



DEPARTMENT OF VETERANS AFFAIRS
MEDICAL CENTER, 111 EAST END BLVD.
WILKES-BARRE, PENNSYLVANIA 18711

SECOND FLOOR CORRIDOR RENOVATIONS

PROJECT NUMBER: 693-07-117

DECEMBER 10, 2010



DRAWING LIST

SHEET NUMBER

CS
G001
G002
G100
D100
D101
ICRA100
A100
A101
ASB100
F100

SHEET NAME

COVER SHEET
GENERAL NOTES
LEGENDS
SECOND FLOOR BUILDING KEY PLAN
PARTIAL SECOND FLOOR DEMOLITION PLAN AND NOTES
DEMOLITION PHOTOGRAPHS
INFECTION CONTROL RISK ASSESSMENT PLAN, NOTES & SCHEDULES
PARTIAL SECOND FLOOR AND REFLECTED CEILING PLAN, NOTES & DETAILS
DETAILS
ASBESTOS ABATEMENT PLAN
FIRE PROTECTION PLAN

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VA REVIEW COMMENTS 12/10/2010		100% REVIEW SUBMISSION 10/25/2010		95% REVIEW SUBMISSION 9/17/2010		Revisions Date		Approved: Project Manager		Building Number 01		Checked TJG		Drawn RDT		Project Number 076002.01	
Professional Seal								Approved: Service Chief		Location VAMC, WILKES -BARRE PENNSYLVANIA		CS					

FULLY SPRINKLERED

Department of
Veterans Affairs

GENERAL DEMOLITION NOTES :

THE SCOPE OF WORK INCLUDES THE REMOVAL OF ALL ELEMENTS NECESSARY TOACCOMMODATE THE NEW WORK. THIS INCLUDES AND IS NOT RESTRICTED TO ALL INDICATED NONBEARING AND/OR BEARING INTERIOR AND EXTERIOR WALLS, ALL CEILINGS, ALL FINISH FLOORING DOWN TO A LEVEL WORKING SURFACE, AND ALL SYSTEMS THAT ARE NOT TO BE REUSED IN THE NEW CONSTRUCTION. NO STRUCTURAL ELEMENTS WILL BE REMOVED WITHOUT OWNER OR ENGINEER'S APPROVAL. DEMOLITION AND REMOVALS SHALL BE AS FOLLOWS:


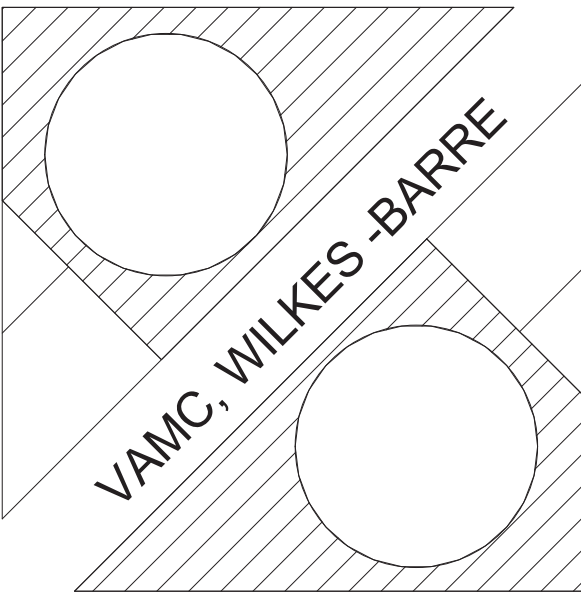
- ALL DEMOLITION AND REMOVALS SHALL BE IN STRICT ACCORDANCE WITH LOCAL AUTHORITIES HAVING JURISDICTION.
- CONSULT OWNER PRIOR TO THE START OF DEMOLITION TO DETERMINE THE PRECISE SCOPE OF MATERIALS, FINISHES, AND SYSTEMS THAT ARE TO BE REUSED. THIS SCOPE MAY DIFFER FROM THAT INDICATED IN THESE DOCUMENTS.
- BEFORE STARTING WORK, MAKE A THOROUGH EXAMINATION OF THOSE PORTIONS OF THE STRUCTURE IN WHICH THE WORK IS TO BE PERFORMED. CHECK ALL THE WORK IN ADJOINING OR AT UNDERLYING LOCATIONS. REPORT TO THE OWNER & DESIGN PROFESSIONAL ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK. DO NOT START THE WORK UNTIL SUCH CONDITIONS HAVE BEEN EXAMINED AND A COURSE OF ACTIONS MUTUALLY AGREED UPON.
- ALL WORK TO BE IN ACCORDANCE WITH AND COORDINATED WITH THE BUILDING OWNERS AND/OR MANAGEMENT.
- DURING DEMOLITION, SUPPORT ALL EXISTING STRUCTURES AND SYSTEMS WITH TEMPORARY BRACING AND SHORING AS REQUIRED BY CODES TO ASSURE A SAFE WORKING ENVIRONMENT. ANY DAMAGE CAUSED BY THE DEMOLITION PROCESS WILL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST.
- IF THE DEMOLITION PROCESS RESULTS IN AN UNSAFE WORKING ENVIRONMENT, STOP WORK IMMEDIATELY AND NOTIFY APPROPRIATE AUTHORITIES, OWNER AND THE ARCHITECT PRIOR TO PROCEEDING. KEEP ALL ADJOINING PUBLIC AREAS CLEAN AND FREE OF DEBRIS OR CONSTRUCTION DURING WORKING HOURS, AND MAKE AN EFFORT TO PROVIDE SAFE CONDITIONS FOR THE GENERAL PUBLIC AND WORKMEN.
- PROVIDE ALL LIFE SAFETY SYSTEMS INCLUDING, BUT NOT LIMITED TO TEMPORARY LIGHTING, BARRICADES, GUARD RAILS AND VENTILATION SYSTEMS REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS (OSHA)
- ANY SYSTEMS THAT ARE REMOVED THAT WERE CONNECTED TO A UTILITY SHALL BE REMOVED BY A TRADE FAMILIAR WITH THAT UTILITY. CAP ALL REMAINING UTILITIES AND MARK THEIR LOCATION AT THE SITE AND ON THE AS BUILT RECORD SET DOCUMENTS. NOTIFY THE UTILITY COMPANY AND THE OWNER OF INTENTIONS PRIOR TO PROCEEDING WITH THE REMOVAL PROCESS.
- AS WASTE MATERIALS ARE GENERATED, IMMEDIATELY REMOVE AND LEGALLY DISPOSE OF THE DEBRIS AWAY FROM THE PREMISES SO AS TO ASSURE A CLEAR WORKING ENVIRONMENT. ARRANGE WITH THE OWNER FOR AN ACCEPTABLE REMOVAL PROCESS. ON SITE BURNING OF THE DEBRIS IS NOT PERMITTED.
- PROTECT ALL EXISTING ON-SITE AND OFF-SITE CONSTRUCTION THAT IS TO REMAIN. (FINISH MATERIAL, ALARM SYSTEM, PLUMBING, HVAC, ELECTRICAL, SPRINKLER) PATCH, FILL AND REPAIR ALL SURFACES DISTURBED, CUT, DAMAGED, IN NEED OF REPAIR OR MADE IMPERFECT BY ALTERATIONS OR REMOVAL WORK AND AS REQUIRED TO PREPARE SURFACES FOR NEW MATERIALS AND ARRANGEMENTS.
- THE DESIGN PROFESSIONAL OR DESIGN BUILD CONTRACTOR HAVE NO KNOWLEDGE OF ANY HAZARDOUS MATERIAL ON THE JOB SITE. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED NOTIFY THE OWNER AND THE ARCHITECT. THE REMOVAL OF ANY HAZARDOUS MATERIALS SHALL BE PERFORMED IN STRICT CONFORMANCE TO THE APPLICABLE REGULATIONS AND PROCEDURES.
- PRIOR TO THE DEMOLITION OF THOSE ITEMS WHICH HAVE UTILITY CONNECTIONS (WATER, GAS, ELECTRICITY ETC.) ARRANGE TO LOCATE SHUT-OFF VALVES, PANEL BOXES AND OTHER CONTROL ELEMENTS, SO THAT WATER DAMAGE AND OTHER POTENTIALLY INCONVENIENT OR DANGEROUS SITUATIONS ARE AVOIDED. DO NOT ABANDON ANY ELECTRICAL OR MECHANICAL EQUIPMENT. REMOVE ALL EQUIPMENT NOT BEING REUSED OR REFURNISHED.
- THE SCOPE OF DEMOLITION AND REMOVAL TO BE PERFORMED SHALL NOT BE LIMITED BY THE DRAWINGS OR NOTES, BUT SHALL INCLUDE ALL WORK THAT SHALL BE REQUIRED OR DIRECTED BY THE OWNER'S REPRESENTATIVE IN ORDER TO FACILITATE THE NEW WORK.
- PRIOR TO STARTING THE CONSTRUCTION PHASE OF WORK, CLEAN THE SITE OF ALL DEMOLITION DEBRIS AND TOOLS AND LEAVE PREMISES BROOM CLEAN. ASSURE THAT THE DEMOLITION IS COMPLETE TO THE POINT WHERE NO ADDITIONAL DEMOLITION WILL BE REQUIRED TO ACCOMMODATE THE NEW WORK, UNLESS COORDINATED.
- PRIOR TO THE DEMOLITION OF THOSE ITEMS WHICH HAVE UTILITY CONNECTIONS (WATER, GAS, ELECTRICITY ETC.) ARRANGE TO LOCATE SHUT-OFF VALVES, PANEL BOXES AND OTHER CONTROL ELEMENTS, SO THAT WATER DAMAGE AND OTHER POTENTIALLY INCONVENIENT OR DANGEROUS SITUATIONS ARE AVOIDED.
- ALL UNUSED PIPING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- REPAIR AND/OR REPLACE EXISTING ITEMS NOT SCHEDULED OR NOTED TO BE DEMOLISHED, AND NOT SPECIFIED TO BE REMOVED, BUT WHICH BECOME DAMAGED DURING THE PROGRESS OF THE WORK. MAKE ANY AND ALL SUCH REPAIRS, REPLACEMENTS AND MODIFICATIONS TO RESTORE THE DAMAGED ITEMS TO THEIR ORIGINAL CONDITION AT THE TIME OF DAMAGE, TO THE SATISFACTION OF THE OWNER.
- COORDINATE ADDITION DEMOLITION WITH DRAWING A-700.

GENERAL CONSTRUCTION NOTES

- THE G.C. SHALL INVESTIGATE JOB SITE TO COMPARE CONTRACT DOCUMENTS AND EXISTING CONDITIONS. INCLUDE COST FOR ALL WORK DESCRIBED IN CONTRACT DOCUMENTS AND REQUIRED OR IMPLIED BY EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK. OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
- THE G.C. SHALL ISSUE COMPLETE SETS OF THE CONTRACT DOCUMENTS TO EACH OF THE SUBCONTRACTORS FOR COORDINATION OF THEIR WORK AND DESCRIPTION OF SCOPE. COORDINATE ALL DEMOLITION AND CONSTRUCTION WITH OTHER TRADES.
- THE G.C. SHALL APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. PROVIDE COPIES OF ALL TRANSACTIONS TO OWNER. NOTIFY DESIGN PROFESSIONAL OF ANY VARIANCE WITH CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- THE G.C. SHALL PROVIDE, AND PAY FOR ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION AND DELIVERY COSTS, HOISTING, REMOVAL OF TRASH AND DEBRIS, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK.
- ALL WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, ALL CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR DELAYS BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH A CONTRACTOR.
- OTHER CONTRACTORS AND THEIR SUBCONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUSLY WITHIN THE DURATION OF THIS CONTRACT. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUB-CONTRACTOR TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, UNION OR NON-UNION.
- WORK SHALL BE DONE DURING NORMAL WORKING HOURS - COORDINATE WITH OWNER. CONTRACTOR SHALL SCHEDULE AND PERFORM ALL WORK SO AS NOT TO UNREASONABLY DISTURB ANY TENANT IN THE BUILDING AND SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.
- THE G.C. SHALL COMPLY AND COORDINATE ALL WORK WITH BUILDING OWNER REGARDING HEAT, WATER, ELECTRICITY, DELIVERIES, ACCESS, NOISE CONTROL, TRASH AND DEBRIS REMOVAL, HOISTING, AND ANY OTHER UTILITIES OR OWNER'S RULES AND REGULATIONS CONCERNING THE PROJECT SITE.
- THE G.C. SHALL PROCURE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. NOTIFY ARCHITECT WITHIN 5 DAYS OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH COULD DELAY COMPLETION OF CONTRACT.
- THE G.C. SHALL COORDINATE SCHEDULING, PROVISIONS FOR INSTALLATION, LOCATIONS AND THE ACTUAL INSTALLATION OF ITEMS FURNISHED BY OWNER OR BY OTHERS.
- WORK WITH ALL TRADES ON THE PROJECT NOT UNDER CONTRACT TO THE CONTRACTOR (I.E.: TELEPHONE, COMPUTER INSTALLERS, ETC.), ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN SUCH TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE G.C. SHALL VERIFY ALL DIMENSIONS IN THE FIELD. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- THE G.C. SHALL SUBMIT FOR REVIEW ALL ABOVE BUILDING STANDARD SAMPLES AND PRODUCT LITERATURE. SUBMIT FOR ARCHITECT'S CONSIDERATION SAMPLES AND PRODUCT LITERATURE AND OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS.
- THE G.C. SHALL SUBMIT FOR REVIEW PRIOR TO FABRICATION OR PURCHASE, SHOP DRAWINGS OR SAMPLES FOR ALL MILLWORK, CUSTOM METALWORK, CUSTOM CASEWORK, AND ALL OTHER ITEMS AS REQUESTED BY THE ARCHITECT FOR ALL ABOVE BUILDING STANDARD ITEMS.
- CHANGES IN DRAWINGS OR ACTUAL WORK SHALL BE ISSUED BY THE DESIGN PROFESSIONAL.
- PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARD OF WORKMANSHIP.
- THE G.C. SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS. ADVISE DESIGN PROFESSIONAL OF ANY EXISTING CONSTRUCTION NOT LEVEL, SMOOTH AND PLUMB WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
- THE G.C. SHALL INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK AND IN COORDINATION WITH PROGRESSION OF WORK SCHEDULE. PERFORM WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTIONS AT NO ADDITIONAL CHARGE TO OWNER.
- WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED, BY THE CONTRACTOR, AT NO ADDITIONAL CHARGE TO THE OWNER.
- THE G.C. SHALL MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND LIFE SAFETY SYSTEMS IN WORKING ORDER.

EXISTING BUILDING SAFETY NOTES:
COMMERCIAL RENOVATION:

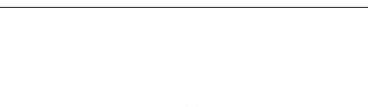
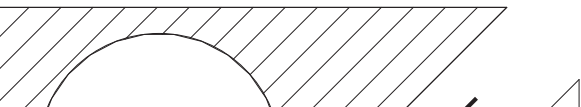
- ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE DEPARTMENT OF VETERANS AFFAIRS AND THE REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- MEANS OF EGRESS:
 - ALL EXISTING MEANS OF EGRESS FOR THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY:
 - ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE FOR ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED AREA. ACCESS TO THE AREA TO BE CONTROLLED BY THE OWNER OR THE GENERAL CONTRACTOR.
 - ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
 - ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
 - ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
 - ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
 - ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS, UNLESS REQUIRED BY OWNER, GOVERNING CODE OR EQUIPMENT MANUFACTURER REQUIREMENTS.
 - THE CONTRACTOR IS AT ALL TIMES TO ENSURE THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDING, OR FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.
- DUST CONTROL:
 - DEBRIS, DIRT AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 - CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREAS BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.
 - DEBRIS, DIRT AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
 - CONSTRUCTION TO FOLLOW PREVIOUSLY SIGNED ICRA FORMWORK.
- NOISE AFTER HOURS:
 - CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES TO WORK OTHER THAN REGULAR HOURS. (REGULAR WORKING HOURS AS DICTATED BY DEPARTMENT OF VETERANS AFFAIRS).
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER OR ELECTRICAL SERVICE TO OTHER TENANTS - UNLESS NOTIFIED IN WRITING SEVEN (7) DAYS PRIOR TO INTERRUPTION. CONTRACTOR SHALL ALSO NOTIFY OWNER.

				ARCHITECT		LEAD PROFESSIONAL		ENVIRONMENTAL CONSULTANT		STRUCTURAL ENGINEER		Drawing Title GENERAL NOTES		Project Title SECOND FLOOR CORRIDOR RENOVATIONS		Date 12/10/2010				Department of VA Veterans Affairs			
				RODNEY BURNETT AIA		BBIX, L.L.C. <small>ARCHITECTS & ENGINEERS</small>		TCI ENVIRONMENTAL SERVICES, INC.		LEONARD ENGINEERING, INC.				Project Number 076002.01									
VA REVIEW COMMENTS		12/10/2010		67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005		67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005		100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240		480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463		Approved: Project Manager		Building Number 01		Checked TJG						Drawn RDT	
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Revisions		Date		Professional Seal								Approved: Service Chief		Location VAMC, WILKES -BARRE PENNSYLVANIA		G001							

	X'-X"		ELEVATION DESIGNATION
	ROOM DESIGNATION		COLUMN DESIGNATION
	ROOM NUMBER		GRID LINE
	ROOM AREA		BREAK LINE
	DOOR AND DOOR TAG		NORTH ARROW
	WINDOW TAG		REVISION NUMBER
	PARTITION TAG		ELEVATION TAG
	PLAN DETAIL TAG		FIRE EXTINGUISHER WITH WALL BRACKET
	PLAN DETAIL TAG		
	SECTION CUT TAG		


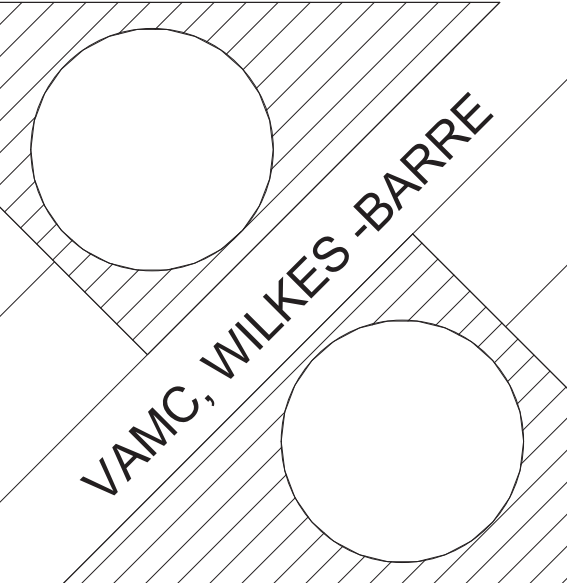
ABV	ABOVE	FOM	FACE OF MASONRY	PT(D)	PAINT(ED)
ACP	ACOUSTICAL CEILING PANEL	FS	FACE OF STUDS	PR	PAIR
ADD	ADDENDUM	FOP	FIREPROOF(ING)	PSF	POUNDS PER SQUARE FOOT
AFF	ABOVE FINISHED FLOOR	FTG	FOOTING	PSI	POUNDS PER SQUARE INCH
AHU	AIR HANDLING UNIT	GA	GAUGE	PT	POINT
ALT	ALTERNATE	GALV	GALVANIZED	PTN	PARTITION
ALUM	ALUMINUM	GC	GENERAL CONTRACTOR	R	RISER
AP	ACOUSTICAL PANEL	GL	GLASS, GLAZING	RA	RETURN AIR
APPR	APPROXIMATE	GMD	GROUP MOUNTED DEVICE	RAD	RADIUS
ARCH	ARCHITECT(URAL)	GWB	GYPSUM WALLBOARD	RB	RESILIENT BASE
BIT	BITUMINOUS	H/C	HANDICAP(PED)	RD	ROOF DRAIN
BLDG	BUILDING	H	HIGH	REINF	REINFORCE(D), REINFORCING
B.O.	BOTTOM OF	HDWR	HARDWARE	REF	REFERENCE
BOT	BOTTOM	HM	HOLLOW METAL	REQ'D	REQUIRED
BRK	BRICK	HORZ	HORIZONTAL	RES	RESILIENT
BSMT	BASEMENT	HT	HEIGHT	RET	RETURN
CJT	CONTROL JOINT	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	REV	REVISION
CLG	CEILING			RM	ROOM
CLOS	CLOSET	ID	INSIDE DIAMETER	RO	ROUGH OPENING
CMU	CONCRETE MASONRY UNIT	INCL	INCLUDE(D), INCLUDING	RT	RUBBER TILE
COL	COLUMN	INFO	INFORMATION	SCH	SCHEDULE
CONC	CONCRETE	INS	INSULATE, INSULATION	SECT	SECTION
CONF	CONFERENCE	INT	INTERIOR	SF	SQUARE FOOT
CONST	CONSTRUCTION	JC	JANITOR'S CLOSET	SQ, FT	
CONT	CONTINUOUS	JT	JOINT	SFF	SPECIAL FLOOR FINISH
CONTR	CONTRACTOR	KIT	KITCHEN	SHW	SHOWER
CORR	CORRIDOR	L	LENGTH/LONG	SIM	SIMILAR
CP	CONTROL PANEL	LAB	LABORATORY	SPEC(S)	SPECIFICATION(S)
CPT	CARPET	LAM	LAMINATE(D)	SQ	SQUARE
CRS	COURSE(S)	LAV	LAVATORY	STC	SOUND TRANSMISSION CLASS
CUH	CABINET UNIT HEATER	LF	LINEAR FOOT	STD	STANDARD
CT	CERAMIC TILE	MAX	MAXIMUM	STL	STEEL
DTL	DETAIL	MDO	MEDIUM DENSITY OVERLAY	STOR	STORAGE
DF	DRINKING FOUNTAIN			STR	STRUCTURAL
DIAM	DIAMETER	MECH	MECHANICAL	SV	SHEET VINYL
DIM	DIMENSION	MED	MEDIUM	SWC	SPECIAL WALL COVERING
DR	DOOR	MET	METAL	SYM	SYMMETRICAL
D.S.	DOWN SPOUT	MFG	MANUFACTURING	SYS	SYSTEM
DWG	DRAWING	MFR	MANUFACTURER(ED)	T	TREAD
EA	EACH	MIN	MINIMUM	T&G	TONGUE AND GROOVE
EXP JT	EXPANSION JOINT	MISC	MISCELLANEOUS	TA	TOILET ACCESSORIES
EL	ELEVATION	MO	MASONRY OPENING	TEL	TELEPHONE
ELEC	ELECTRIC(AL)	MR	MOP RECEPTOR	TEMP	TEMPORARY
ELEV	ELEVATOR	MT(D)	MOUNT(ED)	THK	THICK(NESS)
EMER	EMERGENCY	MTG	MOUNTING	T.O.	TOP OF
EQ	EQUAL	NEC	NECESSARY	TOM	TOP OF MASONRY
EQPT	EQUIPMENT	NIC	NOT IN CONTRACT	TOD	TOP OF ROOF DECK
EWC	ELECTRIC WATER COOLER	NO	NOT OPERABLE	TOS	TOP OF STEEL
EX	EXISTING	NOM	NOMINAL	TPTN	TOILET PARTITION
EXH	EXHAUST	NTS	NOT TO SCALE	TSL	TOP OF SLAB
EXP	EXPANSION	OA	OVERALL	TW	TOP OF WALL
EXT	EXTERIOR	OC	ON CENTER	TYP	TYPICAL
FA	FIRE ALARM	OD	OUTSIDE DIAMETER	UC	UNDERCUT
FBO	FURNISHED BY	OFCl	OWNER FURNISHED CONTRACTOR INSTALLED	UD	UNDERSIDE OF DECK
	OTHERS/OWNER	OH	OVERHEAD	UON	UNLESS OTHERWISE NOTED
FD	FLOOR DRAIN	OPNG	OPENING	VCT	VINYL COMPOSITE TILE
FEC	FIRE EXTINGUISHER CABINET	OPP	OPPOSITE	VIF	VERIFY IN FIELD
FIN	FINISH(ED)	PLBG	PLUMBING	VERT	VERTICAL
FIXT	FIXTURE	PLT	PLATE	VVB	VENTED VINYL BASE
FLR	FLOOR	PLY	PLYWOOD	W/	WITH
FNDN	FOUNDATION	PM	PRESSED METAL	W/O	WITHOUT
F.O.	FACE OF			WD	WOOD
FOC	FACE OF CONCRETE			WPT	WORKING POINT
FOF	FACE OF FINISH				

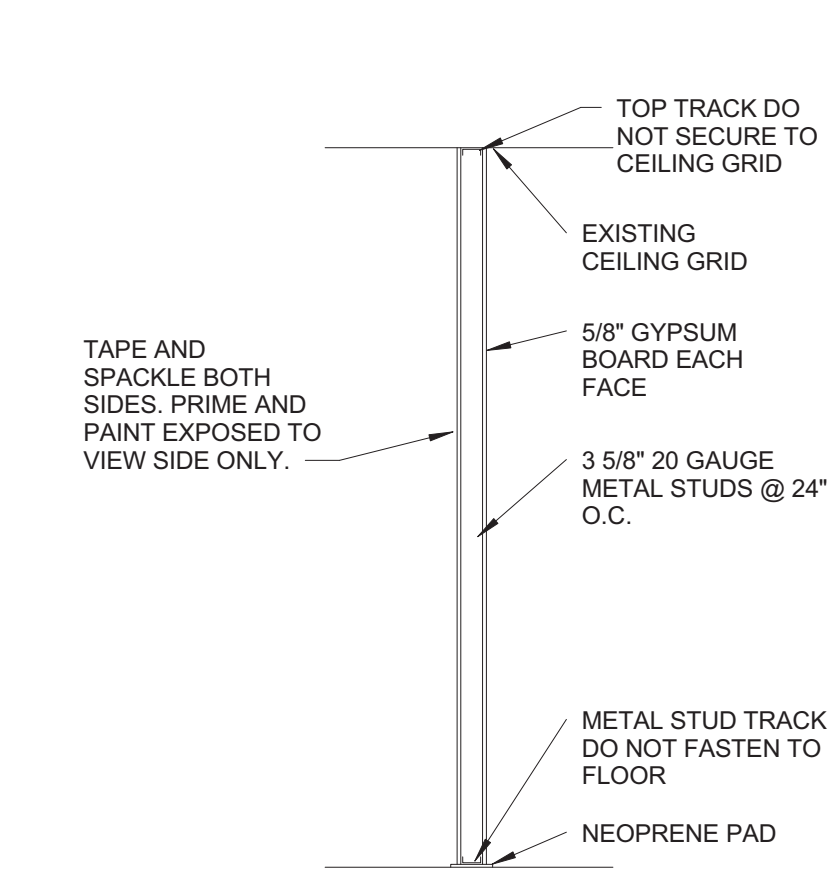
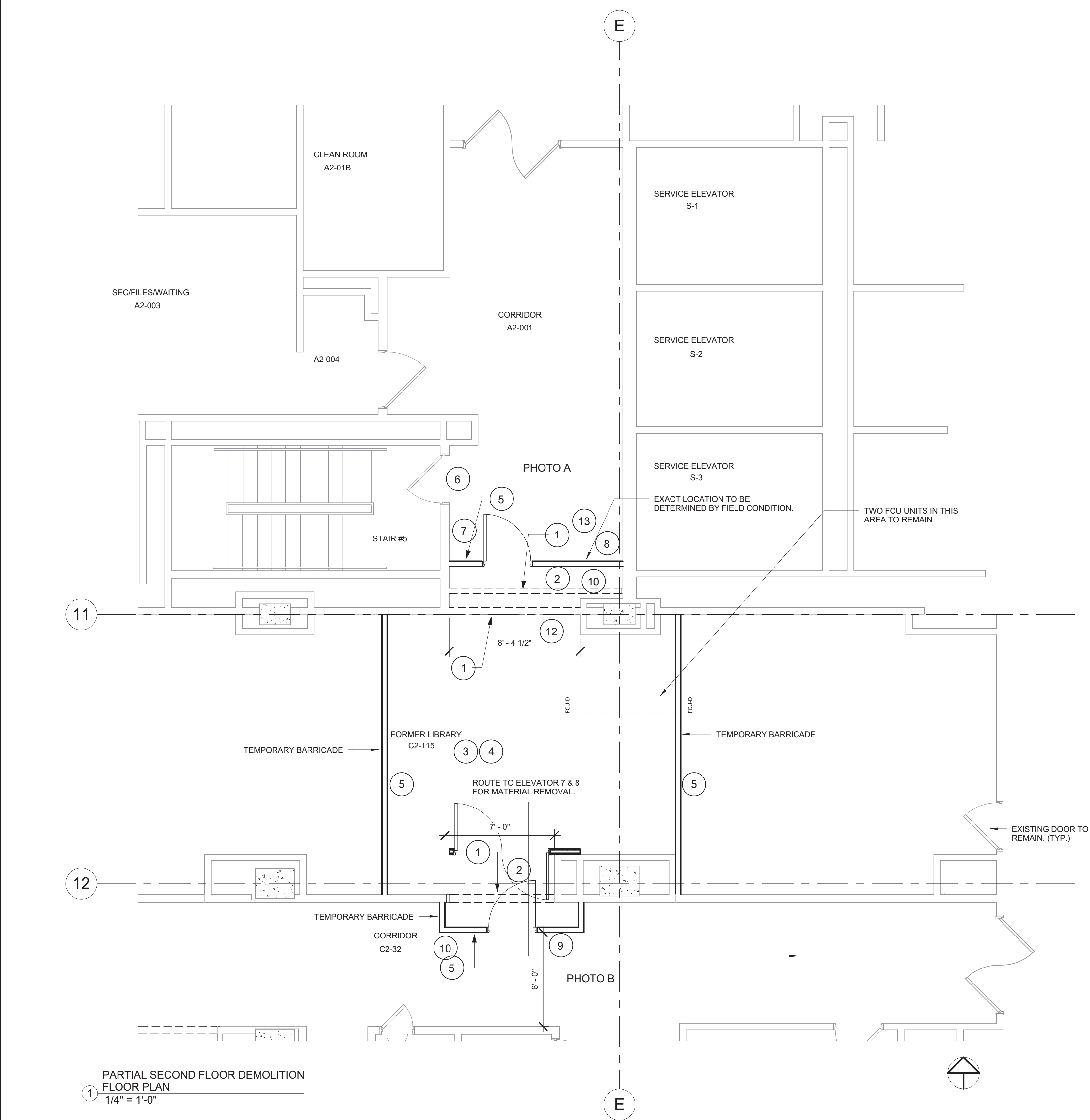
- INTERIOR PARTITIONS SHALL HAVE A MINIMUM STC OF 40.
- INSTALL ALL CERAMIC WALL TILE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARD SPECIFICATIONS FOR THE INSTALLATION OF CERAMIC TILE. PROVIDE CEMENT BACKER BOARD AT ALL WET WALL AREAS, NO EXCEPTIONS. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL OTHER WALLS RECEIVING TILE.
- ALL PENETRATIONS THROUGH RATED PARTITIONS SHALL BE SEALED WITH FIRE/SMOKE SEALANT EQUAL OR GREATER THAN THE REQUIRED PARTITION RATING.
- FLOOR PLAN DIMENSIONS GIVEN TO FACE OF GYPSUM WALL BOARD.
- ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF ALL CONTRACTORS FOR ALL PHASES INCLUDING FABRICATION, COORDINATION AND CONSTRUCTION.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- THE G.C. SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS. ASSURE ARCHITECT OF ANY EXISTING CONSTRUCTION THAT IS NOT LEVEL, SMOOTH AND PLUMB WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
- THE G.C. SHALL INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK AND IN COORDINATION WITH PROGRESSION OF WORK SCHEDULE. PERFORM WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTIONS AT NO ADDITIONAL CHARGE TO OWNER.
- WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED, BY THE CONTRACTOR, AT NO ADDITIONAL CHARGE TO THE OWNER.
- G.C. TO COORDINATE WITH E.C. THE MOUNTING HEIGHT OF ALL SWITCHES AND OUTLETS AT MILLWORK, COUNTERS, SHELVING, SINKS, ETC.
- CONTRACTOR IS TO PROVIDE ALL MISC. FIRE RATED, BLOCKING, ETC. TO HANG SCREENS, BULLETIN BOARDS, WOODWORK, ETC.
- G.C. IS TO COORDINATE WITH ALL TRADES FOR CEILING PENETRATIONS AND VERIFY BRACING FOR EXTRA SUPPORT AS NECESSARY FOR PROPER INSTALLATION.
- PROVIDE OPENINGS AS REQUIRED FOR MECH. AND ELECT. EQUIPMENT. DRYWALL CONTRACTOR TO PROVIDE STUD BRACING AS REQUIRED TO STABILIZE WALLS ABOVE CEILINGS AT HIGH AND LOW PARTITIONS.

			ARCHITECT	LEAD PROFESSIONAL	ENVIRONMENTAL CONSULTANT	STRUCTURAL ENGINEER	<div>Drawing Title</div> <div>LEGENDS</div>	Project Title			Date	
			RODNEY BURNETT AIA	BBIX, L.L.C. <small>ARCHITECTS & ENGINEERS</small>	TCI ENVIRONMENTAL SERVICES, INC.	LEONARD ENGINEERING, INC.		SECOND FLOOR CORRIDOR RENOVATIONS			12/10/2010	
			67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463					Project Number	
											076002.01	
											Drawing No.	
VA REVIEW COMMENTS	12/10/2010	Professional Seal					Approved: Project Manager	Building Number	01	Checked TJG	Drawn RDT	<div>G002</div>
100% REVIEW SUBMISSION	10/25/2010						Approved: Service Chief	Location			VAMC, WILKES -BARRE PENNSYLVANIA	
95% REVIEW SUBMISSION	9/17/2010											
Revisions	Date											

AREA OF WORK

1 SECOND FLOOR BUILDING KEY PLAN
1/32" = 1'-0"

		 Professional Seal	ARCHITECT	LEAD PROFESSIONAL	ENVIRONMENTAL CONSULTANT	STRUCTURAL ENGINEER	Drawing Title SECOND FLOOR BUILDING KEY PLAN		Project Title SECOND FLOOR CORRIDOR RENOVATIONS		Date 12/10/2010			
			RODNEY BURNETT AIA	BBIX, L.L.C. <small>ARCHITECTS & ENGINEERS</small>	TCI ENVIRONMENTAL SERVICES, INC.	LEONARD ENGINEERING, INC.	Approved: Project Manager		Building Number 01		Checked TJG/SPG	Drawn RMS		Project Number 076002.01
VA REVIEW COMMENTS			67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005		100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240		480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463		Location VAMC, WILKES -BARRE PENNSYLVANIA		Drawing No. G100			
100% REVIEW SUBMISSION							Approved: Service Chief							
95% REVIEW SUBMISSION														
Revisions		Date												



- ### KEY NOTES
- ① WALLS TO BE REMOVED BY ABATEMENT CONTRACTOR.
 - ② ACM MATERIAL TO BE REMOVED BY ABATEMENT CONTRACTOR. SEE SPECIFICATION SECTION 02 82 11 FOR QUANTITIES AND LOCATION AND COORDINATE WITH DRAWING ASB100.
 - ③ REMOVE ALL LIGHT FIXTURES - TURN OVER TO OWNER
 - ④ REMOVE ALL SUSPENDED ACOUSTICAL CEILING TILE
 - ⑤ TEMPORARY BARRICADE
3 5/8" METAL STUDS WITH ONE LAYER 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD FULL HEIGHT-PROVIDE ONE 3'0"x7'-0" SOLID CORE WOOD DOOR - COORDINATE LOCATION WITH VA.
 - ⑥ EXISTING STAIR TOWER DOOR (EGRESS DOOR) TO REMAIN. DO NOT OBSTRUCT. CLEAR ACCESS REQUIRED.
 - ⑦ EXISTING PULL STATION AND AVV UNIT TO REMAIN UNOBSTRUCTED.
 - ⑧ EXISTING ELEVATOR CONTROL TO REMAIN UNOBSTRUCTED.
 - ⑨ ACM FLOOR TILES TO BE REMOVED BY ABATEMENT CONTRACTOR.
 - ⑩ CUT BACK EXISTING CEILING GRID AS REQUIRED. REINSTALL OR REPLACE WITH NEW GRID AND TILES TO MATCH EXISTING.
 - ⑪ REMOVAL OF FLOOR FINISH BY ABATEMENT CONTRACTOR.
 - ⑫ ABATEMENT CONTRACTOR TO PROVIDE TEMPORARY SHORING UNTIL PERMANENT STRUCTURAL SUPPORT IS INSTALLED.
 - ⑬ ANY EXISTING SPRAY ON FIRE PROOFING DAMAGED OR DISTURBED BY DEMOLITION MUST BE REPLACED/REPAIRED TO MAINTAIN EXISTING RATING.


- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO THE FOLLOWING:
- SUBMIT SELECTIVE DEMOLITION SCHEDULE FOR APPROVAL, INCLUDING SCHEDULE AND METHODS, CAPPING, AND CONTINUING UTILITY SERVICE.
 - ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
 - OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE DEMOLITION WORK AS REQUIRED BY ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION
 - WHEN THE NATURE OF THE DEMOLITION REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CHUTES FOR THE DISPOSAL OF MATERIAL AND RUBBISH.
 - REMOVE AND SALVAGE DEBRIS FROM THE SITE DAILY, AFTER NORMAL BUSINESS HOURS IN ENCLOSED, RUBBER WHEEL CARTS. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIAL IN SUCH A MANNER AS TO PREVENT SPILLAGE. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
 - DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER OCCUPIED OR USED SPACES OR FACILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND THE AUTHORITIES HAVING JURISDICTION. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE AUTHORIZES HAVING JURISDICTION. IF NECESSARY PROVIDE TEMPORARY UTILITIES - ALL COSTS FOR TEMPORARY UTILITIES SHALL BE INCLUDED IN THE CONTRACTOR'S BIO.
 - CEASE OPERATION IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
 - IN COMPANY OF THE DESIGN PROFESSIONAL AND OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED PRIOR TO STARTING THE WORK. CAREFULLY IDENTIFY THE LIMITS OF SELECTIVE DEMOLITION. MARK INTERFACE SURFACES AS REQUIRED TO ENABLE THE WORKMEN TO ALSO IDENTIFY THE ITEMS TO BE REMOVED AND STORED, AS WELL AS THE ITEMS TO BE LEFT IN PLACE INTACT.
 - USE MEANS NECESSARY TO PREVENT DUST FROM MIGRATION IN ACCORDANCE WITH VA ICRA REQUIREMENTS.
 - EXECUTE DEMOLITION WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY DEBRIS.
 - COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, RE-USE, SHUT-OFF, STUB-OFF, CAPPING-OFF OR UPGRADING OF ALL EXISTING PLUMBING, HVAC, FIRE ALARM, SECURITY AND ELECTRICAL SYSTEMS, EQUIPMENT AND APPURTENANCES-INCLUDING, BUT NOT LIMITED TO , UTILITY LINES, DUCTS, CONNECTIONS, PANELS, VENTS, FANS, ELECTRICAL BASEBOARD HEAT, PIPING, DEVICES, CONTROLS, SWITCHES, OUTLETS, AND CONDUIT DURING THE CONSTRUCTION AS REQUIRED, AS SCHEDULED OR AS SPECIFIED IN ACCORDANCE WITH ALL CODES. REMOVE ALL ABANDONED ITEMS-TYPICAL. GC IS RESPONSIBLE FOR DETERMINING WHICH SERVICES ARE ABANDONED
 - THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL ASBESTOS CONTAINING MATERIAL AND IN DOING SO SHALL COMPLY WITH ALL APPLICABLE VA AND OSHA REGULATIONS AND ALL OTHER FEDERAL, STATE AND LOCAL GUIDELINES REGARDING ASBESTOS-CONTAINING MATERIAL REMOVAL AND DISPOSAL.
 - OWNER SHALL NOT BE HELD RESPONSIBLE FOR CONTRIBUTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS OR FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN STRICT ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. OWNER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE DONE TO EXISTING FEATURES AS A RESULT OF THIS WORK. DAMAGES ITEMS SHALL BE REPLACED IN KIND AND AT NO ADDITIONAL COST TOT HE OWNER.
 - REUSE OF EXISTING CONDUITS THROUGHOUT PROJECT IS ALLOWED AND ENCOURAGED TO REDUCE WASTE. WIRING SHALL NOT BE REUSED.

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VA REVIEW COMMENTS		12/10/2010		Approved: Project Manager		Building Number 01	Checked TJG	Drawn RDT			Project Number 076002.01	Drawing No. D100			
100% REVIEW SUBMISSION		10/25/2010		Approved: Service Chief		Location VAMC, WILKES -BARRE PENNSYLVANIA									
95% REVIEW SUBMISSION		9/17/2010													
Revisions		Date		Professional Seal											

FULLY SPRINKLERED

EXISTING WALL HUNG PAINTING TO BE REMOVED BY VA.

EXISTING ELEVATOR TO REMAIN.



EXISTING SUSPENDED CEILING TO BE CUT BACK AS NEEDED FOR REMOVAL OF EXISTING WALL. REPLACE WITH NEW AFTER PERMANENT G.W.B. BULKHEAD IS INSTALLED.

EXISTING ACT IN CORRIDORS TO REMAIN.

ILLUMINATED EXIT SIGN, HORN STROBE, AND PULL STATION SHALL NOT BE OBSTRUCTED DURING DEMOLITION AND CONSTRUCTION.

REMOVE EXISTING HANDRAIL AND REPLACE WITH IDENTICAL HANDRAIL TO FIT LENGTH OF CORRIDOR.


REMOVE EXISTING BASE AT NEW OPENING.

PHOTO A

NEW WALL FINISHES TO BE DETERMINED BY OWNER.

REMOVE EXISTING EXIT SIGN - PROVIDE NEW - REFER TO REFLECTED CEILING PLAN.

REMOVE EXISTING MIRROR.




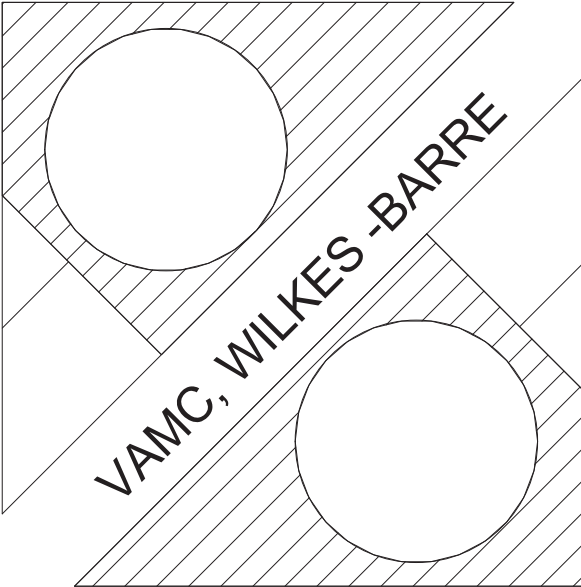
RELOCATE EXISTING A/V UNIT - REFER TO REFLECTED CEILING PLAN.

EXISTING ACT IN CORRIDORS TO REMAIN.

HANDRAIL TO BE REMOVED AT NEW OPENING. PROVIDE NEW END CAPS.

ONE ROW OF EXISTING ACM FLOOR TILES AND MASTIC TO BE REMOVED. PROVIDE NEW VCT FLOOR FINISH.

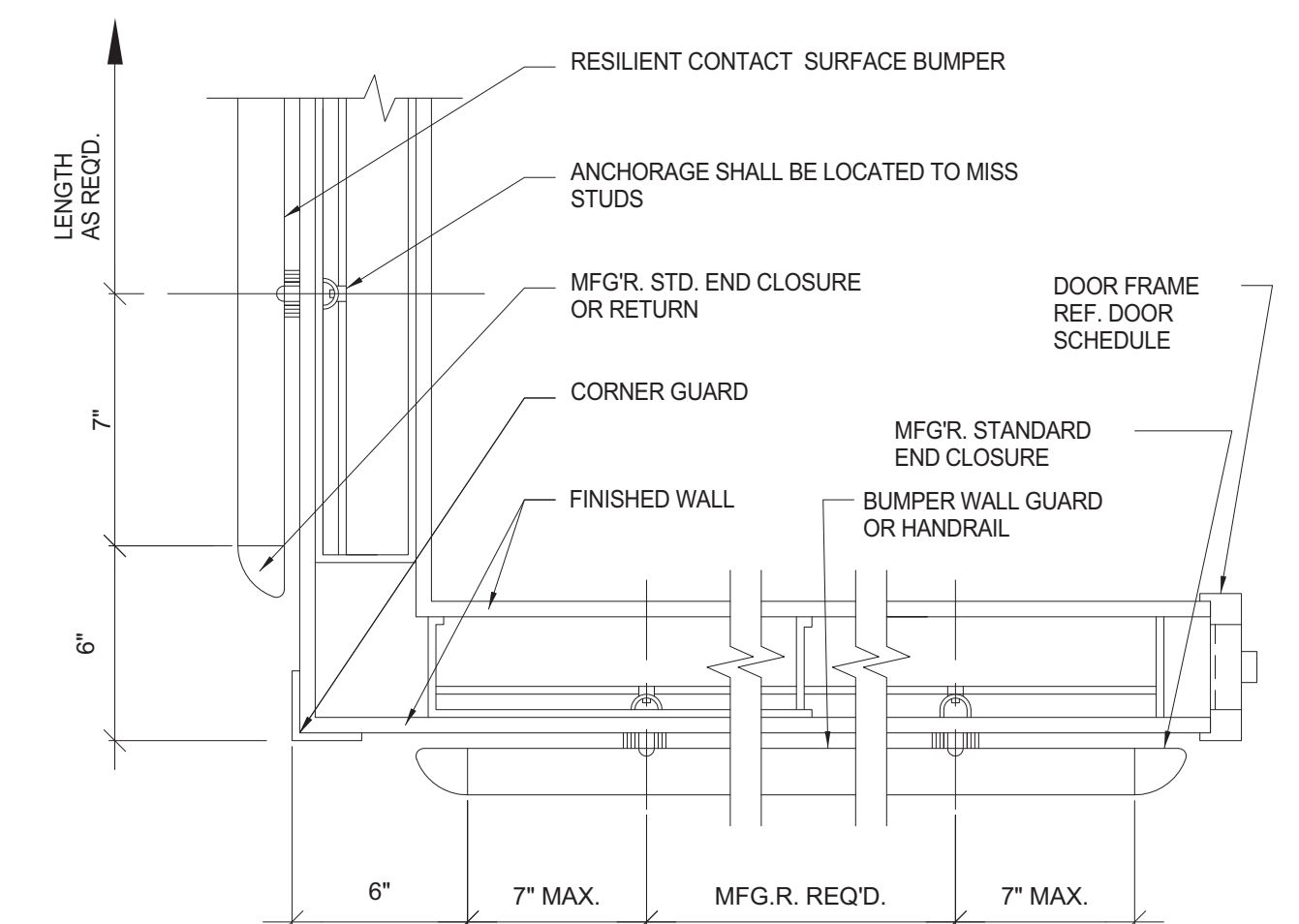
PHOTO B

		 <div>Professional Seal</div>	<div>ARCHITECT</div> <div>RODNEY BURNETT AIA</div> <div>67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005</div>	<div>LEAD PROFESSIONAL</div> <div>BBIX, L.L.C.</div> <div>67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005</div>	<div>ENVIRONMENTAL CONSULTANT</div> <div>TCI ENVIRONMENTAL SERVICES, INC.</div> <div>100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240</div>	<div>STRUCTURAL ENGINEER</div> <div>LEONARD ENGINEERING, INC.</div> <div>480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463</div>	<div>Drawing Title</div> <div>DEMOLITION PHOTOGRAPHS</div>	<div>Project Title</div> <div>SECOND FLOOR CORRIDOR RENOVATIONS</div>	<div>Date</div> <div>12/10/2010</div>	 <div>VAMC, WILKES-BARRE</div>		
VA REVIEW COMMENTS	12/10/2010						Approved: Project Manager	<div>Building Number</div> <div>01</div>	<div>Checked</div> <div>TJG</div>		<div>Drawn</div> <div>RDТ</div>	<div>Project Number</div> <div>076002.01</div>
100% REVIEW SUBMISSION	10/25/2010						Approved: Service Chief	<div>Location</div> <div>VAMC, WILKES -BARRE PENNSYLVANIA</div>				<div>Drawing No.</div> <div>D101</div>
95% REVIEW SUBMISSION	9/17/2010											
Revisions	Date											

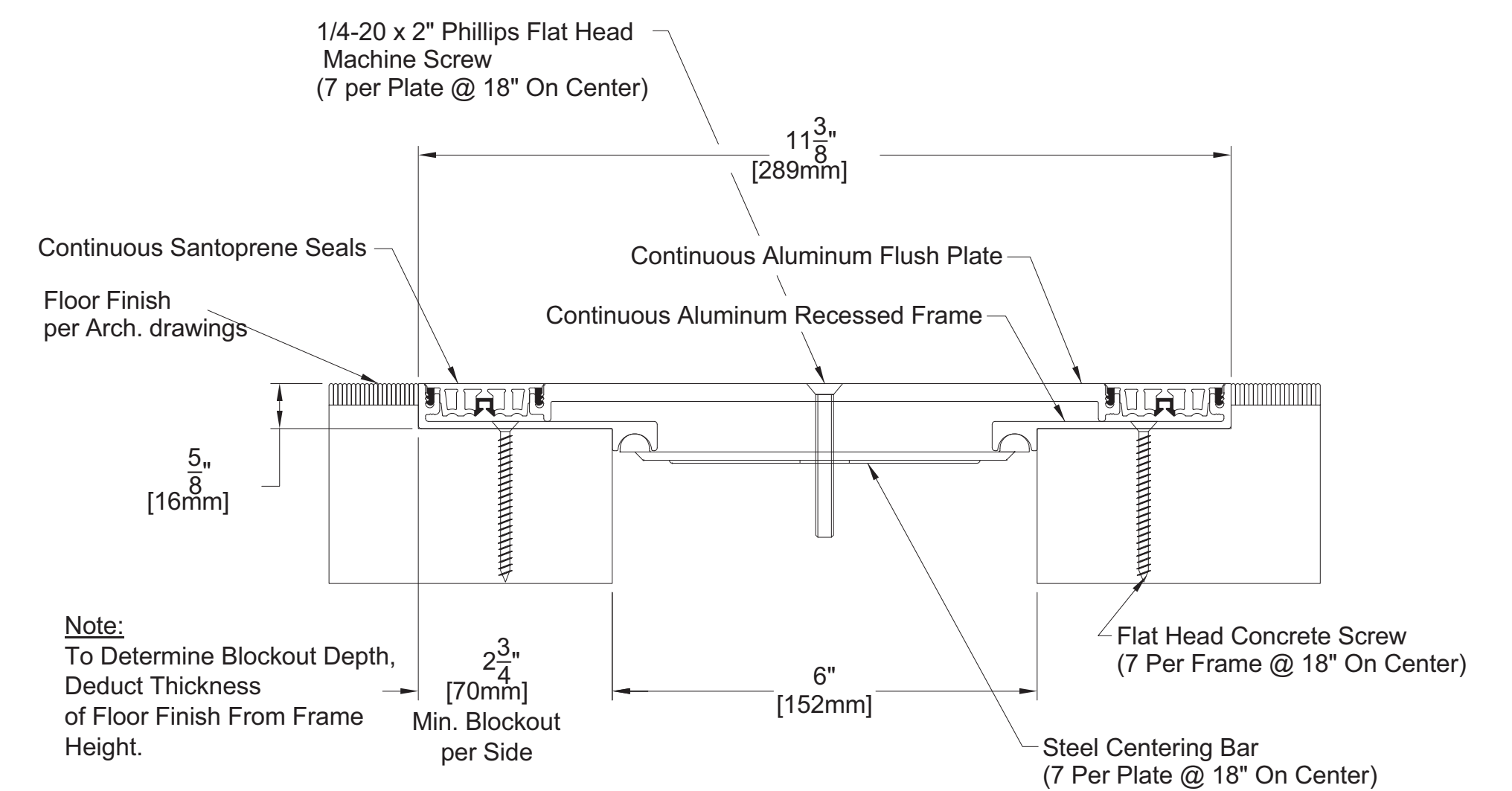
FULLY SPRINKLERED



VA Department of Veterans Affairs



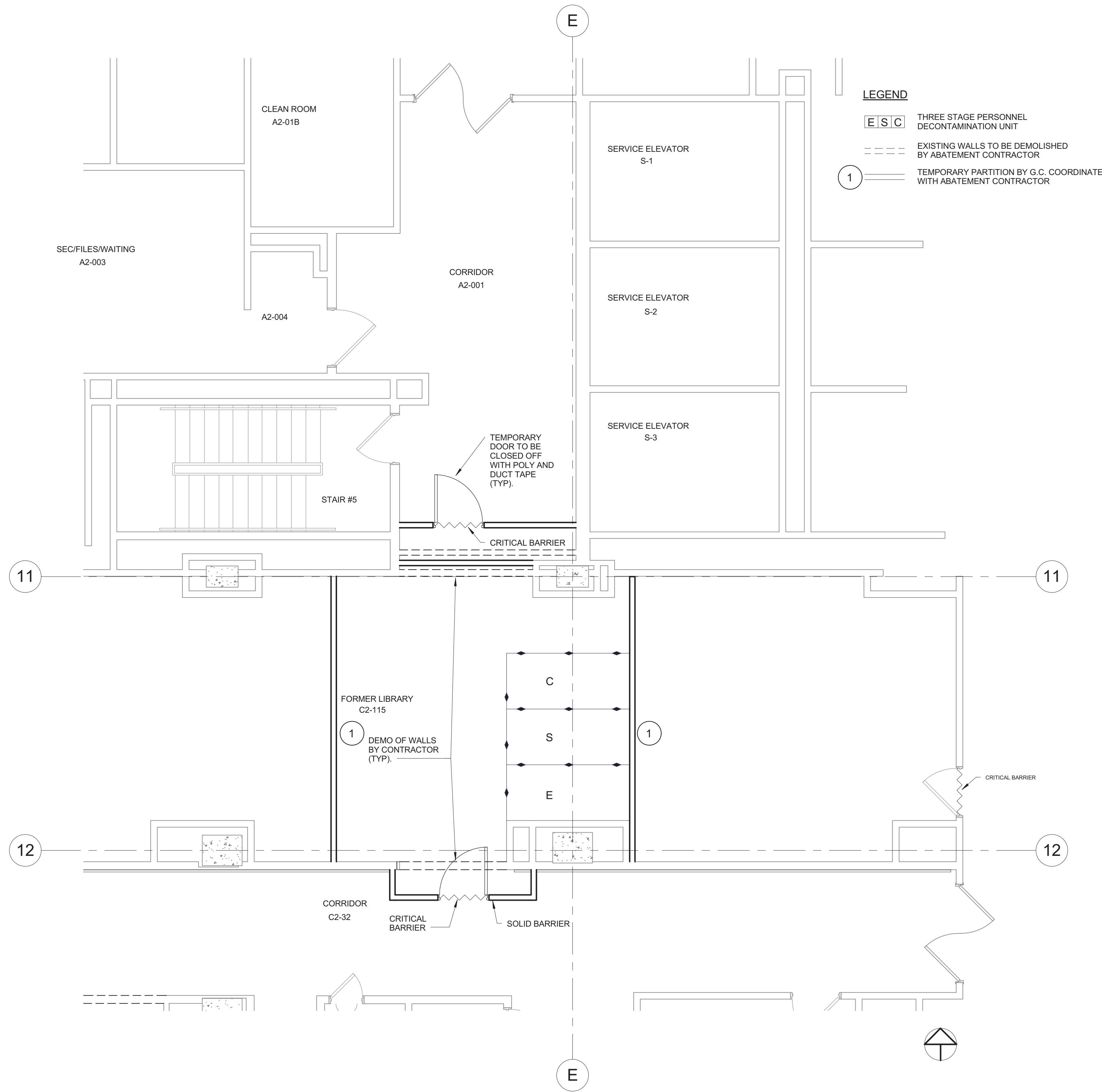
④ HANDRAIL LAYOUT DETAIL
N.T.S.



⑥ EXPANSION JOINT DETAIL
N.T.S.


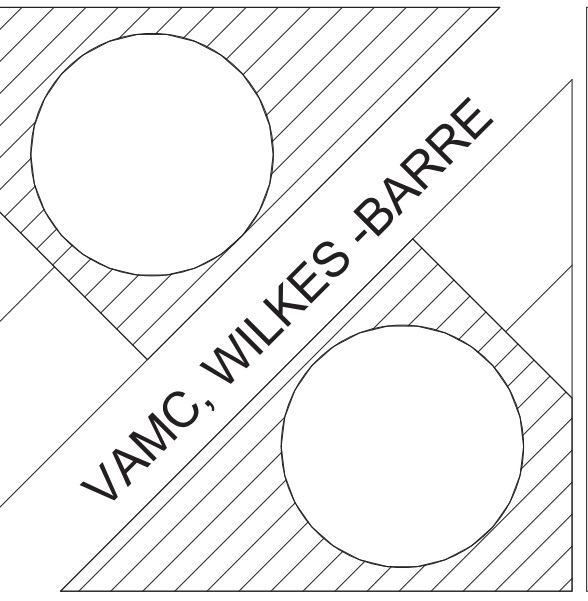

APPLICATION
RECESSED FLOOR/FLOOR CONDITION
W/DUAL SEALS-FLUSH PLATE
MUST BE FIRE RATED 2 HOUR

FULLY SPRINKLERED

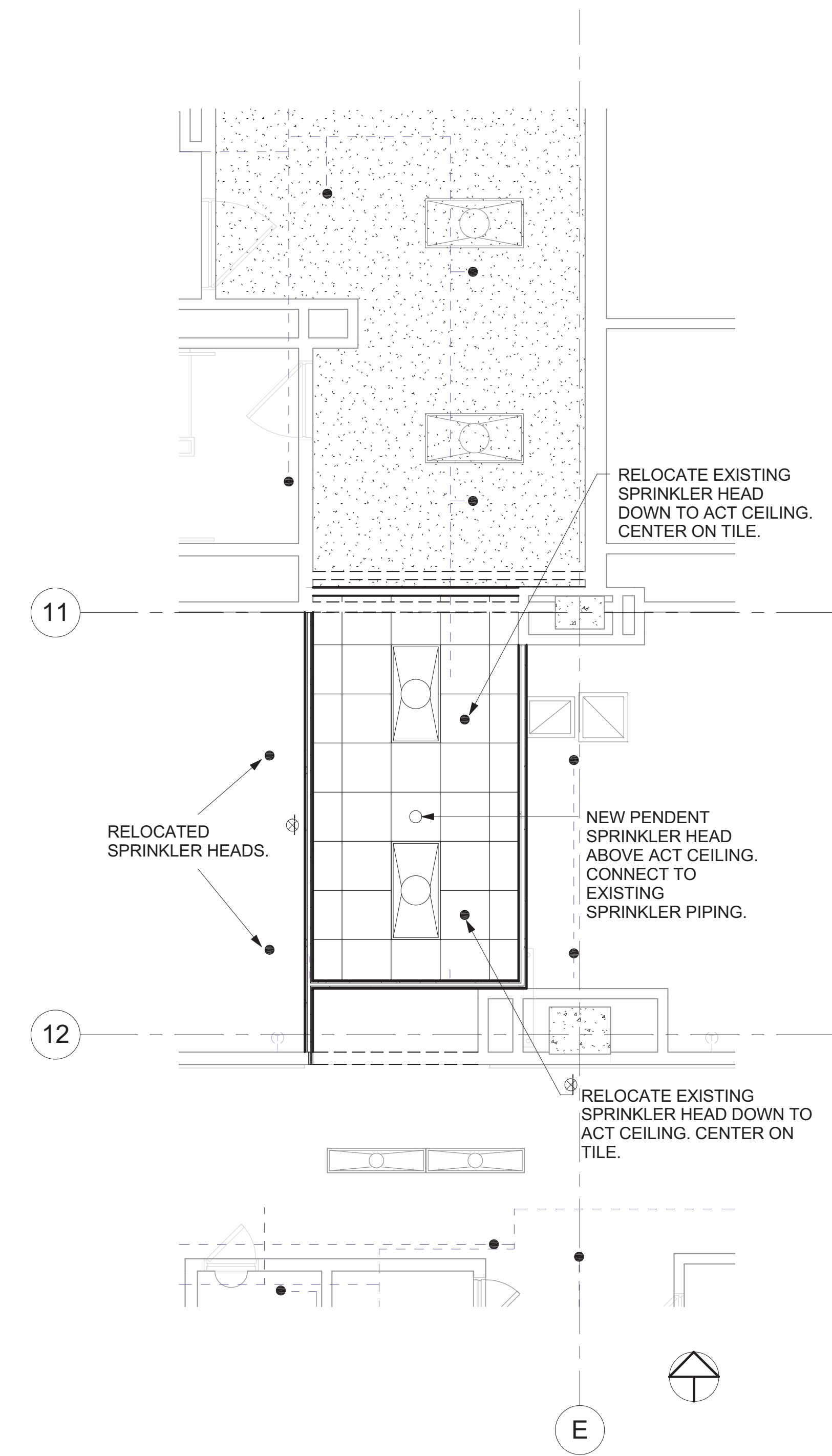


- GENERAL NOTES:**
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY INSPECT THE BUILDING IN ORDER TO VERIFY ACTUAL CONDITIONS AND FULL SCOPE OF ABATEMENT REQUIRED.
 2. THE CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES TO REMAIN AND PROVIDE REASONABLE AND ADEQUATE PROTECTION FROM ABATEMENT WORK.
 3. THE CONTRACTOR SHALL MAINTAIN EXISTING BUILDING UTILITIES IN OPERATION DURING THE PERFORMANCE OF THE WORK.
 4. PRIOR TO REMOVAL, THE CONTRACTOR IS TO IDENTIFY ALL BUILDING SYSTEMS MATERIALS, INCLUDING PIPES, WIRING, CONDUIT, ETC. QUESTIONS REGARDING IDENTIFICATION SHALL BE ADDRESSED TO THE ARCHITECT.
 5. THE CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE UNITED STATES GOVERNMENT INCLUDING, BUT NOT LIMITED TO, WINDOWS, PUBLIC TOILETS, ELEVATORS, DOORS, ELECTRICAL, PLUMBING, MECHANICAL SYSTEMS, WIRING, ETC.
 6. THE CONTRACTOR SHALL MAINTAIN CLEAR EGRESS TO ALL EXITS FOR THE DURATION OF THE WORK.
 7. ALL FIRE PROTECTION SYSTEMS (INCLUDING SPRINKLERS, SMOKE DETECTORS, FIRE SPEAKERS, PULL STATIONS, ETC.) ARE TO REMAIN ACTIVE DURING ALL WORK.
 8. ALL AUTOMATIC FIRE-ALARM EQUIPMENT TO BE SECURED AND PROTECTED PRIOR TO ABATEMENT. ALL DAMAGED EQUIPMENT TO BE REPLACED OR REPAIRED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
 9. CONTRACTOR SHALL PROTECT EXISTING DOORS AND FRAMES TO REMAIN FROM DAMAGE DURING ABATEMENT.
 10. SCOPE OF WORK IS AS DETAILED IN TECHNICAL SPECIFICATION SECTION 028211.
 11. CRITICAL BARRIERS SHALL BE PLACED OVER ALL OPENINGS, WINDOWS, OUTLETS, ETC. IN THE WORK AREA.
 12. REMOVAL OF FURNITURE, SUPPLIES, BOOKS AND OFFICE EQUIPMENT WILL BE DONE BY OWNER.
 13. ALL WORK SHALL BE IN THE COMMONWEALTH OF PENNSYLVANIA REGULATIONS ACCORDANCE WITH FOR ASBESTOS CONTROL.
 14. CONTRACTOR TO REMOVE DROP CEILINGS AS NEEDED AND TURN OVER TO OWNER.
 15. CONTRACTOR WILL DEMO WALLS AND CHASES AS NECESSARY TO ACCESS PIPE INSULATION.
 16. FULL CONTAINMENT PROCEDURES FOR REMOVAL ACTIVITIES ARE TO BE FOLLOWED, SEE SPECIFICATIONS.

1 ASBESTOS ABATEMENT PLAN
1/4" = 1'-0"

		 Professional Seal	ARCHITECT RODNEY BURNETT AIA 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	LEAD PROFESSIONAL BBIX, L.L.C. ARCHITECTS & ENGINEERS 67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	ENVIRONMENTAL CONSULTANT TCI ENVIRONMENTAL SERVICES, INC. 100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	STRUCTURAL ENGINEER LEONARD ENGINEERING, INC. 480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463	Drawing Title ASBESTOS ABATEMENT PLAN	Project Title SECOND FLOOR CORRIDOR RENOVATIONS	Date 12/10/2010				
VA REVIEW COMMENTS			12/10/2010			Approved: Project Manager		Building Number 01	Checked TJG			Drawn RDT	Project Number 076002.01
100% REVIEW SUBMISSION			10/25/2010			Approved: Service Chief						Drawing No. ASB100	
95% REVIEW SUBMISSION			9/17/2010					Location VAMC, WILKES -BARRE PENNSYLVANIA					
Revisions			Date										

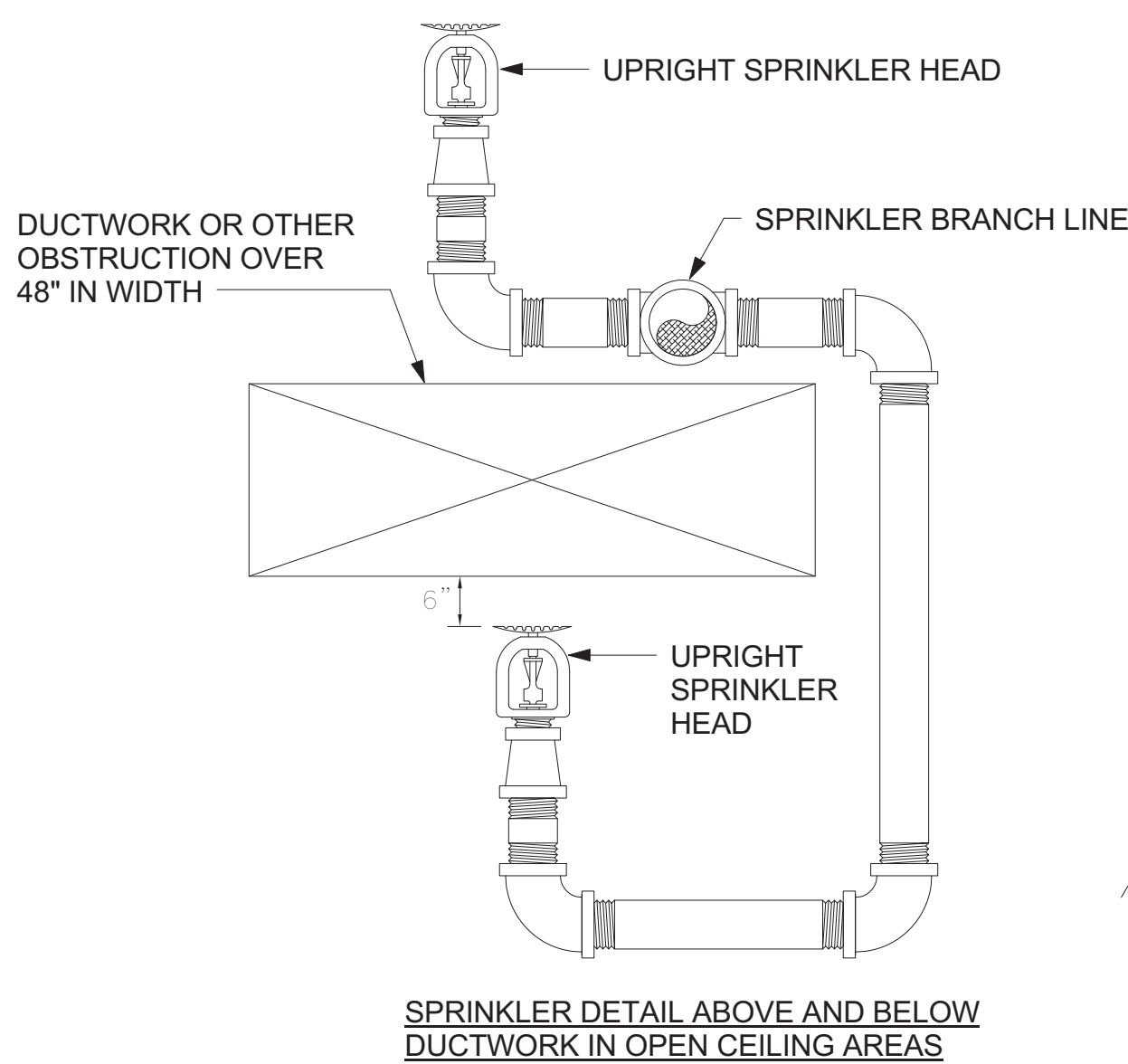
FULLY SPRINKLERED



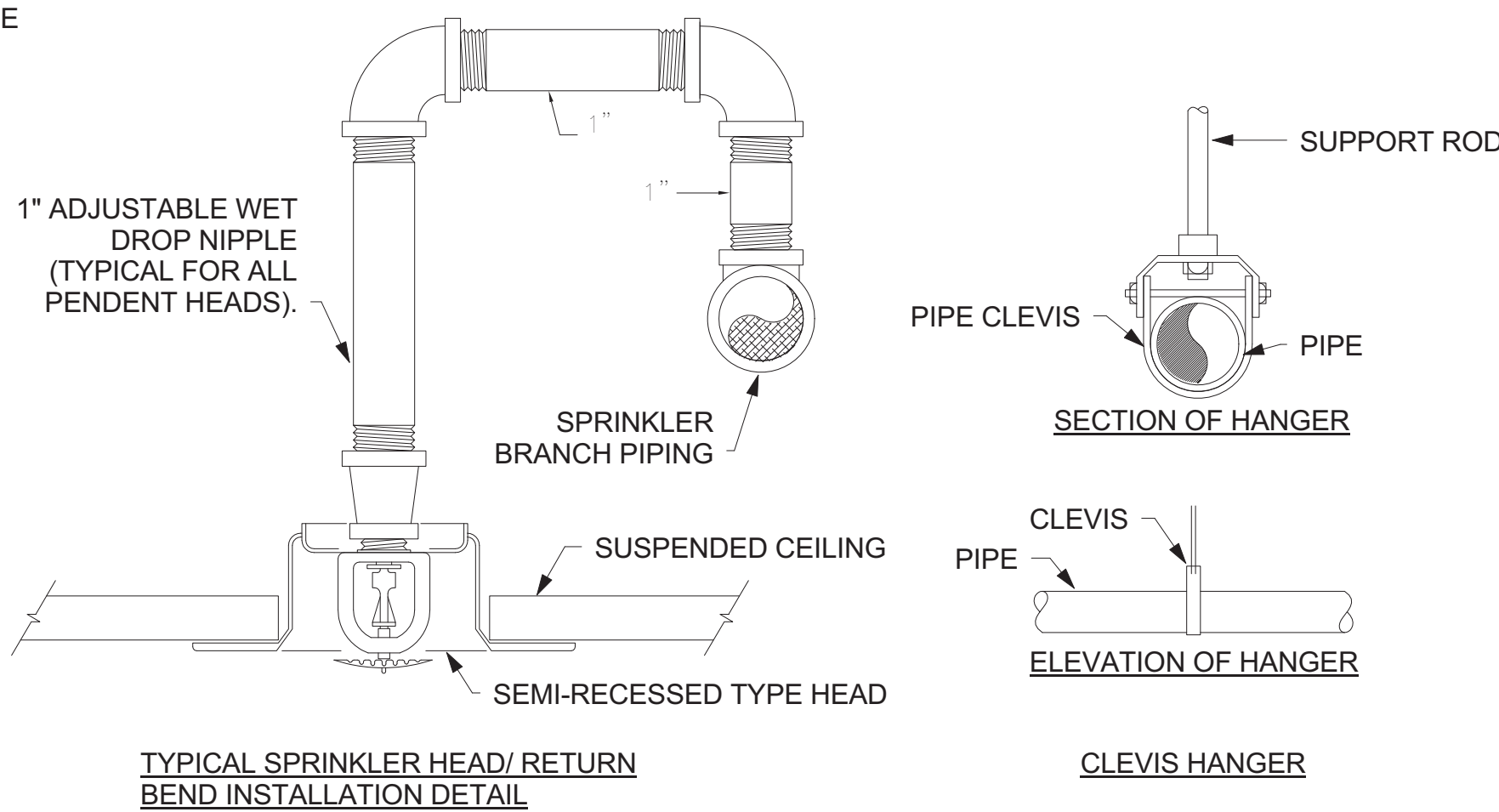
1 FIRE PROTECTION PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS.
2. SPRINKLER AND PIPING LAYOUT SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL CONFIRM STRUCTURAL AND WATER SUPPLY HYDRAULIC INFORMATION PRIOR TO SYSTEM FABRICATION AND INSTALLATION.
3. THE SPRINKLER SYSTEM HEAD LAYOUT SHOWN IS AN APPROXIMATION AND IS INTENDED ONLY TO PROVIDE AN UNDERSTANDING OF THE SCOPE OF THE WORK. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXACT LOCATION ALL HEADS TO INSURE THIS WORK WILL NOT CONFLICT WITH CEILING GRID OR LIGHTING LAYOUT. REFER TO THE ARCHITECTURAL DRAWINGS FOR REFLECTED CEILING PLANS AND COORDINATE ALL WORK WITH ALL OTHER CONTRACTORS PRIOR TO INSTALLATION OF THE SPRINKLER SYSTEM.
4. WHERE REQUIRED BY CODE OR DIRECTED BY LOCAL AUTHORITIES, CONTRACTOR SHALL PROVIDE SEISMIC HANGING AND CONSTRAINTS ON ALL PIPING IN COMPLETE ACCORDANCE WITH THE LATEST ISSUE OF THE STATE MECHANICAL BUILDING CODE, LOCAL CODES AND NFPA.
5. FIRE PROTECTION CONTRACTOR SHALL PROVIDE A GUARANTEE COVERING ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE BY OWNER.
6. SHOP DRAWINGS, HYDRAULIC CALCULATIONS AND SUBMITTALS TO BE PREPARED AND SEALED BY A REGISTERED FIRE PROTECTION ENGINEER.

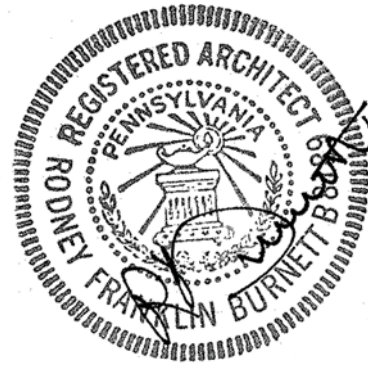


SPRINKLER DETAIL ABOVE AND BELOW
DUCTWORK IN OPEN CEILING AREAS



TYPICAL SPRINKLER HEAD/ RETURN
BEND INSTALLATION DETAIL

2 FIRE PROTECTION DETAILS
N.T.S.

<div>VA REVIEW COMMENTS</div> <div>100% REVIEW SUBMISSION</div> <div>95% REVIEW SUBMISSION</div> <div>Revisions</div>		<div></div> <div>Professional Seal</div>	ARCHITECT	LEAD PROFESSIONAL	ENVIRONMENTAL CONSULTANT	STRUCTURAL ENGINEER	Drawing Title		Project Title		Date	<div>VAMC, WILKES-BARRE</div>		<div>VA</div> <div>Department of Veterans Affairs</div>
			RODNEY BURNETT AIA	BBIX, L.L.C. ARCHITECTS & ENGINEERS	TCI ENVIRONMENTAL SERVICES, INC.	LEONARD ENGINEERING, INC.	FIRE PROTECTION PLAN		SECOND FLOOR CORRIDOR RENOVATIONS		12/10/2010			
			67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	67 PUBLIC SQUARE SUITE 1300 WILKES-BARRE, PA 18701 TEL: 570.822.6080 FAX: 570.822.8005	100 NORTH WILKES-BARRE BLVD. WILKES-BARRE, PA 18702 TEL: 570.823.9069 FAX: 570.823.9240	480 SCOTT STREET WILKES-BARRE, PA 18702 TEL: 570.970.2333 FAX: 570.814.9463	Approved: Project Manager		Building Number	Checked	Drawn			
							Approved: Service Chief		Location	01	JM/TJG	RMS		
										VAMC, WILKES -BARRE PENNSYLVANIA		Project Number		
									Drawing No.					