

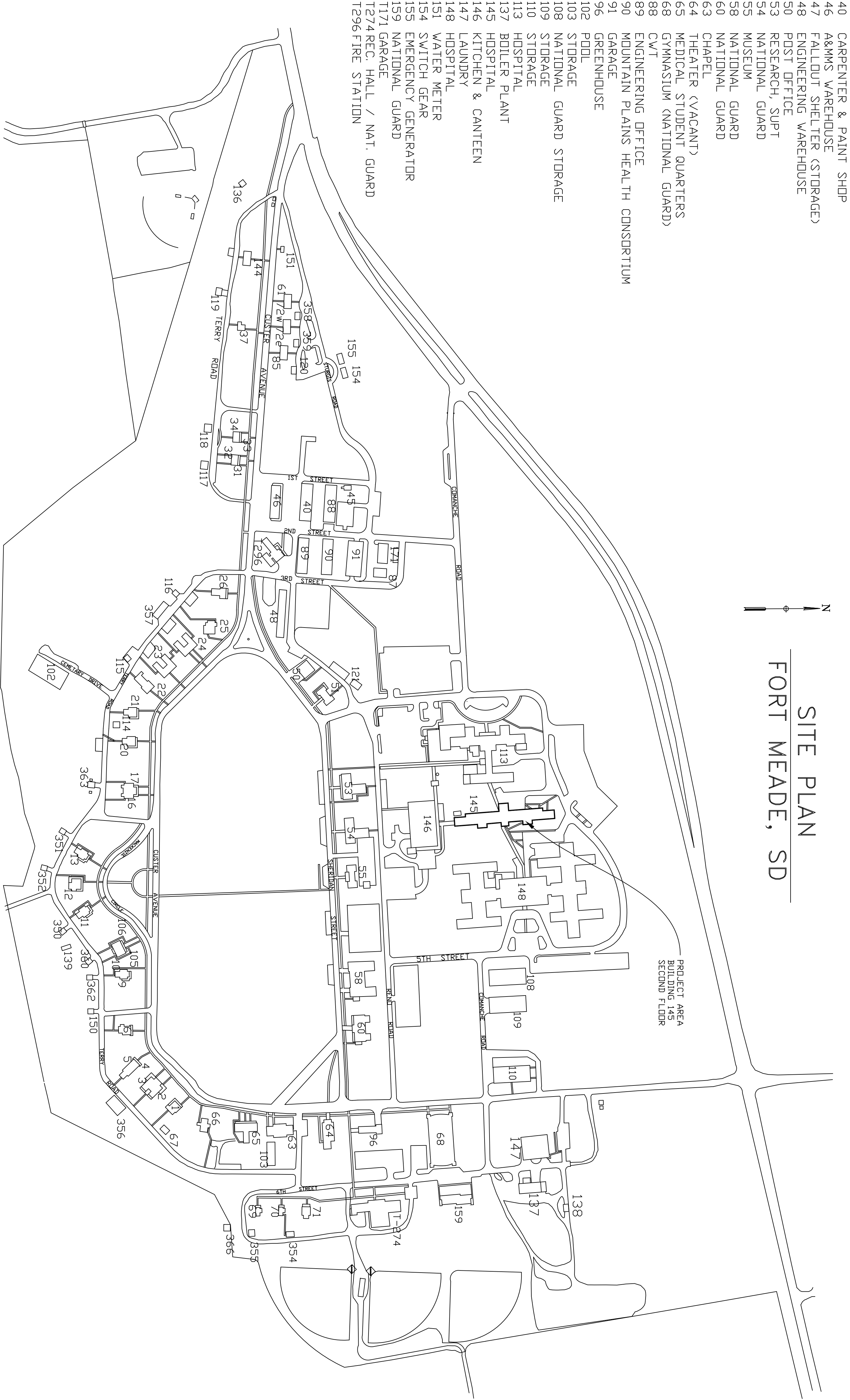
UPGRADE HALLS AND WALLS, PH 2

PROJECT 568-12-108

FORT MEADE, SD

SITE PLAN

FORT MEADE, SD



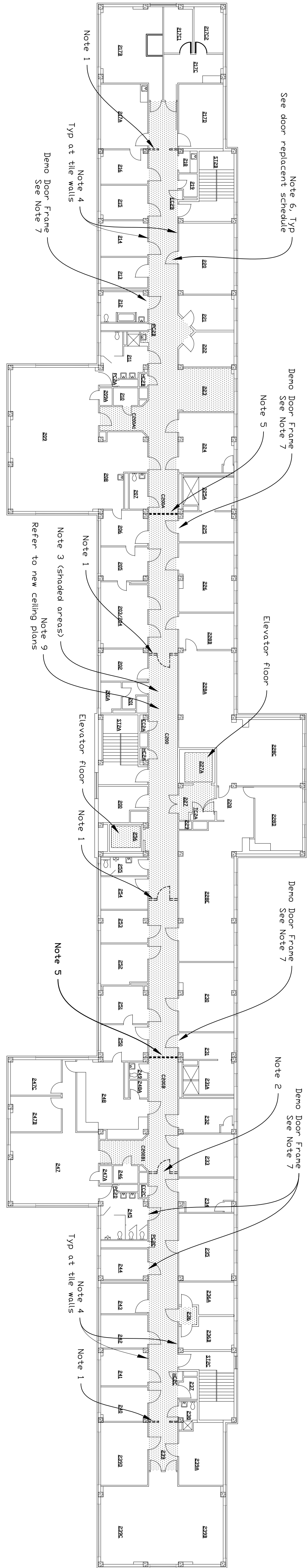
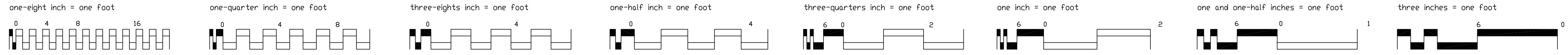
- PROJECT DESCRIPTION: 568-12-108, UPGRADE HALLS AND WALLS PHASE 2:**
1. The scope of this project consists of the replacement of interior floor, ceiling, and wall finishes in main corridors of Building 145, second floor. See individual plans, schedules and details for specific information on extent of work and new finishes in each area.
 2. Existing metal doors are to be replaced with new wood doors. See demolition plans and door schedule for additional information.
 3. VA will remove art work from walls prior to work in each area.
 4. Where existing flooring is shown to be replaced, existing floor, tile and mastic is to be removed. Contract is to include removal of existing floor, tile and mastic. The removal of existing floor, tile and mastic is to be done using mechanical methods. The use of solvents will not be allowed.
 5. Contract includes removing and replacing/re-installing all room signage in project work areas. See signage specifications for additional information.
 6. Work areas are to be planned and scheduled in advance with VA Facilities staff to minimize disruption of normal Medical Center activities. Unless specifically authorized by VA staff, all work will be accomplished during off-shift hours, between approximately 6:00 PM and 6:00 AM, Monday through Friday. Day shift work on weekends and holidays may also be permitted in some areas with prior approval. Work areas are to be cleaned up and open for traffic by 6:00 AM each day.
 7. Control of dust, fumes, smoke and debris is required at all times.
 8. Materials listed in the Materials Legend below are to describe acceptable levels of quality and desired colors and finishes. Approval of any substitutions will be made only in cases where proposed materials meet or exceed the desired characteristics.

- 40 CARPENTER & PAINT SHOP
- 46 ARM'S WAREHOUSE
- 47 FALL-OUT SHELTER (STORAGE)
- 48 ENGINEERING WAREHOUSE
- 50 POST OFFICE
- 53 RESEARCH, SUPT
- 54 NATIONAL GUARD
- 55 MUSEUM
- 58 NATIONAL GUARD
- 60 NATIONAL GUARD
- 63 CHAPEL
- 64 THEATER (VACANT)
- 65 MEDICAL STUDENT QUARTERS
- 68 GYMNASIUM (NATIONAL GUARD)
- 88 CVT
- 89 ENGINEERING OFFICE
- 90 MOUNTAIN PLAINS HEALTH CONSORTIUM
- 91 GARAGE
- 96 GREENHOUSE
- 102 POOL
- 103 STORAGE
- 108 NATIONAL GUARD STORAGE
- 109 STORAGE
- 110 STORAGE
- 113 HOSPITAL
- 137 BOTTLER PLANT
- 145 HOSPITAL
- 146 KITCHEN & CANTEEN
- 147 LAUNDRY
- 148 HOSPITAL
- 151 WATER METER
- 154 SWITCH GEAR
- 155 EMERGENCY GENERATOR
- 159 NATIONAL GUARD
- 171 GARAGE
- 1724 REC. HALL / NAT. GUARD
- 1796 FIRE STATION

INDEX OF DRAWINGS:

- 1 SITE LOCATION PLAN AND DRAWING INDEX
- 2 DEMOLITION PLANS
- 3 FLOOR FINISH REPLACEMENT PLAN
- 4 WALL FINISH REPLACEMENT PLAN AND DETAILS
- 5 CEILING REPLACEMENT PLANS

Revisions		10-12-12
Drawing Title		Project Title
SITE LOCATION PLAN AND DRAWING INDEX		UPGRADE HALLS AND WALLS PHASE 2
Approved Division Chief		Building Number
145		145
Approved Service Director		Location
FORT MEADE, SD		FORT MEADE, SD
Date		2/2012
Project No.		568-12-108
DRAWING NO.		DWG 1



DEMOLITION PLAN SECOND FLOOR BUILDING #145

Scale 1/16" = 1'-0"

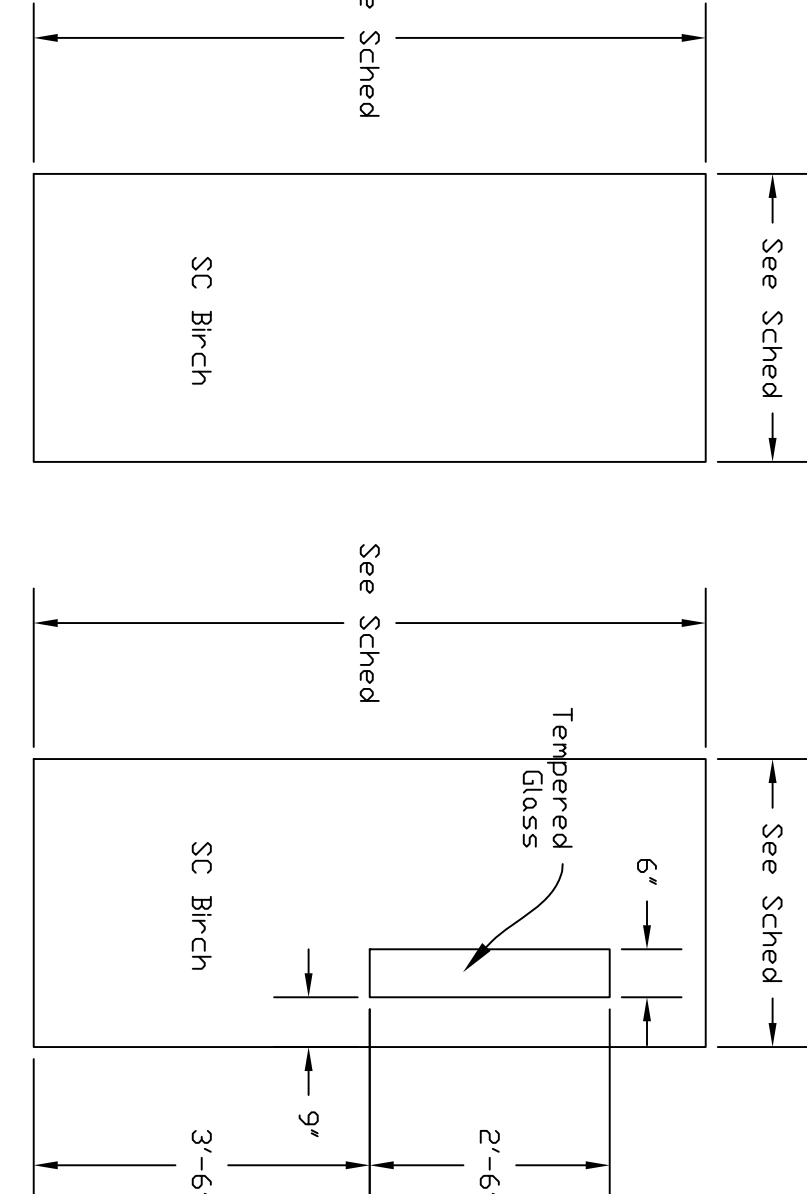
DEMOLITION SPECIFIC NOTES:

- Remove existing glass and mastic from door frames and doors (if present) where noted on plans. Patch existing walls and floor as required to prepare for new finishes.
- Remove existing glass and mastic from door frames and doors (if present) where noted on plans. Patch existing walls and floor as required to prepare for new finishes.
- Remove existing floor tile and mastic and prepare for new finish flooring. See abatement note below. See new floor finish plans for exact extent of removal.
- Remove existing floor tile and mastic and prepare for new finish flooring. See abatement note below. See new floor finish plans for exact extent of removal.
- Remove existing floor expansion joint cover plates where indicated and prepare substrate for installation of new expansion joint covers. Wall expansion covers are to be finished to match adjacent walls and re-used.
- Remove existing floor expansion joint cover plates where indicated and prepare substrate for installation of new expansion joint covers. Wall expansion covers are to be finished to match adjacent walls and re-used.
- Wherever existing doors and hardware are indicated to be replaced, replace them with new HM frames. See door schedule and notes on plans above for location of frame replacements. Cut out portion of existing wall as needed to allow for installation of new frames.
- Prepare existing suspended ceiling tile and grid wherever new ceiling is to be installed. Refer to new ceiling plans for extent of work. Temporarily support existing mechanical and electrical items until existing lighted exit signs which are not shown to be re-installed are to be removed and turned over to VA. Refer to ceiling plans on sheet 5.
- Prepare existing suspended ceiling tile and grid wherever new ceiling is to be installed. Refer to new ceiling plans for extent of work. Temporarily support existing mechanical and electrical items until existing lighted exit signs which are not shown to be re-installed are to be removed and turned over to VA. Refer to ceiling plans on sheet 5.

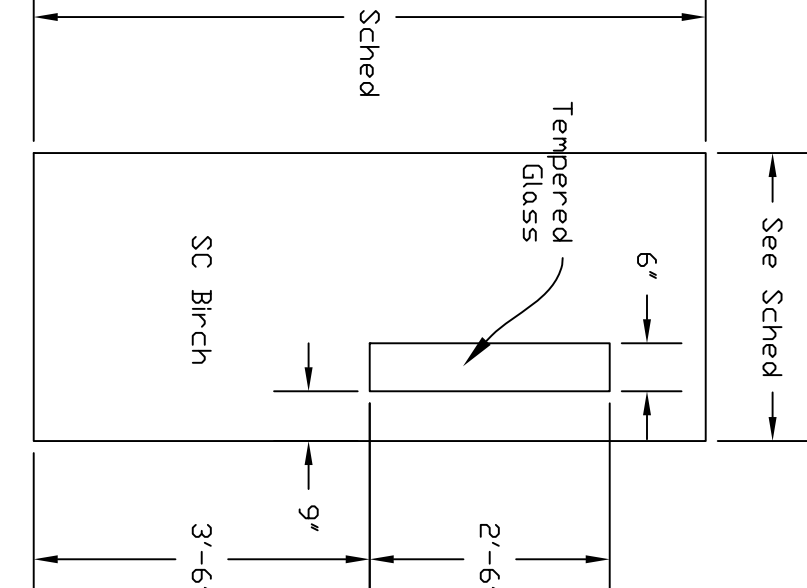
ABATEMENT OF FLOOR TILE AND MASTIC:

1. The VA has had representative samples of tile and mastic materials from Bldg. 145 tested by a certified laboratory. Some samples have tested positive (cover 12) for asbestos materials. Tile and mastic removal will be required to be performed by an asbestos abatement contractor licensed in the state of South Dakota. The contractor will be required to perform continuous air monitoring in the work area and to provide a written report of the results of the air monitoring. Use of solvents for mastic removal will not be allowed.

DOOR TYPE 1



DOOR TYPE 2

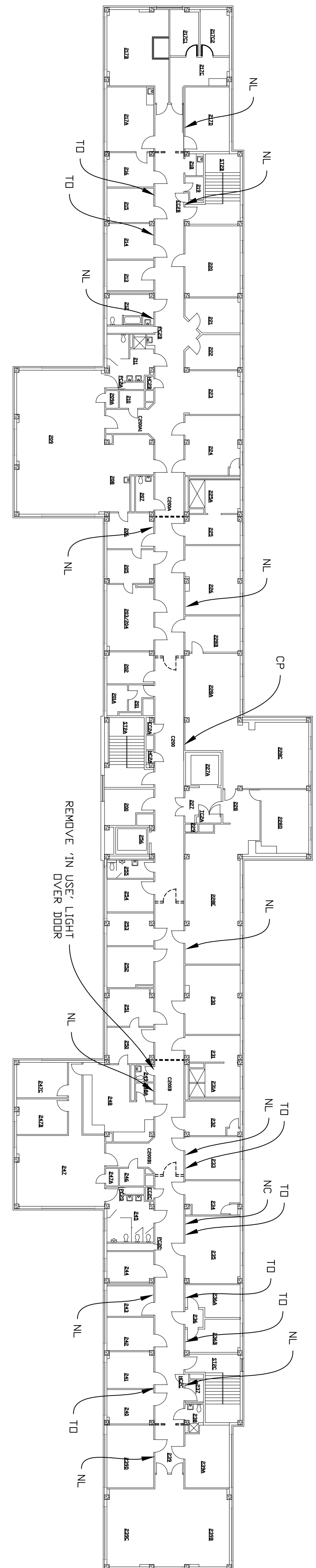


LOCKSET FUNCTIONS FOR NEW DOORS (BEST, ALL LEVER HANDLE TYPES)
1 - Entrance Variety Series, 93K/ABSD-SIK-656
2 - Stairroom Variety Series, 93K/ABSD-SIK-656
4 - Privacy, 93K/ABSD-SIK-656

Room #	Door width	Door Ht	Thickness	Type	Lockset Function	Comments
200	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
201	36"	7'-0"	1 3/4"	Type 1	2	See Note 1
202	36"	7'-0"	1 3/4"	Type 1	3	See Note 1
203	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
204	36"	7'-0"	1 3/4"	Type 1	2	See Note 1
205	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
206	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
207	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
208	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
209	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
210	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
211	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
212	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
213	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
214	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
215	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
216	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
217	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
218	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
219	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
220	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
221	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
222	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
223	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
224	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
225	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
226	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
227	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
228	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
229	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
230	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
231	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
232	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
233	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
234	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
235	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
236	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
237	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
238	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
239	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
240	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
241	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
242	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
243	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
244	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
245	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
246	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
247	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
248	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
249	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
250	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
251	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
252	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
253	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
254	36"	7'-0"	1 3/4"	Type 1	1	See Note 1
255	36"	7'-0"	1 3/4"	Type 1	1	See Note 1

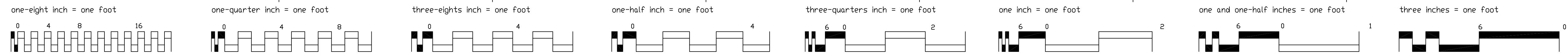
DEMOLITION LEGEND:
NL - EXISTING RECESSED WALL MOUNTED NIGHT LIGHT TO BE REMOVED
TO - EXISTING OBSOLETE TELECAST OUTLET TO BE REMOVED
NC - EXISTING NURSE CALL DEVICE TO BE REMOVED

SECOND FLOOR BUILDING #145
DEMOLITION OF MISCELLANEOUS ELECTRICAL ITEMS
SEE DEMOLITION NOTE 8



Drawing Title		Project Title		Date
SECOND FLOOR DEMOLITION PLANS		UPGRADE HALLS AND WALLS PHASE 2		2/2012
Approved Division Chief	Building Number	Checked	Drawn	Project No.
	145	NH	SW	568-12-108
Approved Service Director	Location	FORT MEADE, SD		Dwg 2 of 5

Department of
Veterans Affairs



Revisions	Date

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Department of Veterans Affairs

VA FORM 86-223, FEB 1993

USE PREVIOUS EDITIONS

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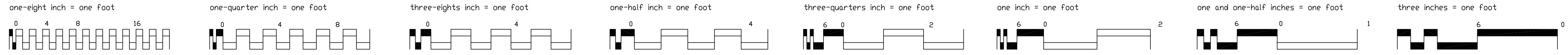
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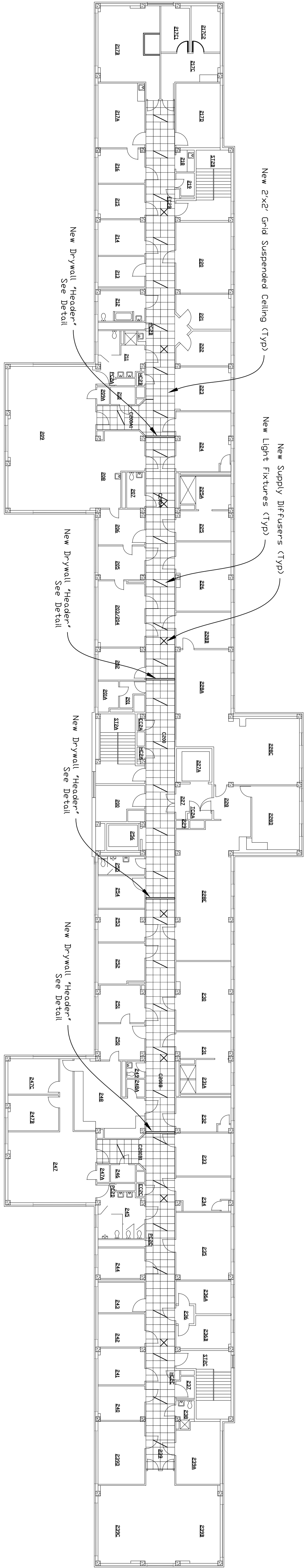
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- CEILING GENERAL NOTES:**
- Construct new drywall headers in 4 locations. Paint to match adjacent wall finish. Refer to ceiling plan for locations. See detail. This sheet shows on ceiling plan. See specifications. New ceiling height approx. 8'-6".
 - Install new suspended grid ceiling as shown on ceiling plan. See specifications. New ceiling height approx. 8'-6".
 - Furnish and install new lay-in light fixtures and switching. See additional electrical information below.
 - Re-install existing ceiling mounted signage and mirrors. See additional information below.
 - Re-install existing PA speakers, fire alarm speakers, call lights, exit signs, smoke detectors, and fire protection heads into new ceiling. Make height and location adjustments as necessary. See additional information below.

MECHANICAL AND ELECTRICAL NOTES:

- New 2'x4' light fixtures are to be recessed grid, 2-F-32-18 lamps, single high efficiency ballast.
- New 2'x4' light fixtures are to be recessed grid, 2-F-32-18 lamps, single high efficiency ballast, with lighted exit signs. Old emergency switching arrangement between egress lights and night lights (to be removed) is to be abandoned; remove old switches in rooms 208 and 248, and install blank covers.
- Remove old light fixtures, remove old emergency switching arrangement between egress lights and night lights (to be removed) is to be abandoned; remove old switches in rooms 208 and 248, and install blank covers.
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**NEW CEILING PLAN
SECOND FLOOR BUILDING #145**

Scale 1/16" = 1'-0"

