

GENERAL DEMOLITION NOTES:

1. ANY ITEM NOT SPECIFICALLY IDENTIFIED BUT REQUIRED TO BE REMOVED OR DEMOLISHED TO PREPARE THE BUILDING FOR THE NEW WORK OR TO OTHERWISE PRODUCE THE FINISHED PRODUCT SHOWN IN THE CONTRACT DOCUMENTS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. SCHEDULE ALL SHUTDOWNS THAT AFFECT UTILITIES AND PORTIONS OF THE BUILDING THAT MUST REMAIN IN OPERATION WITH THE OWNER AND ALL LOCAL JURISDICTIONS HAVING AUTHORITY PRIOR TO IMPLEMENTING.
3. DEMOLITION WORK SHALL BE SCHEDULED AT ALL TIMES AND BE SUBJECT TO THE DIRECTION AND APPROVAL OF THE OWNER AND IMPLEMENTED WITHOUT DISRUPTION OF OCCUPIED AREAS SURROUNDING THE DEMOLITION ZONE.
4. EXISTING CONSTRUCTION TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. DAMAGE TO EXISTING CONSTRUCTION SHALL BE REPAIRED AT THE DEMOLITION CONTRACTOR'S EXPENSE. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL FIRE RATINGS AT STRUCTURAL MEMBERS, FLOORS, WALLS, CEILINGS, ROOFS, ETC.
5. PRIOR TO ANY DEMOLITION, CONTRACTOR SHALL COORDINATE BRACING TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AS REQUIRED.
6. DEMOLITION CONTRACTOR SHALL REMOVE ALL MATERIALS IN A WORKMAN-LIKE MANNER APPROVED BY THE OWNER AND DISPOSE OF ALL MATERIALS PER APPLICABLE CODES.
7. FOR THE DURATION OF DEMOLITION AND CONSTRUCTION.
8. CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED AND DELIVERED TO THE OWNER.
9. ALL MEANS OF EGRESS AND LIFE SAFETY ROUTES FOR OCCUPIED AREAS ARE TO REMAIN ACCESSIBLE DURING ALL PHASES OF CONSTRUCTION. FIRE ALARM AND SMOKE DETECTION SYSTEMS TO REMAIN OPERATIONAL AT ALL TIMES. ANY TEMPORARY EXCEPTIONS SHALL BE APPROVED BY THE LOCAL CODE OFFICIALS AND FIRE CHIEF.

KEYED DEMOLITION NOTES:

1. EXISTING FIXED COUNTERS, BASE & WALL CABINETS TO BE REMOVED.
2. EXISTING (NON-FIXED) SHELVING, FLS, CABINETS, LOCKERS, ETC. TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION OF NEW WORK. C.C. TO COORDINATE WITH OWNER.
3. REMOVE EXISTING FLOOR FINISH & PREP FLOOR AS REQ'D. BY MFG. FOR THE NEW FLOORING.
4. REMOVE EXISTING COUNTERS, ASSOCIATED FRAMING, & ACCESSORIES AS REQ'D. TO INSTALL NEW WORK.
5. PATCH & PREP EXIST. WALLS AS REQUIRED FOR NEW FINISHES.
6. REMOVE EXIST. COOLER UNIT. (REFER TO MEP DRAWINGS)
7. REMOVE EXIST. WALLS, DOORS, FINISHES, ETC. FOR NEW CONSTRUCTION.
8. GENERAL CONTRACTOR TO RELOCATE PICK STATION & WORK COUNTER AS DIRECTED BY OWNER.

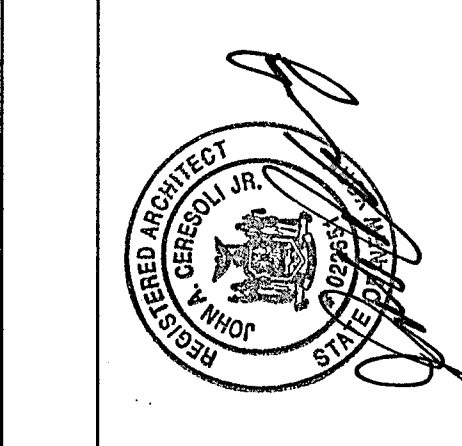
GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND ACCEPTED INDUSTRY, AND V.A. STANDARDS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND ESTABLISHING THE COMPATIBILITY OF ALL NEW WORK WITH THE EXISTING CONDITIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, ETC. REQUIRED BY REGULATING BODIES HAVING JURISDICTION.
4. ALL WORK IS TO BE DONE IN OCCUPIED SPACE. GENERAL CONTRACTOR TO TAKE EVERY PRECAUTION TO ELIMINATE THE TRAVEL OF DUST AND DIRT FROM THE CONSTRUCTION AREA TO ADJACENT SPACES. TEMPORARY DUST PROTECTION TO BE ERECTED DURING NORMAL WORKING HOURS.
5. CONTRACTOR SHALL TAKE EVERY PRECAUTION TO MINIMIZE DISRUPTION IN WORK TO BE REVIEWED WITH OWNER AND ARCHITECT PRIOR TO BEGINNING WORK.
6. CONTRACTOR SHALL PATCH ALL AREAS AFFECTED BY DEMOLITION OR REMOVAL OF EXISTING EQUIPMENT. NEW SURFACES TO BE FILLED, SANDED SMOOTH & FINISHED TO MATCH ADJACENT SURFACE OR AS SPECIFIED.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION AND CONTINUOUS MAINTENANCE OF TEMPORARY PROTECTION TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL & HAZARDOUS MATERIALS.

8. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN. KEEP IN SERVICE AND PROTECT AGAINST DAMAGE DURING ALL WORK. CONTRACTOR TO COORDINATE CONSTRUCTION AROUND EXISTING EQUIPMENT, CONDUIT CABLEING, ETC. WITH OWNER AND ARCHITECT AS REQUIRED.
9. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ALL NEW EQUIPMENT TO BE INSTALLED WITH ELECTRICAL DRAWINGS.
10. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL, & HAZARDOUS MATERIALS.
11. ALL PENETRATIONS IN RATED ASSEMBLIES SHALL BE SEALED UP WITH UL/FBI APPROVED MATERIALS AND PROCEDURES, AS WELL AS BEING APPROVED AND COORDINATED WITH OWNER AND ARCHITECT.
12. ALL DIMENSIONS ARE FROM FINISH FACE OF WALL TO FINISH FACE OF WALL.
13. LOCATE ALL NEW DOORS 4" FROM INSIDE CORNER UNLESS NOTED OTHERWISE.
14. CONTRACTOR TO PROVIDE ALL COMBUSTIBLE FLOORING AS REQUIRED BEHIND ALL EXISTING EQUIPMENT. NEW SURFACES TO BE FILLED, SANDED SMOOTH & FINISHED TO MATCH ADJACENT SURFACE OR AS SPECIFIED.
15. OTHER INFORMATION.
16. ROOF AND/OR FLOOR SLAB PENETRATION SHALL BE COORDINATED IN THE FIELD. ALL PENETRATIONS SHALL BE BETWEEN BEAMS AND WEBS, DO NOT MAKE ANY PENETRATIONS THRU ANY CONCRETE BEAMS OR JOISTS.
17. SOAP & PAPER TOWEL DISPENSER PROVIDED BY OWNER & CONTRACTOR INSTALLED.

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Drawing Title
Ground Floor - Demolition & New Work Plans
Approved Project Director

Project Title
Pharmacy Upgrade USP 797
Boston Healthcare System
West Robury Campus
Location
1400 WFW Parkway West Robury, MA 02132
Date
07/22/08
Checked
JL
Drawn
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Project Number
523A4-06-101
Bidding Number
3
Drawing Number
A-3
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Office of Facilities Management
Department of Veterans Affairs

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