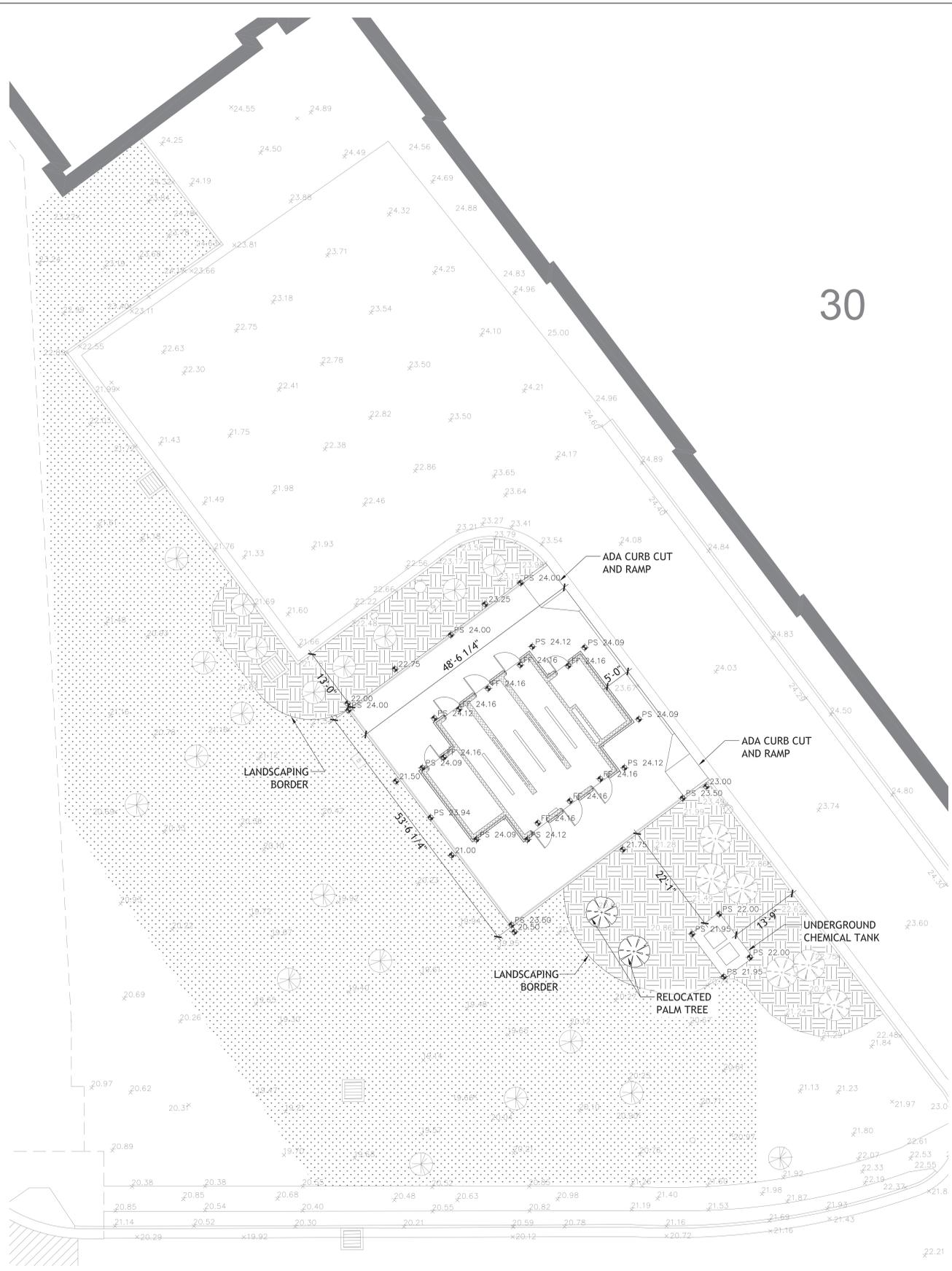


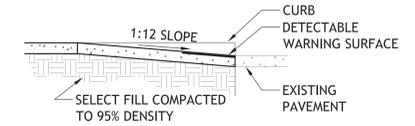
three inches = one foot
 one and one-half inches = one foot
 one inch = one foot
 three-quarters inch = one foot
 one-half inch = one foot
 three-eighths inch = one foot
 one-quarter inch = one foot
 one-eighth inch = one foot



1 SITE/GRADING PLAN
 C202 SCALE: 1" = 10'-0"

30

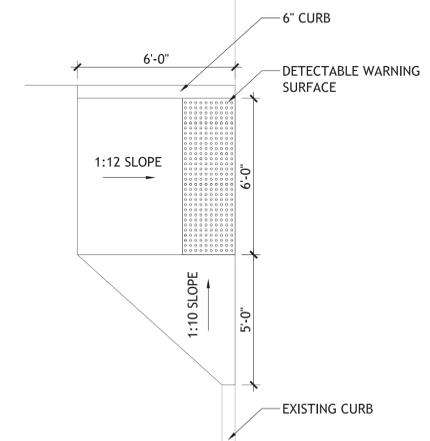
2 ADA CURB DETAIL, TYP.
 C202 SCALE: 3/8" = 1'-0"



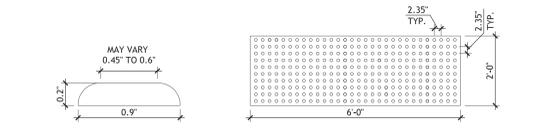
3 ADA CURB DETAIL, TYP.
 C202 SCALE: 3/8" = 1'-0"

LEGEND

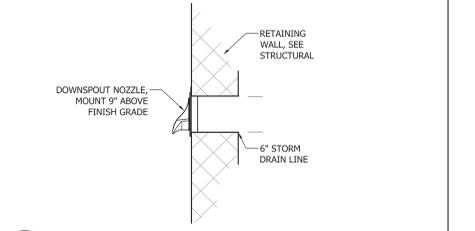
- XX.XX EXISTING ELEVATION
- XX.XX NEW FINISH GRADE ELEVATION
- FF.XX.XX NEW BUILDING SLAB ELEVATION
 *NOTE SET SLAB HIGH POINTS TO ELEVATION SHOWN AND SLOPE FLOOR TO DRAINS AS INDICATED IN ARCHITECTURAL DRAWINGS
- PS.XX.XX NEW PORCH SLAB ELEVATION
- (Tree Symbol) EXISTING SMALL TREE (REMOVED AS REQUIRED)
- (Palm Symbol) EXISTING LARGE PALM (TO REMAIN)
- (Relocated Palm Symbol) RELOCATED LARGE PALM
- (Storm Drain Symbol) EXISTING STORM DRAIN INLET
- (Sewer Clean Out Symbol) EXISTING SEWER CLEAN OUT
- (Electrical Box Symbol) EXISTING ELECTRICAL BOX
- (Light Pole Symbol) EXISTING LIGHT POLE
- (Mulch Symbol) MULCH
- (Sod Symbol) NEW SOD (CENTIPEDE)



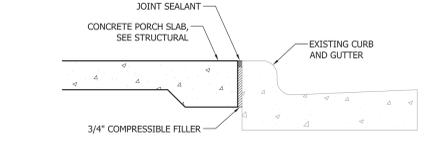
4 DETECTABLE WARNING SURFACE DETAIL
 C202 SCALE: N.T.S.



6 DOWNSPOUT NOZZLE DETAIL, TYP.
 C202 SCALE: 1" = 1'-0"



5 PORCH SLAB/CURB DETAIL
 C202 SCALE: 1" = 1'-0"



CIVIL GENERAL NOTES

1. DIMENSIONS AND CONDITIONS TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT PURPORTED TO BE CORRECT. VERIFY EXISTENCE AND LOCATION OF ALL SURFACE AND SUBSURFACE STRUCTURES, UTILITIES, DEPTHS AND INVERTS PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT IF CONDITIONS VARY FROM THOSE SHOWN.
2. ELEVATIONS ARE IN FEET, NAVD.
3. DRAIN, SEWER AND WATER LINES ARE SHOWN IN SCHEMATIC DETAIL ONLY. IT IS NOT POSSIBLE TO DETAIL EVERY OFFSET, ELBOW, TEE, WYE, ETC., THAT MAY BE REQUIRED. PROVIDE COMPLETE WORKING UTILITY SYSTEM.
4. SEE ARCHITECTURAL, PLUMBING, AND ELECTRICAL FOR CONTINUATION OF UTILITIES WITHIN 5'-0" OF BUILDINGS.
5. WHERE NOTED, REFERENCED STANDARD SPECIFICATION SHALL BE THE VA STANDARD SPECIFICATION OR THE MISSISSIPPI DOTD STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, WHICHEVER IS MORE STRINGENT.

DRAINAGE:

1. PROVIDE DRAINAGE AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE LATEST VA STANDARDS.
2. DRAIN LINES SHALL HAVE A MINIMUM OF 1'-0" COVER FROM THE TOP OF THE PIPE TO FINISHED GRADE.
3. ROUND PIPE 10" OR SMALLER IN DIAMETER SHALL BE PVC CONFORMING TO ASTM D3034 SDR 35.
4. JOINTS SHALL BE TYPE 2 WITH RUBBER GASKETS CONFORMING TO ASTM C443.

EARTHWORK:

1. SEE STRUCTURAL NOTES SUBSURFACE PREPARATION.
2. ALL CLEARING, FILLING, AND COMPACTION OPERATIONS SHALL BE ACCOMPLISHED DURING PERIODS OF DRY WEATHER ONLY. DUE CONSIDERATION SHOULD BE GIVEN TO THE SITE CONDITIONS: IN DETERMINING WHEN TO CONTINUE WORK FOLLOWING RAIN EVENTS.

PORLAND CEMENT CONCRETE:

1. WHERE NEW PAVING IS TO MEET EXISTING AT ADA CURB CUTS, PROVIDE A SAW CUT TO INSURE A STRAIGHT JOINT. SAW CUT A MINIMUM 1 1/2" DEEP. BREAK THE REMAINDER OF CONCRETE BY CONVENTIONAL MEANS WITHOUT DAMAGING CONCRETE TO REMAIN.
2. SEE STRUCTURAL FOR CONCRETE PORCH SLAB REQUIREMENTS.

SANITARY SEWER:

1. SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC CONFORMING TO ASTM D3034 SDR 35.
2. JOINING SHALL BE ACCOMPLISHED BY MEANS OF ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM 03213. GASKET MATERIALS SHALL BE SUITABLE FOR USE WITH DOMESTIC SEWERAGE AND SHALL CONFORM TO ASTM F477.

DOMESTIC WATER:

1. PROVIDE STAINLESS STEEL SADDLE TYPE TAPPING SLEEVE AND VALVE CONFORMING TO THE REQUIREMENTS OF THE VA STANDARDS. PROVIDE VALVES, BACKFLOW PREVENTER, AND OTHER FIXTURES AND STRUCTURES CONFORMING TO VA STANDARDS.
2. PROVIDE POTABLE WATER CONNECTIONS FROM MAIN TO BUILDING IN ACCORDANCE WITH VA STANDARDS.
3. FLUSH AND DISINFECT NEW WATER LINES AND AFFECTED PORTIONS OF EXISTING WATER LINES IN ACCORDANCE WITH VA STANDARDS.
4. PROVIDE CONCRETE THRUST BLOCKS AND MECHANICAL RESTRAINTS AT TEES, ELBOWS, AND OTHER CHANGES IN DIRECTION.

GRADING:

1. MAINTAIN EXISTING SITE GRADING UNLESS OTHERWISE SHOWN
2. PROVIDE A STEADY SLOPE BETWEEN GRADE ELEVATIONS SHOWN, AND FROM NEW GRADE ELEVATIONS TO EXISTING GRADE ELEVATIONS.

LANDSCAPING:

1. ALL SOD, LANDSCAPING COVER, AND LANDSCAPING BORDER TO MATCH EXISTING.
2. ALL SOD AND LANDSCAPING TO BE REPLACED AS REQUIRED AFTER CONSTRUCTION AND FINAL GRADE IS COMPLETE. CONTRACTOR MAY MAINTAIN AND LEAVE UNDISTURBED ANY EXISTING AREA TO AVOID LANDSCAPE REPLACEMENT. CONTRACTOR TO DOCUMENT EXISTING CONDITIONS TO VERIFY.
3. LARGE PALM TREES OBSTRUCTING CONSTRUCTION SHALL BE PROFESSIONALLY RELOCATED AS SHOWN.
4. ANY SMALL TREES AS NOTED ON DRAWINGS SHALL BE REMOVED AS NECESSARY FOR CONSTRUCTION.
5. INSTALL ALL NEW SPRINKLER PIPE AND HEADS TO MATCH EXISTING AS DIRECTED BY VA.

Revisions	Date

Consultants:

Seal:

A/E:
ROYAL ENGINEERS & CONSULTANTS, LLC
 4298 ELYSIAN FIELDS AVENUE
 NEW ORLEANS, LOUISIANA 70122
 www.royalengineering.net

Approved:

PROGRAM MANAGER, PROJECTS _____
 SAFETY/INDUSTRIAL HYGIENE _____
 HEALTH SYSTEM SPECIALIST _____
 MAINTENANCE SUPERVISOR _____
 MAINTENANCE FOREMAN _____
 MAINTENANCE FOREMAN _____

Drawing Title: **SITE PLAN AND LANDSCAPING PLAN**

Approved: Service Engineer _____
 Approved: Service Director _____

Project Title: **VA Gulf Coast Decontamination Unit**

Building Number: _____
 Location: **VAMC BILOXI, MS**

Date: 07/02/2015
 Project No.: 520-13-136
 Drawing No.: **C202**
 Dwg. Of _____

