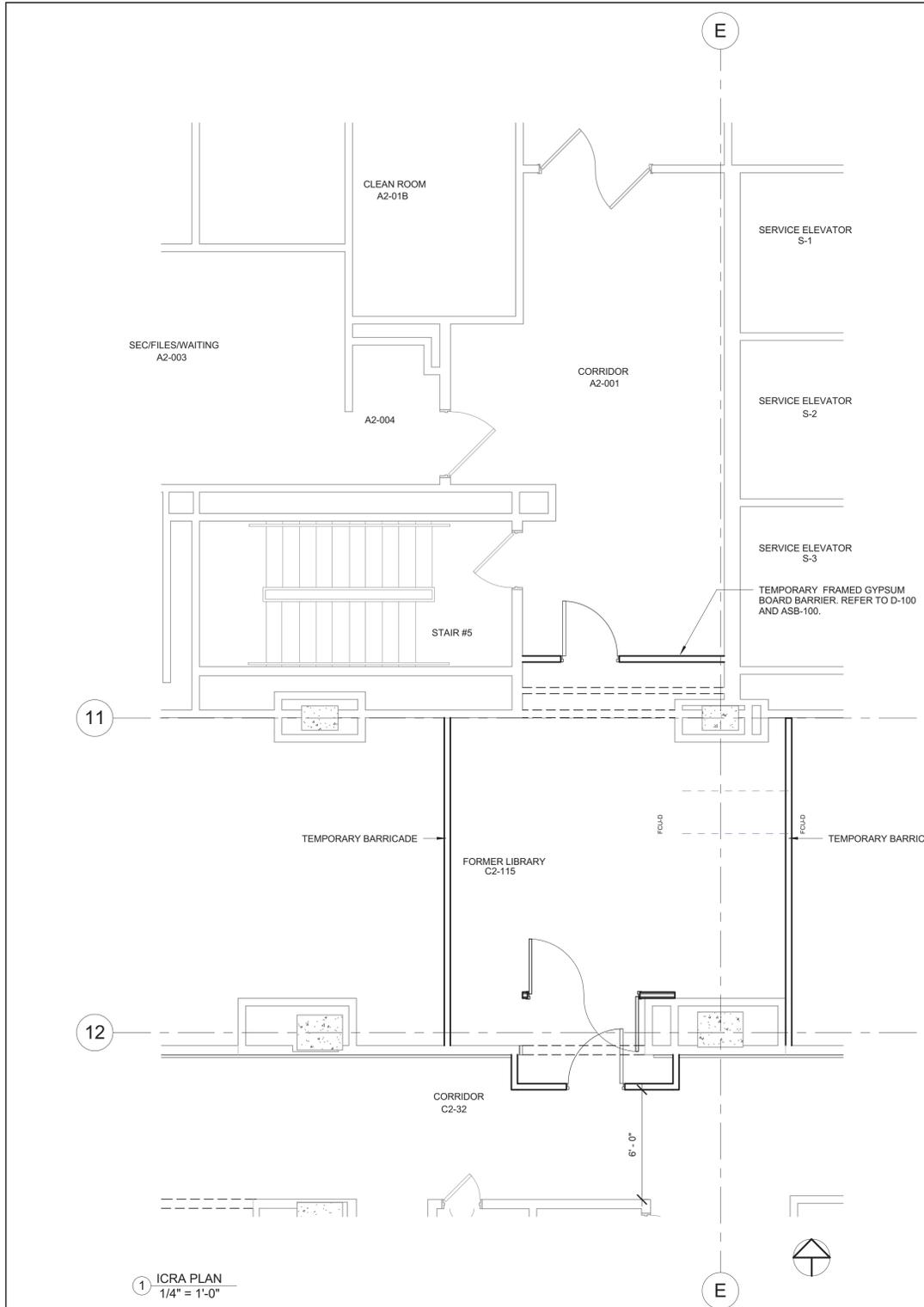
**PHOTO A**

NEW WALL FINISHES TO BE DETERMINED BY OWNER.



**PHOTO B**

VA REVIEW COMMENTS 100% REVIEW SUBMISSION 95% REVIEW SUBMISSION Revisions		12/10/2010 10/25/2010 9/17/2010 Date	 Professional Seal	ARCHITECT <b>RODNEY BURNETT AIA</b> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	LEAD PROFESSIONAL <b>BBIX, L.L.C.</b> ARCHITECTS & ENGINEERS 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	ENVIRONMENTAL CONSULTANT <b>TCI ENVIRONMENTAL SERVICES, INC.</b> 100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	STRUCTURAL ENGINEER <b>LEONARD ENGINEERING, INC.</b> 480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463	Drawing Title <b>DEMOLITION PHOTOGRAPHS</b>	Project Title <b>SECOND FLOOR CORRIDOR RENOVATIONS</b>	Date 12/10/2010		Project Number 076002.01	Building Number <b>01</b>	Checked TJG	Drawn RDT	Drawing No. <b>D101</b>	Department of <b>VA</b> Veterans Affairs FULLY SPRINKLERED
						Approved: Project Manager	Location VAMC, WILKES -BARRE PENNSYLVANIA										
					Approved: Service Chief												



DESCRIPTION OF REQUIRED INFECTION CONTROL PRECAUTIONS BY CLASS	
CLASS	DURING CONSTRUCTION PROJECT
CLASS I	1. EXECUTE WORK BY METHODS TO MINIMIZE RAISING DUST FROM CONSTRUCTION OPERATIONS. 2. IMMEDIATELY REPLACE CEILING TILE IF DISPLACED.
CLASS II	1. PROVIDE ACTIVE MEANS TO PREVENT AIRBORNE DUST FROM DISPERSING INTO ATMOSPHERE. 2. WATER MIST WORK SURFACES TO CONTROL DUCT WHILE CUTTING. 3. SEAL UNUSED DOORS WITH DUCT TAPE. 4. BLOCK OFF AND SEAL AIR VENTS. 5. PLACE DUST MAT AT ENTRANCE AND EXIT OF WORK AREAS. 6. REMOVE OR ISOLATE HVAC SYSTEM IN AREAS WHERE WORK IS BEING PERFORMED.
CLASS III	1. REMOVE OR ISOLATE HVAC SYSTEM IN AREA WHERE WORK IS BEING DONE TO PREVENT CONTAMINATION OF DUCT SYSTEM. 2. COMPLETE ALL CRITICAL BARRIERS (E. SHEETROCK, PLYWOOD, PLASTIC, TO SEAL AREA FROM NON WORK AREA OR IMPLEMENT CONTROL CURB METHOD (CART WITH PLASTIC COVERING AND SEALED CONNECTION TO WORK SITE WITH HEPA VACUUM FOR VACUUMING PRIOR TO EXIT) BEFORE CONSTRUCTION BEGINS. 3. MAINTAIN NEGATIVE AIR PRESSURE WITHIN WORK SITE UTILIZING HEPA EQUIPPED AIR FILTRATION UNITS. 4. CONTAIN CONSTRUCTION WASTE BEFORE TRANSPORT IN TIGHTLY COVERED CONTAINERS. 5. COVER TRANSPORT RECEPTACLES OR CARTS. TAPE COVERING UNLESS SOLID.
CLASS IV	1. ISOLATE HVAC SYSTEM IN AREA WHERE WORK IS BEING DONE TO PREVENT CONTAMINATION OF DUCT SYSTEM. 2. COMPLETE ALL CRITICAL BARRIERS (E. SHEETROCK, PLYWOOD, PLASTIC, TO SEAL AREA FROM NON WORK AREA OR IMPLEMENT CONTROL CURB METHOD (CART WITH PLASTIC COVERING AND SEALED CONNECTION TO WORK SITE WITH HEPA VACUUM FOR VACUUMING PRIOR TO EXIT) BEFORE CONSTRUCTION BEGINS. 3. MAINTAIN NEGATIVE AIR PRESSURE WITHIN WORK SITE UTILIZING HEPA EQUIPPED AIR FILTRATION UNITS. 4. SEAL HOLES, PIPES, CONDUITS, AND PUNCTURES APPROPRIATELY. 5. CONSTRUCT ANTEROOM AND REQUIRE ALL PERSONNEL TO PASS THROUGH THIS ROOM SO THEY CAN BE VACUUMED USING A HEPA VACUUM CLEANER BEFORE LEAVING WORK SITE OR THEY CAN WEAR CLOTH OR PAPER COVERALS THAT ARE REMOVED EACH TIME THEY LEAVE THE WORK SITE. 6. ALL PERSONNEL ENTERING THE WORK SITE ARE REQUIRED TO WEAR SHOE COVERS. SHOE COVERS ARE REQUIRED TO BE CHANGED EACH TIME THE WORKER ENTERS THE WORK AREA. DO NOT REMOVE BARRIERS FROM WORK AREA UNTIL COMPLETED PROJECT IS INSPECTED BY HOSPITAL'S ICRA, SAFETY DEPARTMENT AND ICRA TEAM, AND THOROUGHLY CLEANED BY HOSPITAL'S ENVIRONMENTAL SERVICES.

INFECTION CONTROL RISK ASSESSMENT MATRIX OF PRECAUTIONS FOR CONSTRUCTION AND RENOVATION	
STEP ONE	USING THE FOLLOWING TABLE, IDENTIFY THE TYPE OF CONSTRUCTION PROJECT ACTIVITY (TYPE A-D)
TYPE A	INSPECTION AND NON-INVASIVE ACTIVITIES, INCLUDING, BUT NOT LIMITED TO: A. REMOVAL OF CEILING TILES FOR VISUAL INSPECTION (1 TILE PER 50 SQUARE FEET). B. PAINTING, BUT NOT SANDING. C. WALL COVERING, ELECTRICAL, TRIM WORK, MINOR PLUMBING, AND ACTIVITIES WHICH DO NOT GENERATE DUST OR REQUIRE CUTTING OF WALLS OR ACCESS TO CEILINGS OTHER THAN VISUAL INSPECTION.
TYPE B	SMALL SCALE, SHORT DURATION ACTIVITIES WHICH CREATE MINIMAL DUST, INCLUDING BUT NOT LIMITED TO: A. INSTALLATION OF TELEPHONE AND COMPUTER CABLING. B. ACCESS TO CHASE SPACES. C. CUTTING OF WALLS OR CEILING WHERE DUST MIGRATION CAN BE CONTROLLED.
TYPE C	WORK THAT GENERATES A MODERATE TO HIGH LEVEL OF DUST OR REQUIRES DEMOLITION OR REMOVAL OF ANY FIXED BUILDING COMPONENT OR ASSEMBLIES, INCLUDING BUT NOT LIMITED TO: A. SANDING OF WALLS FOR PAINTING OR WALL COVERINGS. B. REMOVAL OF FLOOR COVERINGS, CEILING TILES, AND CASEWORK. C. NEW HALL CONSTRUCTION. D. MINOR DUCT WORK OR ELECTRICAL WORK ABOVE CEILINGS. E. MAJOR CABLING ACTIVITIES. F. ANY TYPE A, B, OR C ACTIVITY THAT CANNOT BE COMPLETED WITHIN A SINGLE WORK SHIFT.
TYPE D	MAJOR DEMOLITION AND CONSTRUCTION PROJECTS, INCLUDING BUT NOT LIMITED TO: A. ACTIVITIES REQUIRING HEAVY DEMOLITION OR REMOVAL OF COMPLETE CABLING SYSTEM. B. NEW CONSTRUCTION. C. ACTIVITIES WHICH REQUIRE CONSECUTIVE WORK SHIFTS.

INFECTION CONTROL RISK ASSESSMENT	
BUILDING: WILKES-BARRE VA	PROJECT NAME: CORRIDOR RENOVATION
CONTRACTOR TO BE SELECTED:	FLOORS: SECOND
	PROJECT MANAGER: TO BE DETERMINED
THE INFECTION CONTROL RISK ASSESSMENT IS TO BE USED TO ANALYZE AREAS WHERE CONSTRUCTION TELEPHONE CABLING AND MAINTENANCE ACTIVITIES ARE TO OCCUR.	
1. IDENTIFY THE TYPE OF CONSTRUCTION PROJECT ACTIVITY	TYPE C
2. IDENTIFY THE PATIENT RISK GROUPS THAT WILL BE AFFECTED.	HIGH
3. MATCH THE PATIENT RISK GROUP WITH THE PLANNED CONSTRUCTION PROJECT TYPE USING THE IC MATRIX CLASS OF PRECAUTIONS TO DETERMINE THE LEVEL OF INFECTION CONTROL ACTIVITIES RECOVERED.	CLASS III / IV
ASSESSMENT BY:	DATE:

IDENTIFY THE PATIENT RISK GROUP THAT WILL BE AFFECTED. IF MORE THAN ONE RISK GROUP WILL BE AFFECTED, SELECT THE HIGHER RISK GROUP. FOR ALL CONSTRUCTION CLASSES, PATIENTS MUST BE REMOVED FROM THE WORK AREA WHILE WORK IS PERFORMED.			
LOW RISK	MEDIUM RISK	HIGH RISK	HIGHEST RISK
<ul style="list-style-type: none"> <li>OFFICE AREAS</li> <li>CARDIOLOGY</li> <li>ECHOCARDIOGRAPHY</li> <li>ENDOSCOPY</li> <li>NUCLEAR MEDICINE</li> <li>PHYSICAL THERAPY</li> <li>RADIOLOGY (MRI)</li> <li>RESPIRATORY THERAPY</li> </ul>	<ul style="list-style-type: none"> <li>ICU</li> <li>EMERGENCY ROOM</li> <li>LABOR &amp; DELIVERY</li> <li>LABORATORIES (SPECIMENS)</li> <li>NEWBORN SURGERY</li> <li>OUTPATIENT SURGERY</li> <li>PEDIATRICS</li> </ul>	<ul style="list-style-type: none"> <li>PHARMACY</li> <li>POST ANESTHESIA CARE</li> <li>SURGICAL UNITS</li> </ul>	<ul style="list-style-type: none"> <li>IMMUNOCOMPROMISED PATIENT CARE AREAS</li> <li>BURN UNIT</li> <li>CARDIAC CATH LAB</li> <li>CENTRAL STERILE SUPPLY</li> <li>ICU</li> <li>MEDICAL UNIT</li> <li>NEGATIVE PRESSURE ISOLATION ROOMS</li> <li>ONCOLOGY</li> <li>OPERATING ROOMS INCLUDING "C" SECTION ROOMS</li> </ul>

INFECTION CONTROL RISK GROUPS	
STEP TWO	USING THE FOLLOWING TABLE, IDENTIFY THE PATIENT RISK GROUPS THAT WILL BE AFFECTED. IF MORE THAN ONE GROUP WILL BE AFFECTED, SELECT THE HIGHER RISK GROUP.
RISK GROUP:	
STEP THREE	DETERMINE THE LEVEL OF INFECTION CONTROL CLASSIFICATION NECESSARY FOR THE WORK BY MATCHING THE CONSTRUCTION ACTIVITY WITH THE DESIGNATED RISK GROUP IN THE MATRIX BELOW. PROVIDE THE ASSOCIATED PRECAUTION CONTROL PROCEDURES NOTE EACH CONSTRUCTION RENOVATION PROJECT HAS SEVERAL DIFFERENT LEVELS DEPENDING ON THE LOCATION AND TYPE OF ACTIVITY.
SEE DESCRIPTION OF REQUIRED INFECTION CONTROL PRECAUTIONS BY CLASS CHART FOR CLASS I-IV PRECAUTIONS.	

RISK GROUP	CONSTRUCTION PROJECT TYPE			
	TYPE A	TYPE B	TYPE C	TYPE D
LOW RISK GROUP	CLASS I	CLASS II	CLASS III	CLASS III, IV
MEDIUM RISK GROUP	CLASS I	CLASS II	CLASS III	CLASS IV
HIGH RISK GROUP	CLASS II	CLASS III	CLASS III, IV	CLASS IV
HIGHEST RISK GROUP	CLASS II	CLASS III, IV	CLASS III, IV	CLASS IV

SYMBOLS LEGEND	
	POLYBARRIER
	FRAMED GYPSUM BOARD BARRIER

NOTES	
1. MINIMUM EXHAUST RATE TO BE BASED ON 4 AIR CHANGES PER HOUR WITH A MINIMUM EXHAUST RATE OF 2,000 CFM.	
2. DEVELOP AND OBTAIN APPROVAL OF ICRA PLAN BEFORE COMMENCING WORK.	
3. DEVELOP ICRA PLAN IN COORDINATION WITH ASBESTOS ABATEMENT PLAN.	

ICRA GENERAL REQUIREMENTS	
1. CONTRACTOR TO COMPLY WITH ICRA REQUIREMENTS FOR WORK IN HOSPITAL BUILDINGS THROUGHOUT DEMOLITION AND CONSTRUCTION.	
2. PROVIDE TEMPORARY PLASTIC ZIPPER PARTITIONS FROM FLOOR TO UNDERSIDE OF DECK ABOVE TO SEAL AGAINST THE MIGRATION OF DUST AND DIRT ALONG ALL PATHS OF TRAVEL BETWEEN AREA OF WORK AND ADJACENT OCCUPIED AREAS.	
3. PROVIDE PARTITIONS, AS REQUIRED ALONG THE PERIMETER BETWEEN AREA OF WORK AND EXISTING AREA TO REMAIN. PARTITIONS TO BE FROM FLOOR TO UNDERSIDE OF DECK ABOVE AND SEALED ALONG PERIMETER TO PREVENT MIGRATION OF DUST AND DIRT, WHERE TEMPORARILY NOT INSTALLED.	
4. MAINTAIN NEGATIVE AIR PRESSURE WITHIN AREA OF WORK FOR DURATION OF DEMOLITION AND CONSTRUCTION ACTIVITIES.	
5. BUILDING WILL BE CONTINUOUSLY OCCUPIED DURING CONSTRUCTION DURATION. MAINTAIN ACCESS TO AIR EXITS AND FROM EXITS TO EXTERIOR.	
6. PROVIDE STICKY WALK OFF MATS ON BOTH SIDES OF ALL DOORS.	
7. ICRA PARTITIONS/SET UP TO BE DONE DURING OFF HOURS.	
8. ALL FLOOR OR UNDERSIDE OF DECK HOLES EXPOSED OR CREATED DURING DEMOLITION/ CONSTRUCTION WILL BE SEALED IMMEDIATELY.	
9. ALL ANTE FLOORS ALL CLOTHING, TOOLS, AND MATERIALS (POST DEMOLITION PHASE) ARE TO BE HEPA VACUUMED EACH TIME THROUGH THE ANTE ROOM.	
10. FULL GOWN AND BOOTIES DURING DEMOLITION PHASE.	
11. AS THE PERIMETER FLOOR EDGE IS EXPOSED, ANY OPENING AT THE SLAB EXTERIOR WALL SHALL BE SEALED IMMEDIATELY.	
12. PROVIDE SWEEPS AND VERTICAL ASTRAGALS ON ALL ICRA DOORS AND STAIR TOWER DOORS.	
13. EXISTING SMOKE DETECTORS WILL BE CONVERTED TO HEAT DETECTORS AND MAINTAINED DURING CONSTRUCTION PERIOD. TEMPORARY FIRE ALARM FULL STATION AND STROBES WILL BE INSTALLED AT EXIT DOORS.	
14. MAINTAIN EGRESS TO ALL EXIT STAIR TOWERS AT ALL TIMES.	
15. COORDINATE WITH OWNER ANY N.P.E. SHUTDOWNS THAT MAY BE REQUIRED.	
16. TEMPORARY CONTAINMENT MEASURES INDICATED ARE DIAGRAMATIC. CONTRACTOR TO PROVIDE ADEQUATE CONTAINMENT TO MEET HOSPITALS INFECTION CONTROL POLICY.	

PROJECT WILL REQUIRE CLASS III & IV ICRA PRECAUTIONS. SEE ABOVE CHARTS.

VA REVIEW COMMENTS	Date
100% REVIEW SUBMISSION	12/10/2010
95% REVIEW SUBMISSION	10/25/2010
Revisions	9/17/2010
	Date



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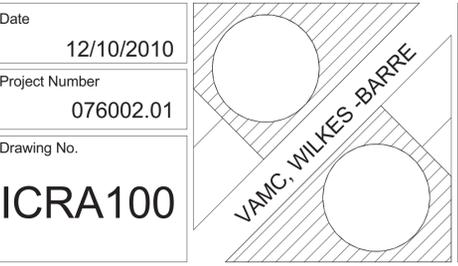
**LEAD PROFESSIONAL**  
**BBIX, L.L.C.**  
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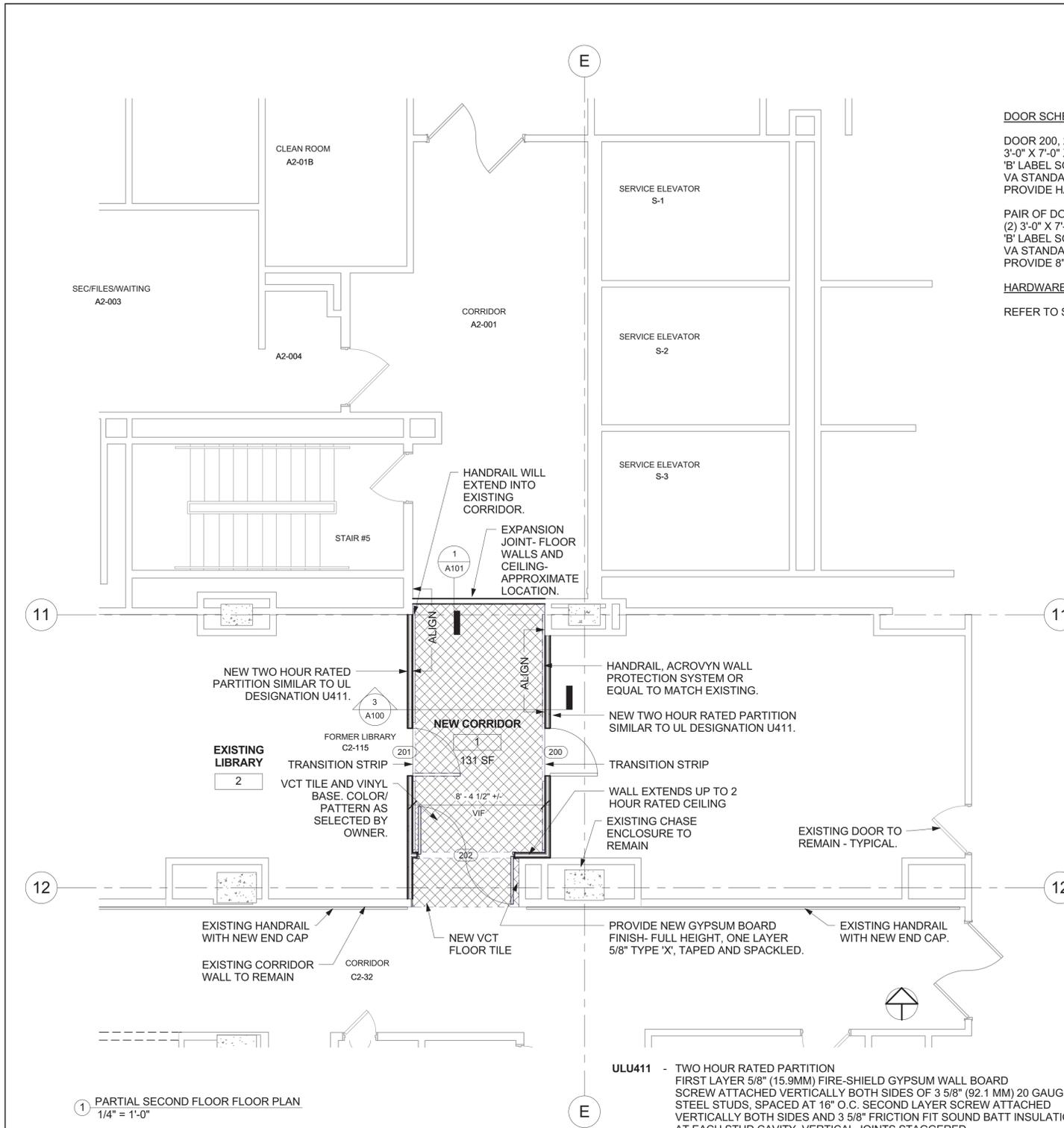
Drawing Title	Project Title
<b>INFECTION CONTROL RISK ASSESSMENT PLAN, NOTES &amp; SCHEDULES</b>	<b>SECOND FLOOR CORRIDOR RENOVATIONS</b>
Approved: Project Manager	Building Number: 01
Approved: Service Chief	Checked: TJG
	Drawn: RDT
	Location: VAMC, WILKES -BARRE PENNSYLVANIA

Date	Project Number	Drawing No.
12/10/2010	076002.01	ICRA100



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**DOOR SCHEDULE**

DOOR 200, 201  
 3'-0" X 7'-0" X 1 3/4"  
 'B' LABEL SOLID CORE WOOD DOOR- MATCH EXISTING  
 VA STANDARDS FOR VENEER FINISH.  
 PROVIDE HALF GLASS FIRE RATED VISION PANEL.

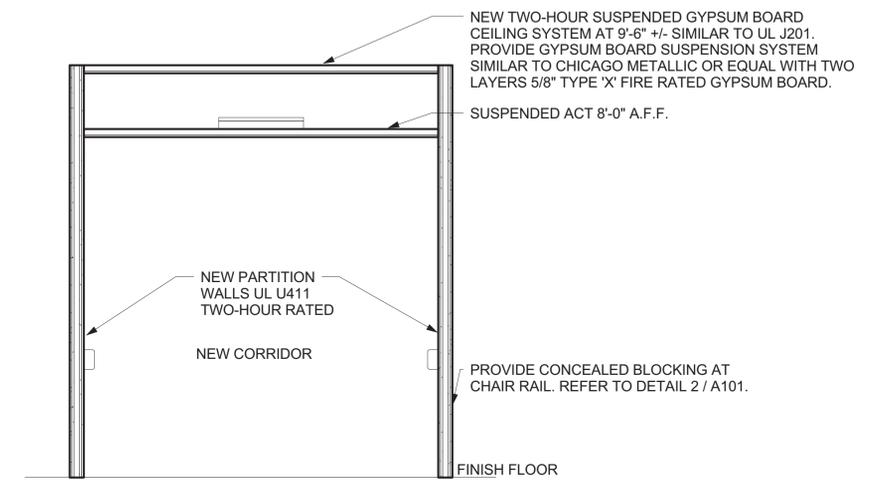
PAIR OF DOORS 202  
 (2) 3'-0" X 7'-0" X 1 3/4"  
 'B' LABEL SOLID CORE WOOD DOOR- MATCH EXISTING  
 VA STANDARDS FOR VENEER FINISH.  
 PROVIDE 8"X24" FIRE RATED GLASS VISION PANEL.

**HARDWARE SCHEDULE**

REFER TO SPECIFICATIONS.

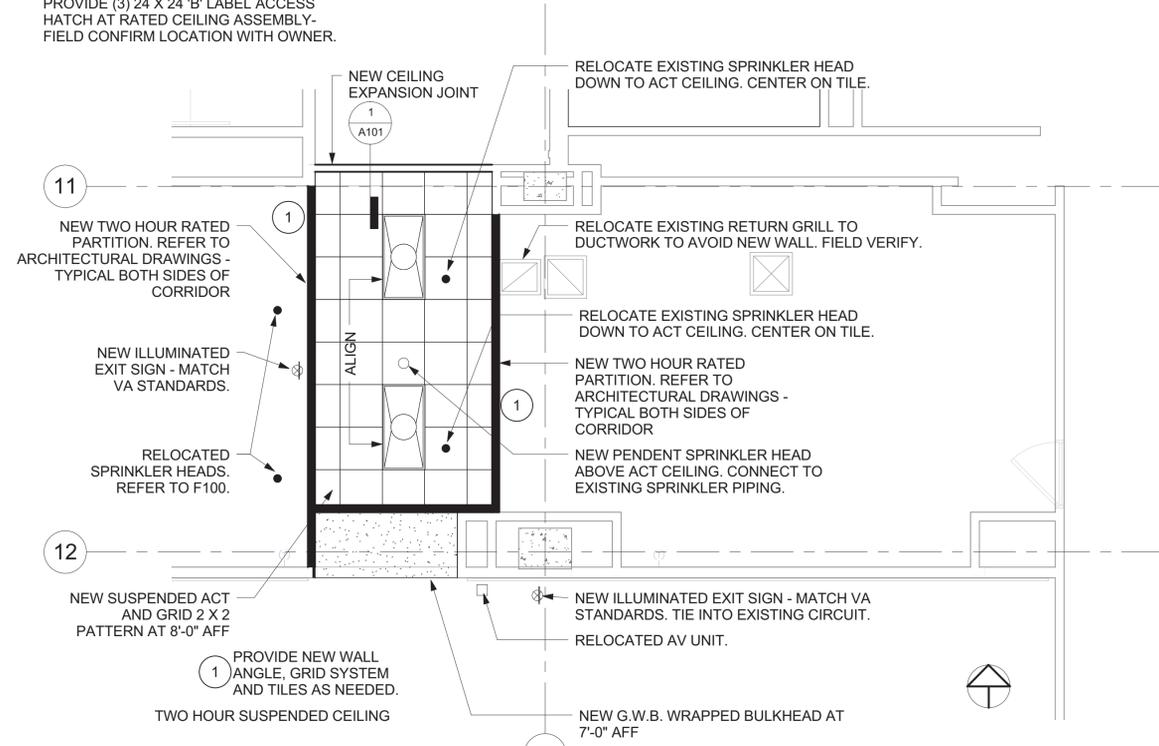
1 PARTIAL SECOND FLOOR FLOOR PLAN  
 1/4" = 1'-0"

**ULU411** - TWO HOUR RATED PARTITION  
 FIRST LAYER 5/8" (15.9MM) FIRE-SHIELD GYPSUM WALL BOARD  
 SCREW ATTACHED VERTICALLY BOTH SIDES OF 3 5/8" (92.1 MM) 20 GAUGE  
 STEEL STUDS, SPACED AT 16" O.C. SECOND LAYER SCREW ATTACHED  
 VERTICALLY BOTH SIDES AND 3 5/8" FRICTION FIT SOUND BATT INSULATION  
 AT EACH STUD CAVITY. VERTICAL JOINTS STAGGERED.



3 SECTION AT NEW CORRIDOR  
 1/2" = 1'-0"

**NOTE:**  
 PROVIDE (3) 24 X 24 'B' LABEL ACCESS  
 HATCH AT RATED CEILING ASSEMBLY-  
 FIELD CONFIRM LOCATION WITH OWNER.



2 PARTIAL SECOND FLOOR REFLECTED  
 CEILING PLAN  
 1/4" = 1'-0"

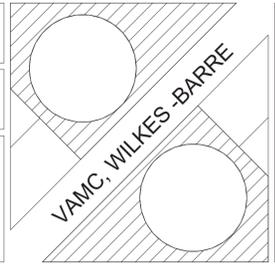
VA REVIEW COMMENTS	12/10/2010
100% REVIEW SUBMISSION	10/25/2010
95% REVIEW SUBMISSION	9/17/2010
Revisions	Date



ARCHITECT	LEAD PROFESSIONAL	ENVIRONMENTAL CONSULTANT	STRUCTURAL ENGINEER
<b>RODNEY BURNETT AIA</b> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>BBIX, L.L.C.</b> ARCHITECTS & ENGINEERS 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>TCI ENVIRONMENTAL SERVICES, INC.</b> 100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	<b>LEONARD ENGINEERING, INC.</b> 480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463

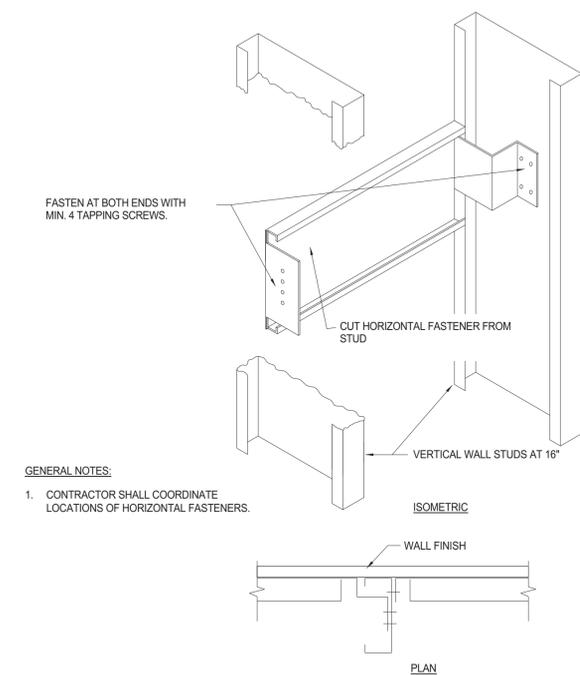
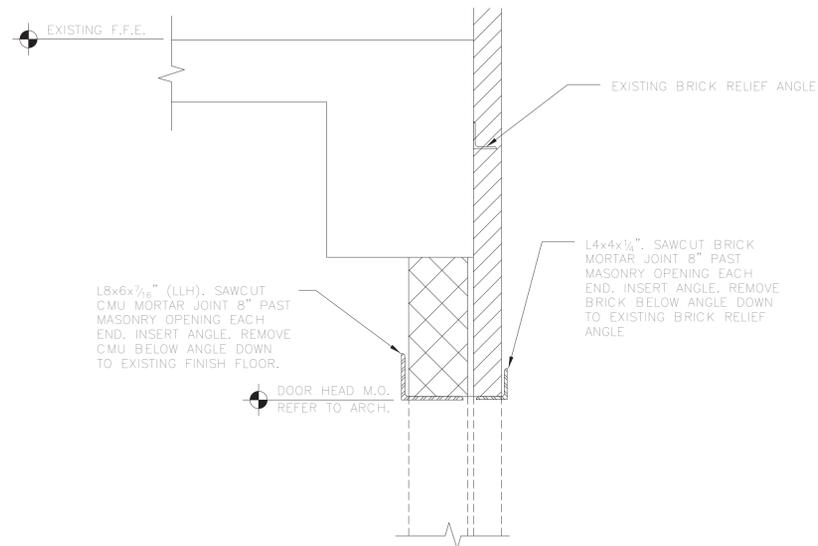
Drawing Title <b>PARTIAL SECOND FLOOR AND REFLECTED CEILING PLAN, NOTES &amp; DETAILS</b>	Project Title <b>SECOND FLOOR CORRIDOR RENOVATIONS</b>
Approved: Project Manager	Building Number <b>01</b>
Approved: Service Chief	Location <b>VAMC, WILKES -BARRE PENNSYLVANIA</b>

Date 12/10/2010	Project Number 076002.01
Drawing No. <b>A100</b>	Checked TJG
	Drawn RDT

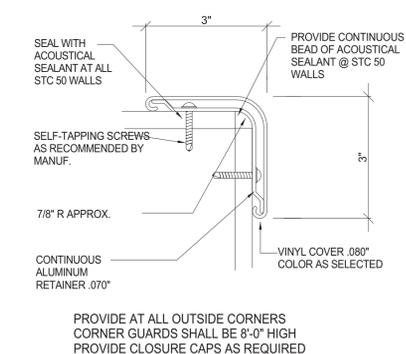


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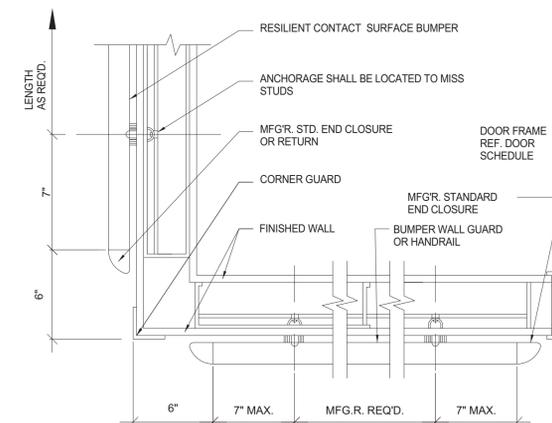
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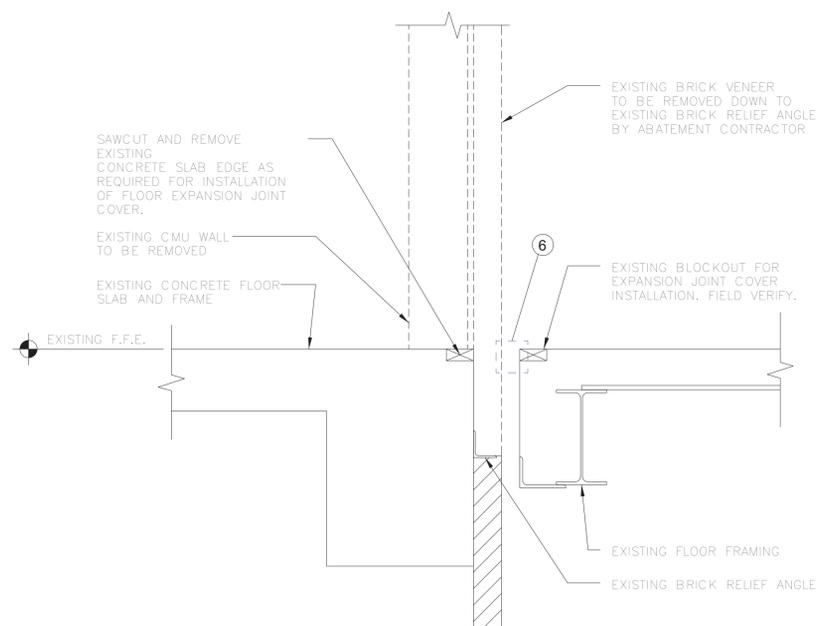
2 BACKING DETAIL  
N.T.S.



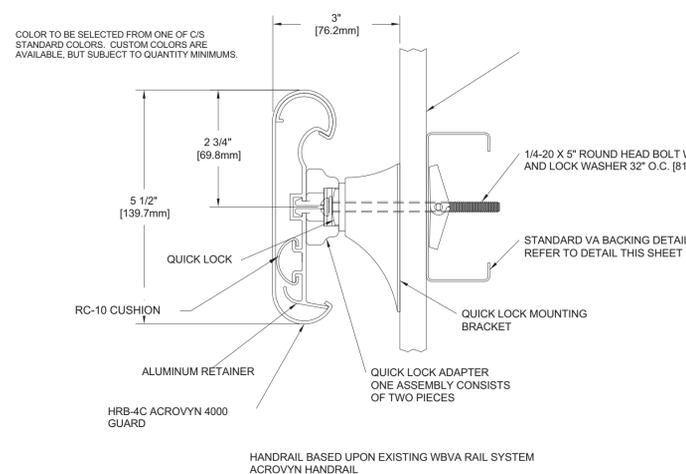
3 CORNER GUARD DETAIL  
N.T.S.



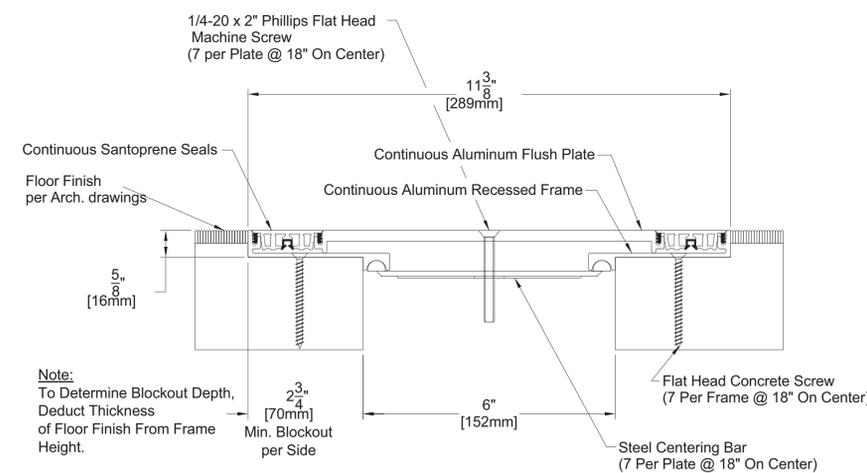
4 HANDRAIL LAYOUT DETAIL  
N.T.S.



1 STRUCTURAL DETAIL  
N.T.S.



5 HANDRAIL DETAIL  
N.T.S.



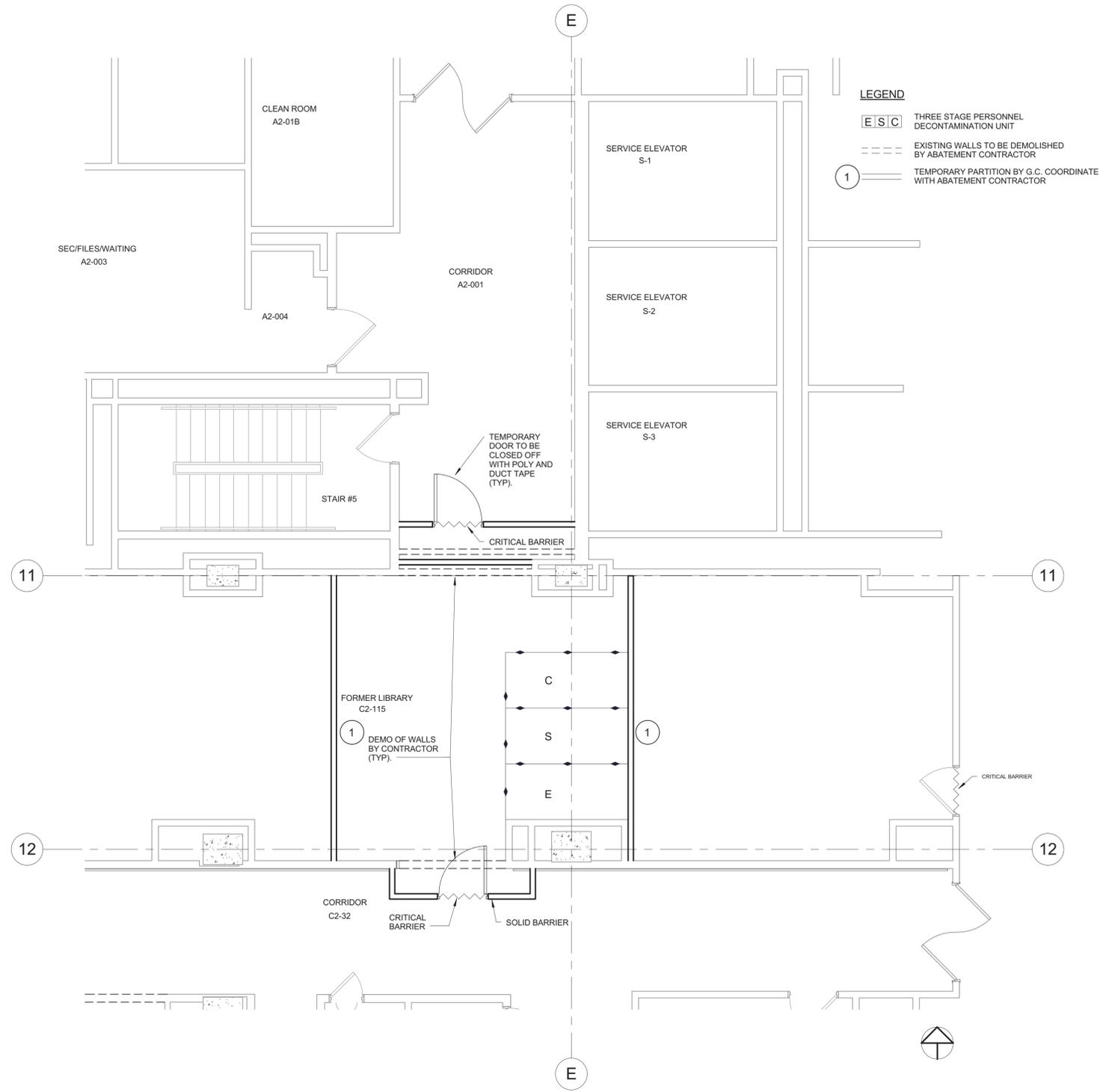
6 EXPANSION JOINT DETAIL  
N.T.S.

Joint Width	Movement ±		Load				
	US	mm	US	mm			
6"	152	1"	25	1"	25	HP	HP

APPLICATION RECESSED FLOOR/FLOOR CONDITION W/DUAL SEALS-FLUSH PLATE MUST BE FIRE RATED 2 HOUR

VA REVIEW COMMENTS 12/10/2010 100% REVIEW SUBMISSION 10/25/2010 95% REVIEW SUBMISSION 9/17/2010 Revisions Date		<b>ARCHITECT</b> <b>RODNEY BURNETT AIA</b> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6880 FAX: 570.822.8005		<b>LEAD PROFESSIONAL</b> <b>BBIX, L.L.C.</b> ARCHITECTS & ENGINEERS 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6880 FAX: 570.822.8005		<b>ENVIRONMENTAL CONSULTANT</b> <b>TCI ENVIRONMENTAL SERVICES, INC.</b> 100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240		<b>STRUCTURAL ENGINEER</b> <b>LEONARD ENGINEERING, INC.</b> 480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463		<b>Drawing Title</b> <b>DETAILS</b>		<b>Project Title</b> <b>SECOND FLOOR CORRIDOR RENOVATIONS</b>		<b>Date</b> 12/10/2010			
								<b>Approved: Project Manager</b>		<b>Building Number</b> 01		<b>Checked</b> TJG		<b>Drawn</b> RDT		<b>Project Number</b> 076002.01	
								<b>Approved: Service Chief</b>		<b>Location</b> VAMC, WILKES -BARRE PENNSYLVANIA		<b>Drawing No.</b> <b>A101</b>					

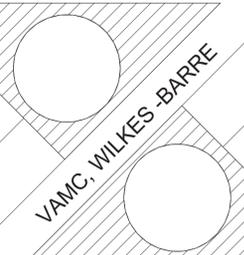
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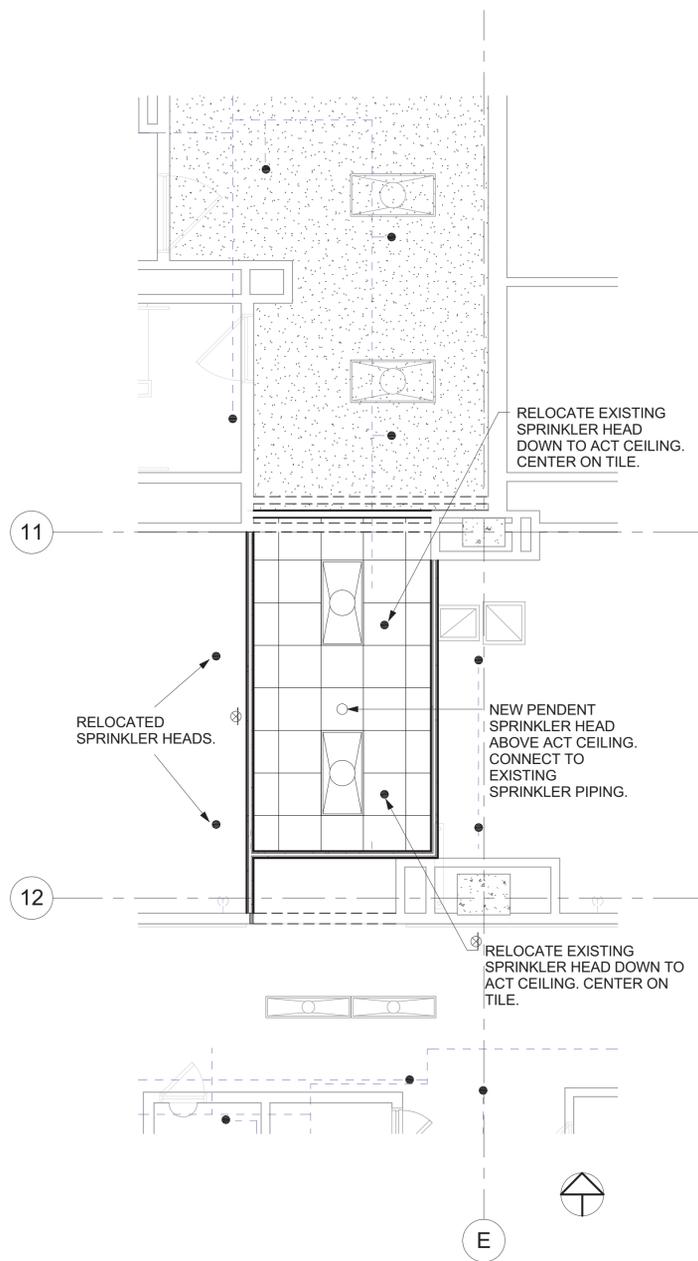
**GENERAL NOTES:**

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY INSPECT THE BUILDING IN ORDER TO VERIFY ACTUAL CONDITIONS AND FULL SCOPE OF ABATEMENT REQUIRED.
2. THE CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES TO REMAIN AND PROVIDE REASONABLE AND ADEQUATE PROTECTION FROM ABATEMENT WORK.
3. THE CONTRACTOR SHALL MAINTAIN EXISTING BUILDING UTILITIES IN OPERATION DURING THE PERFORMANCE OF THE WORK.
4. PRIOR TO REMOVAL, THE CONTRACTOR IS TO IDENTIFY ALL BUILDING SYSTEMS MATERIALS, INCLUDING PIPES, WIRING, CONDUIT, ETC. QUESTIONS REGARDING IDENTIFICATION SHALL BE ADDRESSED TO THE ARCHITECT.
5. THE CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE UNITED STATES GOVERNMENT INCLUDING, BUT NOT LIMITED TO, WINDOWS, PUBLIC TOILETS, ELEVATORS, DOORS, ELECTRICAL, PLUMBING, MECHANICAL SYSTEMS, WIRING, ETC.
6. THE CONTRACTOR SHALL MAINTAIN CLEAR EGRESS TO ALL EXITS FOR THE DURATION OF THE WORK.
7. ALL FIRE PROTECTION SYSTEMS (INCLUDING SPRINKLERS, SMOKE DETECTORS, FIRE SPEAKERS, PULL STATIONS, ETC.) ARE TO REMAIN ACTIVE DURING ALL WORK.
8. ALL AUTOMATIC FIRE-ALARM EQUIPMENT TO BE SECURED AND PROTECTED PRIOR TO ABATEMENT. ALL DAMAGED EQUIPMENT TO BE REPLACED OR REPAIRED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
9. CONTRACTOR SHALL PROTECT EXISTING DOORS AND FRAMES TO REMAIN FROM DAMAGE DURING ABATEMENT.
10. SCOPE OF WORK IS AS DETAILED IN TECHNICAL SPECIFICATION SECTION 028211.
11. CRITICAL BARRIERS SHALL BE PLACED OVER ALL OPENINGS, WINDOWS, OUTLETS, ETC. IN THE WORK AREA.
12. REMOVAL OF FURNITURE, SUPPLIES, BOOKS AND OFFICE EQUIPMENT WILL BE DONE BY OWNER.
13. ALL WORK SHALL BE IN THE COMMONWEALTH OF PENNSYLVANIA REGULATIONS ACCORDANCE WITH FOR ASBESTOS CONTROL.
14. CONTRACTOR TO REMOVE DROP CEILINGS AS NEEDED AND TURN OVER TO OWNER.
15. CONTRACTOR WILL DEMO WALLS AND CHASES AS NECESSARY TO ACCESS PIPE INSULATION.
16. FULL CONTAINMENT PROCEDURES FOR REMOVAL ACTIVITIES ARE TO BE FOLLOWED, SEE SPECIFICATIONS.

1 ASBESTOS ABATEMENT PLAN  
1/4" = 1'-0"

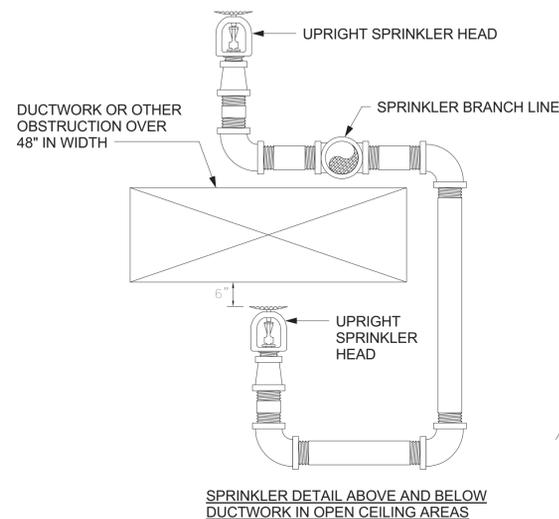
		 Professional Seal	<b>ARCHITECT</b> <b>RODNEY BURNETT AIA</b> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>LEAD PROFESSIONAL</b> <b>BBIX, L.L.C.</b> ARCHITECTS & ENGINEERS 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>ENVIRONMENTAL CONSULTANT</b> <b>TCI ENVIRONMENTAL SERVICES, INC.</b> 100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	<b>STRUCTURAL ENGINEER</b> <b>LEONARD ENGINEERING, INC.</b> 480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463	Drawing Title <b>ASBESTOS ABATEMENT PLAN</b>	Project Title <b>SECOND FLOOR CORRIDOR RENOVATIONS</b>	Date 12/10/2010			
VA REVIEW COMMENTS	12/10/2010						Approved: Project Manager	Building Number <b>01</b>	Checked TJG		Drawn RDT	Project Number 076002.01
100% REVIEW SUBMISSION	10/25/2010						Approved: Service Chief	Location VAMC, WILKES -BARRE PENNSYLVANIA				Drawing No. <b>ASB100</b>
95% REVIEW SUBMISSION	9/17/2010											
Revisions	Date											

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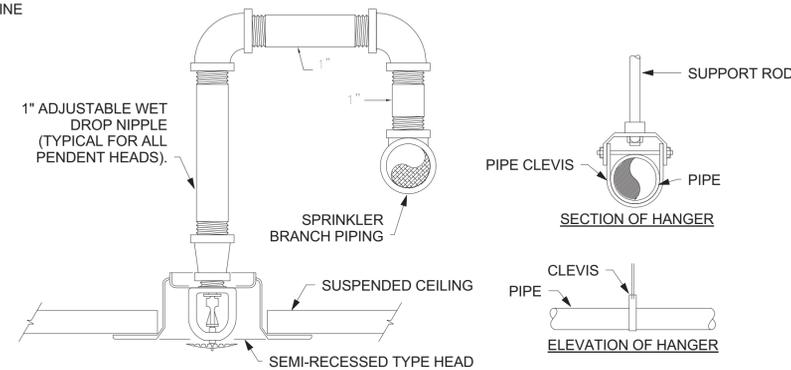


**GENERAL NOTES:**

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS.
2. SPRINKLER AND PIPING LAYOUT SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL CONFIRM STRUCTURAL AND WATER SUPPLY HYDRAULIC INFORMATION PRIOR TO SYSTEM FABRICATION AND INSTALLATION.
3. THE SPRINKLER SYSTEM HEAD LAYOUT SHOWN IS AN APPROXIMATION AND IS INTENDED ONLY TO PROVIDE AN UNDERSTANDING OF THE SCOPE OF THE WORK. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXACT LOCATION ALL HEADS TO INSURE THIS WORK WILL NOT CONFLICT WITH CEILING GRID OR LIGHTING LAYOUT. REFER TO THE ARCHITECTURAL DRAWINGS FOR REFLECTED CEILING PLANS AND COORDINATE ALL WORK WITH ALL OTHER CONTRACTORS PRIOR TO INSTALLATION OF THE SPRINKLER SYSTEM.
4. WHERE REQUIRED BY CODE OR DIRECTED BY LOCAL AUTHORITIES, CONTRACTOR SHALL PROVIDE SEISMIC HANGING AND CONSTRAINTS ON ALL PIPING IN COMPLETE ACCORDANCE WITH THE LATEST ISSUE OF THE STATE MECHANICAL BUILDING CODE, LOCAL CODES AND NFPA.
5. FIRE PROTECTION CONTRACTOR SHALL PROVIDE A GUARANTEE COVERING ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE BY OWNER.
6. SHOP DRAWINGS, HYDRAULIC CALCULATIONS AND SUBMITTALS TO BE PREPARED AND SEALED BY A REGISTERED FIRE PROTECTION ENGINEER.



SPRINKLER DETAIL ABOVE AND BELOW DUCTWORK IN OPEN CEILING AREAS



TYPICAL SPRINKLER HEAD/ RETURN BEND INSTALLATION DETAIL

2 FIRE PROTECTION DETAILS N.T.S.

1 FIRE PROTECTION PLAN 1/4" = 1'-0"

		<b>ARCHITECT</b> <b>RODNEY BURNETT AIA</b> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>LEAD PROFESSIONAL</b> <b>BBIX, L.L.C.</b> <small>ARCHITECTS &amp; ENGINEERS</small> 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	<b>ENVIRONMENTAL CONSULTANT</b> <b>TCJ ENVIRONMENTAL SERVICES, INC.</b> 100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	<b>STRUCTURAL ENGINEER</b> <b>LEONARD ENGINEERING, INC.</b> 480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.814.9463 FAX: 570.814.9463	<b>Drawing Title</b> <b>FIRE PROTECTION PLAN</b>	<b>Project Title</b> <b>SECOND FLOOR CORRIDOR RENOVATIONS</b>	<b>Date</b> 12/10/2010		<b>Department of VA Veterans Affairs</b> <b>FULLY SPRINKLERED</b>
VA REVIEW COMMENTS 100% REVIEW SUBMISSION 95% REVIEW SUBMISSION Revisions	12/10/2010 10/25/2010 9/17/2010 Date	<b>Professional Seal</b>	<b>Approved:</b> Project Manager	<b>Building Number</b> 01	<b>Checked</b> JM/TJG	<b>Drawn</b> RMS	<b>Project Number</b> 076002.01			
			<b>Approved:</b> Service Chief	<b>Location</b> VAMC, WILKES -BARRE PENNSYLVANIA			<b>Drawing No.</b> <b>F100</b>			