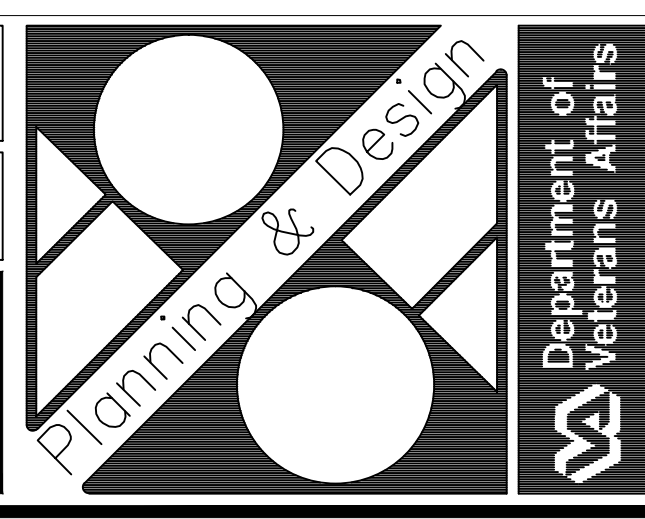
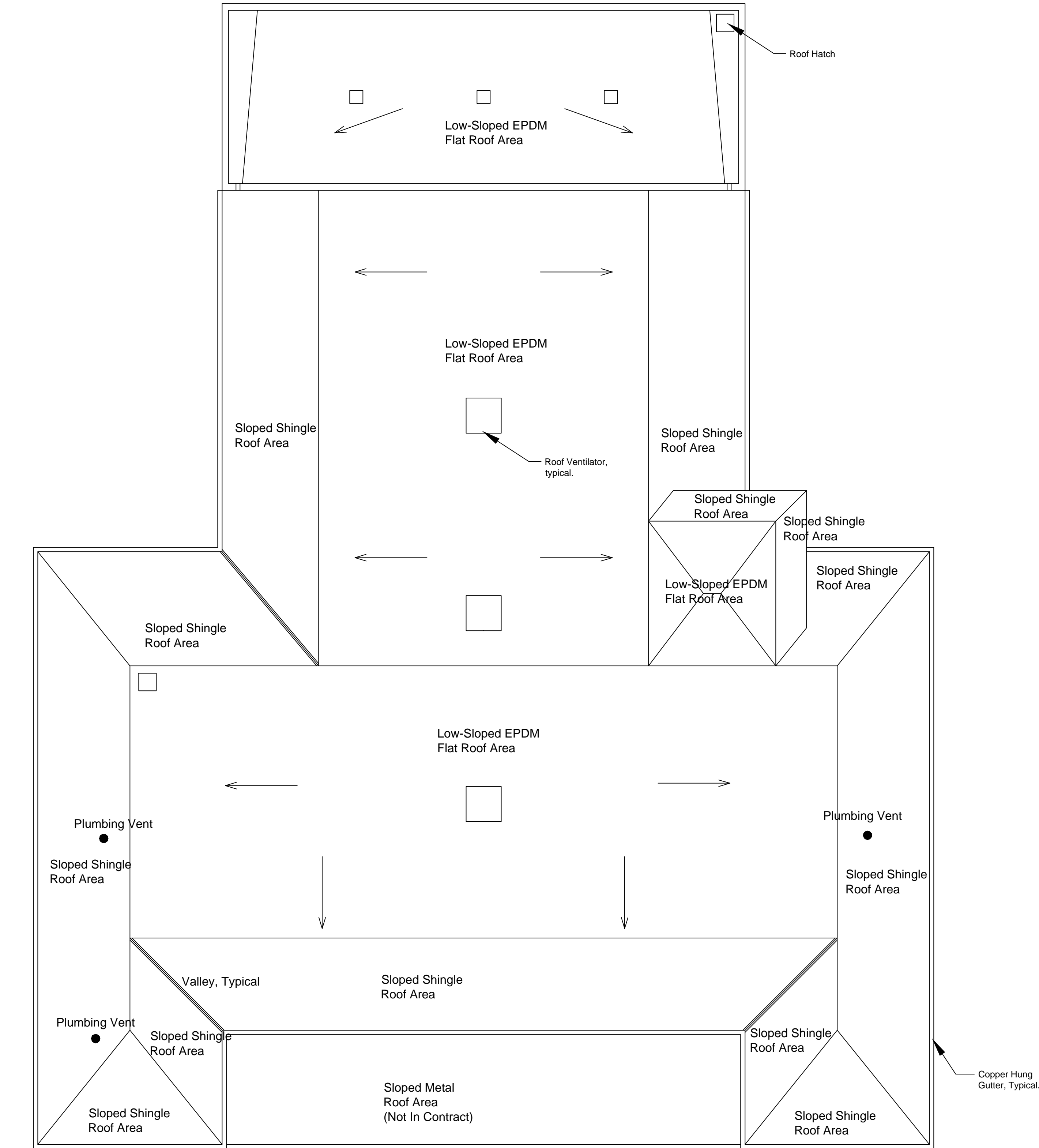


General Construction Notes

1. All site visits shall be as specified in the Contract Documents.
2. The Contractor shall verify all dimensions and field conditions at the job site.
3. The Contractor shall perform all work as required by OSHA Standards including OSHA Safety and Health Standards and 29CFR 1926/1910. The Contractor shall be responsible for providing all equipment necessary.
4. The Contractor shall install snow fencing or equivalent around the area directly below the work area. Size of fenced area will be determined by space needed and space available.
5. The Contractor shall repair/replace anything damaged by their employees at no cost to the Government.
6. The Contractor shall place 6 mil poly at the base of the building to prevent debris from falling into the existing grass and shrubs. All debris shall be removed from around the building at the end of each work day, stored at the Contractor's storage area, near Engineering Area, until removed from the job site by the Contractor.
7. The Contractor shall be responsible for keeping debris out of the gutters, downspouts and conductors. At the conclusion of all work, the Contractor shall demonstrate to the COTR that water will flow & drain through the entire system without any leaks or overflows.
8. Construction details not shown shall follow NRCA (National Roofing Contractors Association) and/or SMACNA (Sheet Metal and Air Conditioning Contractors National Association).

Drawing Title	Project Title	Date	
Cover Sheet, Misc. Details & Sections	EMERGENCY ROOF REPAIRS	FEB. 24, 2012	
Approved: Assistant Chief, Engineering	Building Number	Project No. 538-12-110	
Approved: Chief, Engineering	Checked	DRAWING NO. 2012-1.1	
	Location	Dwg. 1 Of 5	Department of Veterans Affairs

three inches = one foot
one and one-half inches = one foot
one inch = one foot
three quarters inch = one foot
one-half inch = one foot
three-eighths inch = one foot
one-quarter inch = one foot
one-eighth inch = one foot



- ### Building 9 Construction Notes
1. Remove existing EPDM roof systems. Install new EPDM roof system, including insulation and flashing. Install tapered insulation as necessary to promote drainage.
 2. Remove all copper flashing at wall intersections. Install new ice & water shield underlayment and new copper flashing.
 3. Install EPDM up parapet wall, over stone caps and install mil finish aluminum cap over stone caps (west roof only).
 4. Install new flashing at intersection of shingle roof and EPDM roof.

Construction Notes

1. All site visits shall be as specified in the Contract Documents.
2. The Contractor shall verify all dimensions and field conditions at the job site.
3. The Contractor shall perform all work as required by OSHA Standards including OSHA Safety and Health Standards and 29CFR 1926/1910. The Contractor shall be responsible for providing all equipment necessary.
4. The Contractor shall install snow fencing or equivalent around the area directly below the work area. Size of fenced area will be determined by space needed and space available.
5. The Contractor shall repair/replace anything damaged by their employees at no cost to the Government.

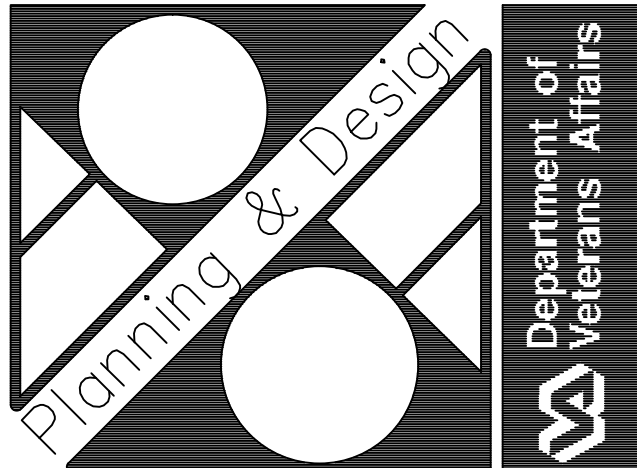
6. The Contractor shall place 6 mil poly at the base of the building to prevent debris from falling into the existing grass and shrubs. All debris shall be removed from around the building at the end of each work day, stored at the Contractor's storage area, near Engineering Area, until removed from the job site by the Contractor.
7. The Contractor shall be responsible for keeping debris out of the gutters, downspouts and conductors. At the conclusion of all work, the Contractor shall demonstrate to the COTR that water will flow & drain through the entire system without any leaks or overflows.
8. The Contractor shall replace existing copper valleys, roof flashing, built-in gutters and downspouts with new copper valleys, roof flashing, built-in gutters and downspouts as shown and specified.

Revision #1	1-5-11
Revisions	Date

Approved: Assistant Chief, Engineering
Approved: Chief, Engineering

Building Number 9	Checked	Drawn B. Ford
Location		

Date FEB. 24, 2012
Project No. 538-12-110
DRAWING NO. 2012-1.2
Dwg. 2 of 5



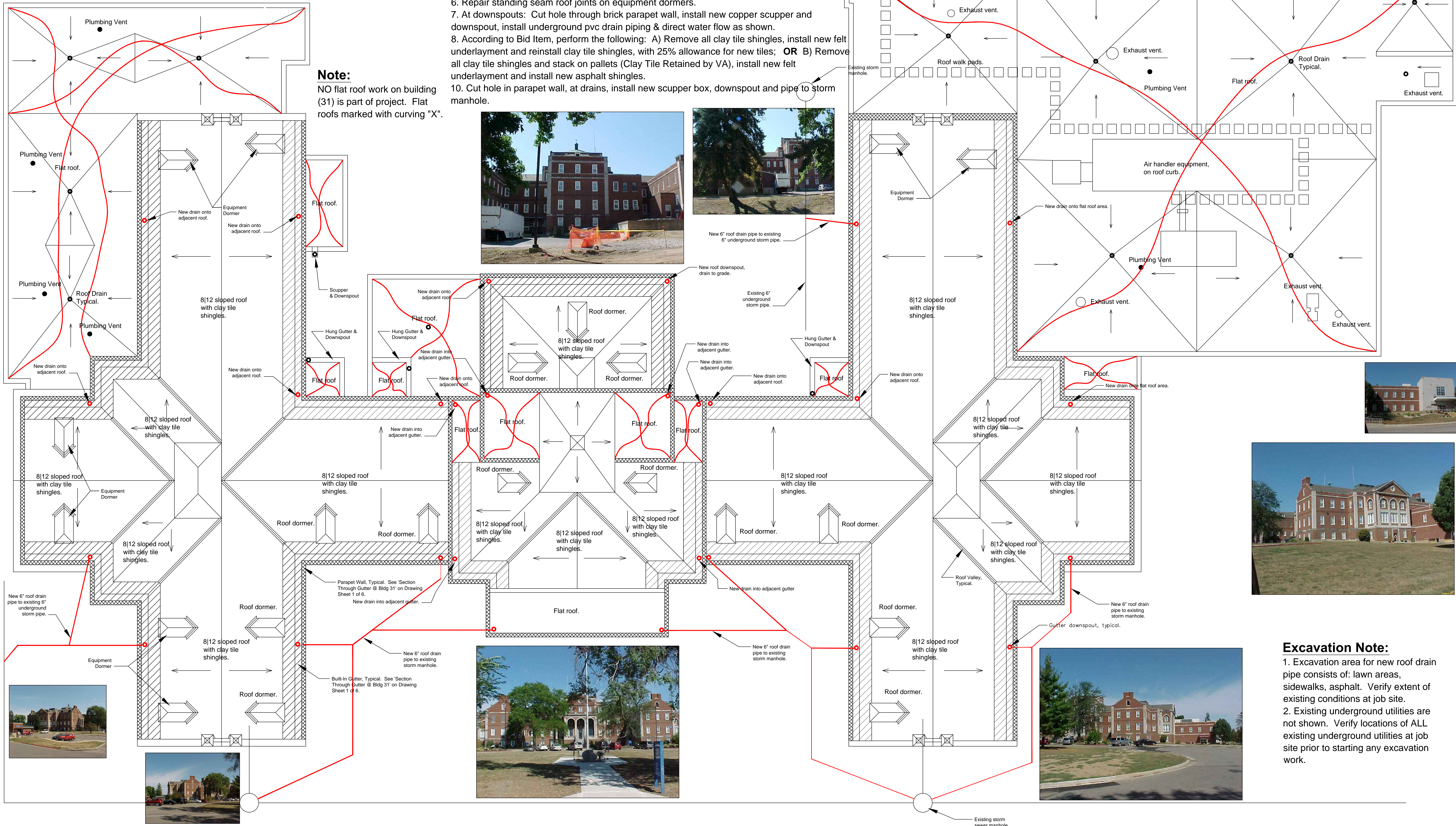


Building 31 Construction Notes

1. Remove all clay tile shingles and felt underlayment as necessary and remove all copper valley metal and all step flashing and felt underlayment.
2. Install new ice & water shield underlayment, copper valley metal and step flashing. Install new felt underlayment and reinstall clay tile shingles. Include 25% new clay tile shingles for replacement of missing and broken tiles.
3. Remove all built-in gutter copper liner and ice & water shield underlayment. Install new ice & water shield underlayment and copper gutter liner. New gutter drops to be properly sealed into existing downspout piping.
4. Tuck point existing parapet walls. Apply waterproof sealer to parapet walls as specified. Include replacement of 25 brick masonry units in project bid.
5. Tuck point parapet wall stone cap joints. Apply waterproof sealer to stone caps as specified.
6. Repair standing seam roof joints on equipment dormers.
7. At downspouts: Cut hole through brick parapet wall, install new copper scupper and downspout, install underground pvc drain piping & direct water flow as shown.
8. According to Bid Item, perform the following: A) Remove all clay tile shingles, install new felt underlayment and reinstall clay tile shingles, with 25% allowance for new tiles; **OR B) Remove all clay tile shingles and stack on pallets (Clay Tile Retained by VA), install new felt underlayment and install new asphalt shingles.**
10. Cut hole in parapet wall, at drains, install new scupper box, downspout and pipe to storm manhole.

Note:

NO flat roof work on building (31) is part of project. Flat roofs marked with curving "X".



Excavation Note:

1. Excavation area for new roof drain pipe consists of: lawn areas, sidewalks, asphalt. Verify extent of existing conditions at job site.
2. Existing underground utilities are not shown. Verify locations of ALL existing underground utilities at job site prior to starting any excavation work.

Construction Notes

1. All site visits shall be as specified in the Contract Documents.
2. The Contractor shall verify all dimensions and field conditions at the job site.
3. The Contractor shall perform all work as required by OSHA Standards including OSHA Safety and Health Standards and 29CFR 1926/1910. The Contractor shall be responsible for providing all equipment necessary.
4. The Contractor shall install snow fencing or equivalent around the area directly below the work area. Size of fenced area will be determined by space needed and space available.
5. The Contractor shall repair/replace anything damaged by their employees at no cost to the Government.

6. The Contractor shall place 6 mil poly at the base of the building to prevent debris from falling into the existing grass and shrubs. All debris shall be removed from around the building at the end of each work day, stored at the Contractor's storage area, near Engineering Area, until removed from the job site by the Contractor.
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8. The Contractor shall replace existing copper valleys, roof flashing, built-in gutters and downspouts with new copper valleys, roof flashing, built-in gutters and downspouts as shown and specified.

Roof Plan Drawing Scale: 1/8"=1'-0" (30"x42" Drawing Sheet)

Drawing Title

ROOF PLAN BUILDING 31

Approved: Assistant Chief, Engineering

Approved: Chief, Engineering

Project Title

EMERGENCY ROOF REPAIRS

Building Number

31

Checked

Drawn

B. Ford

Location

Date

FEB. 24, 2012

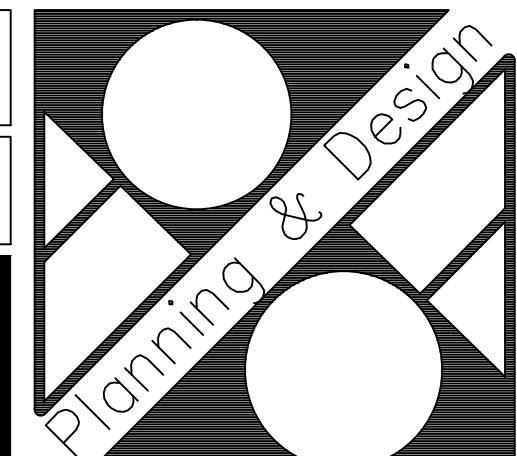
Project No.

538-12-110

DRAWING NO.

2012-1.3

Dwg. 3 of 5



Revision #2 (Drains for Small Flat Roofs)

Revision #1

Revisions

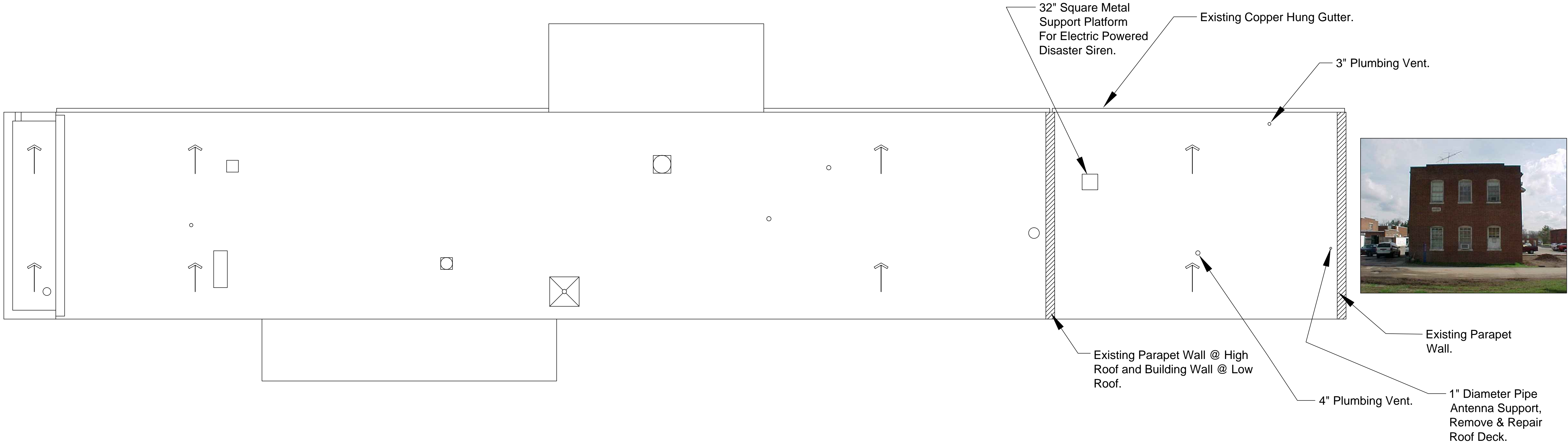
1-13-11

1-5-11

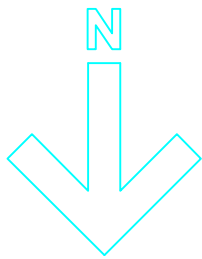
Date

Building 21 Construction Notes

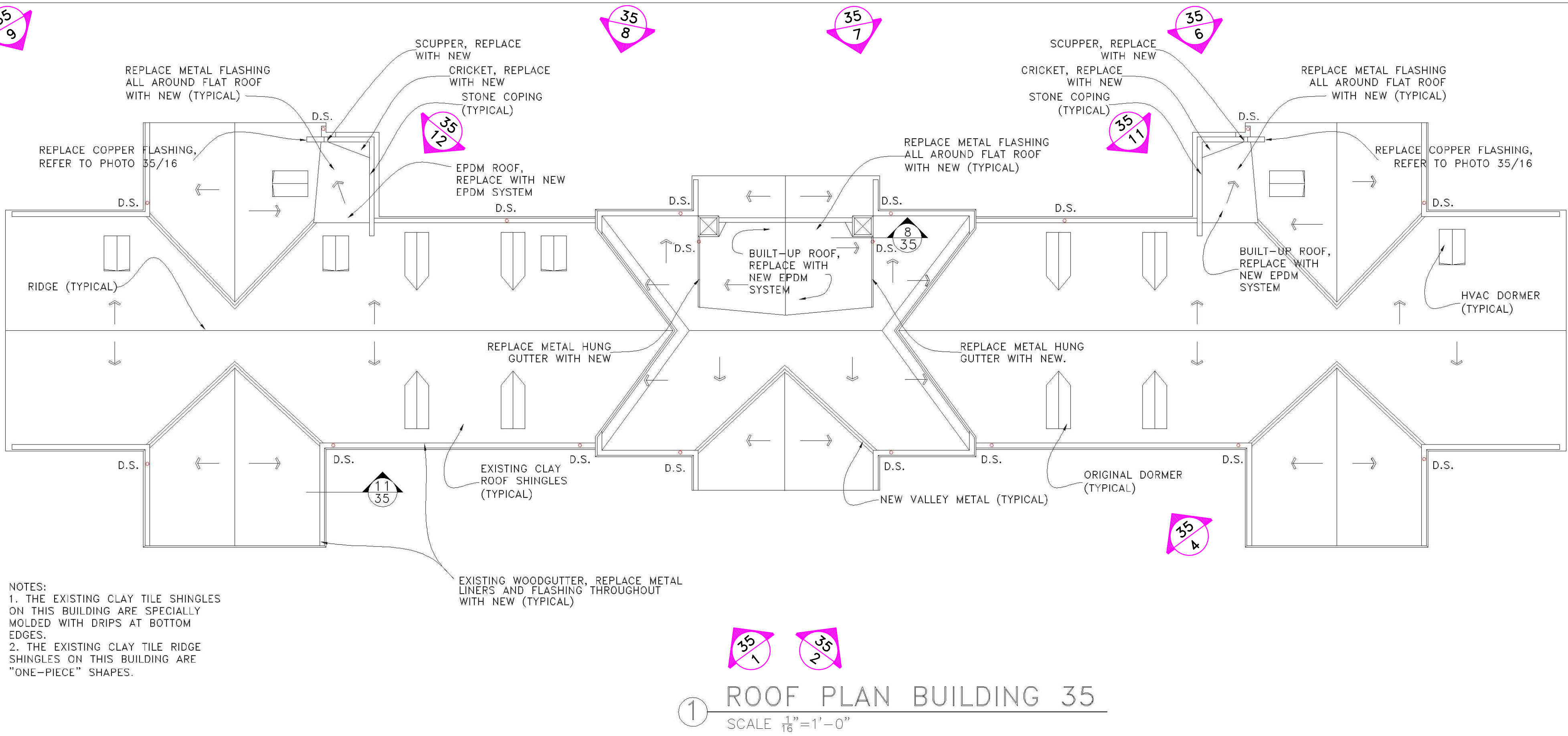
- 1. Tuck point parapet walls at west high roof. Apply waterproofing on same areas.
- 2. Install EPDM flashing from existing EPDM termination bar up and over existing stone capped parapet walls at west high roof.
- 3. Install mill finish aluminum flashing cap on existing stone capped parapet walls at west high roof.



ROOF PLAN BUILDING 21
SCALE 1/8"=1'-0"



Revisions		Date		<div>Construction Notes</div> <div>1. All site visits shall be as specified in the Contract Documents.</div> <div>2. The Contractor shall verify all dimensions and field conditions at the job site.</div> <div>3. The Contractor shall perform all work as required by OSHA Standards including OSHA Safety and Health Standards and 29CFR 1926/1910. The Contractor shall be responsible for providing all equipment necessary.</div> <div>4. The Contractor shall install snow fencing or equivalent around the area directly below the work area. Size of fenced area will be determined by space needed and space available.</div> <div>5. The Contractor shall repair/replace anything damaged by their employees at no cost to the Government.</div>		<div>6. The Contractor shall place 6 mil poly at the base of the building to prevent debris from falling into the existing grass and shrubs. All debris shall be removed from around the building at the end of each work day, stored at the Contractor's storage area, near Engineering Area, until removed from the job site by the Contractor.</div> <div>7. The Contractor shall be responsible for keeping debris out of the gutters, downspouts and conductors. At the conclusion of all work, the Contractor shall demonstrate to the COTR that water will flow & drain through the entire system without any leaks or overflows.</div> <div>8. The Contractor shall replace existing copper valleys, roof flashing, built-in gutters and downspouts with new copper valleys, roof flashing, built-in gutters and downspouts as shown and specified.</div>		Drawing Title		Project Title		Date		<div><div></div></div> <div>Planning & Design</div> <div>Department of Veterans Affairs</div>			
								ROOF PLAN BUILDING 21		EMERGENCY ROOF REPAIRS		FEB. 24, 2012					
								Approved: Assistant Chief, Engineering		Building Number 21		Checked		Drawn B. Ford		Project No. 538-12-110	
								Approved: Chief, Engineering		Location				DRAWING NO. 2012-1.4		Dwg. 4 of 5	



1 ROOF PLAN BUILDING 35
Scale 1/16" = 1'-0"

Building 35 Construction Notes

1. Remove clay tile shingles and felt underlayment as necessary and remove all copper valley metal, step flashing, etc, and felt underlayment, around ALL dormers.
2. Install new ice & water shield underlayment, copper valley metal, step flashing, etc, around ALL dormers. Install new felt underlayment and reinstall clay tile shingles. Include 25% new clay tile shingles for replacement of missing and broken tiles.
3. Repair standing seam roof joints on equipment dormers.



Photo 35/12



Photo 35/7



Photo 35/8



Photo 35/9



Photo 35/11



Photo 35/1



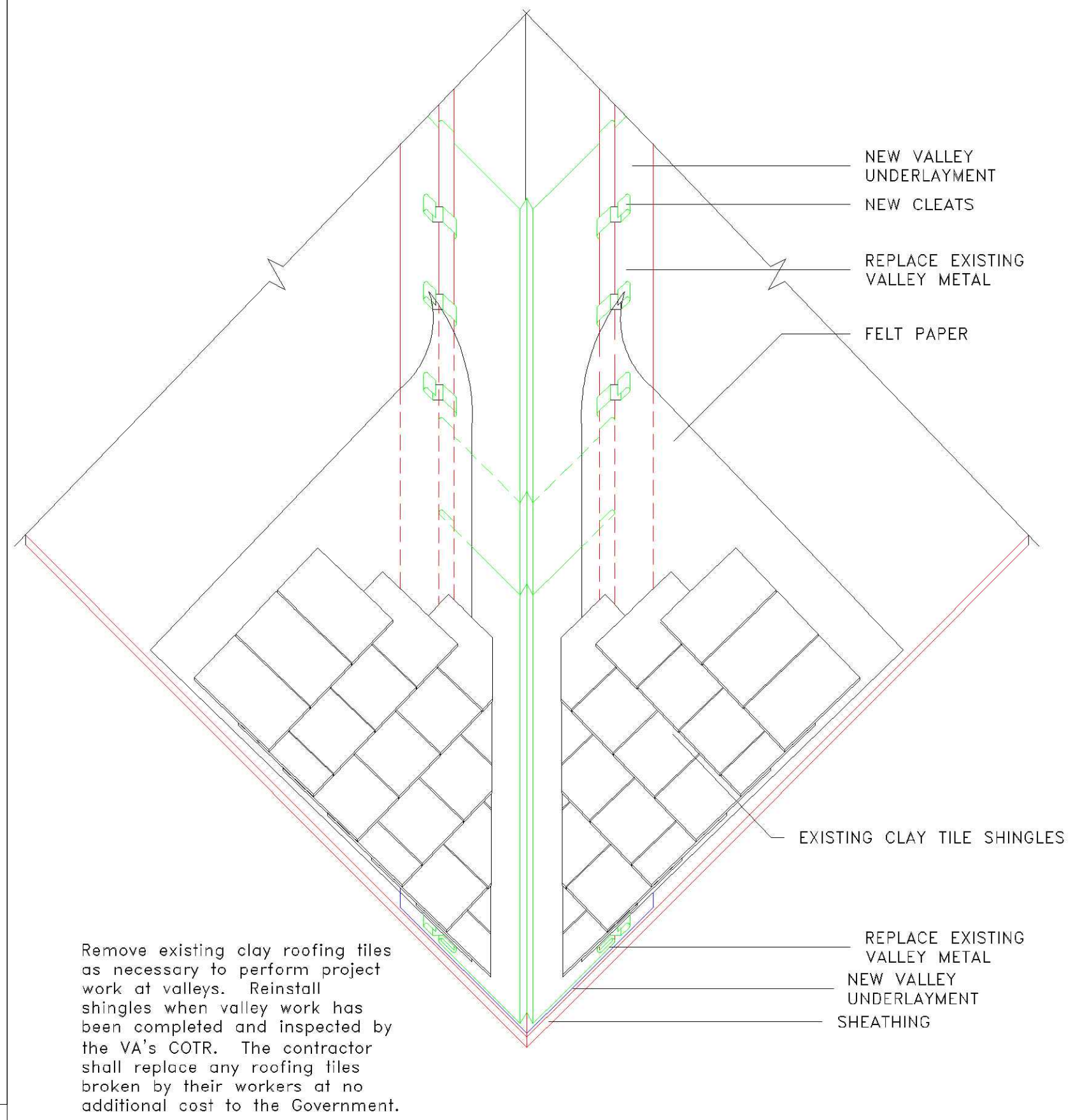
Photo 35/2



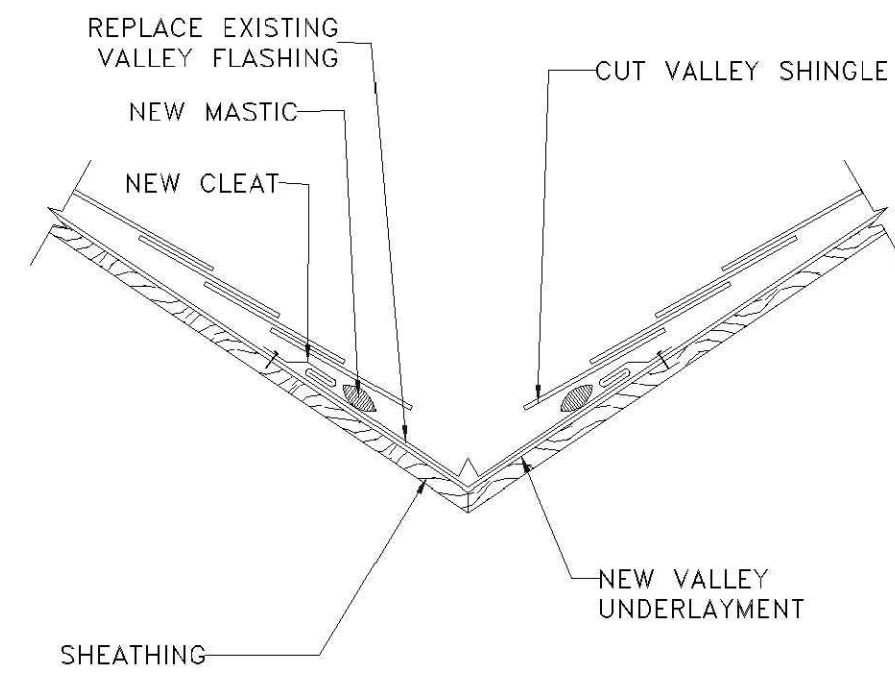
Photo 35/4



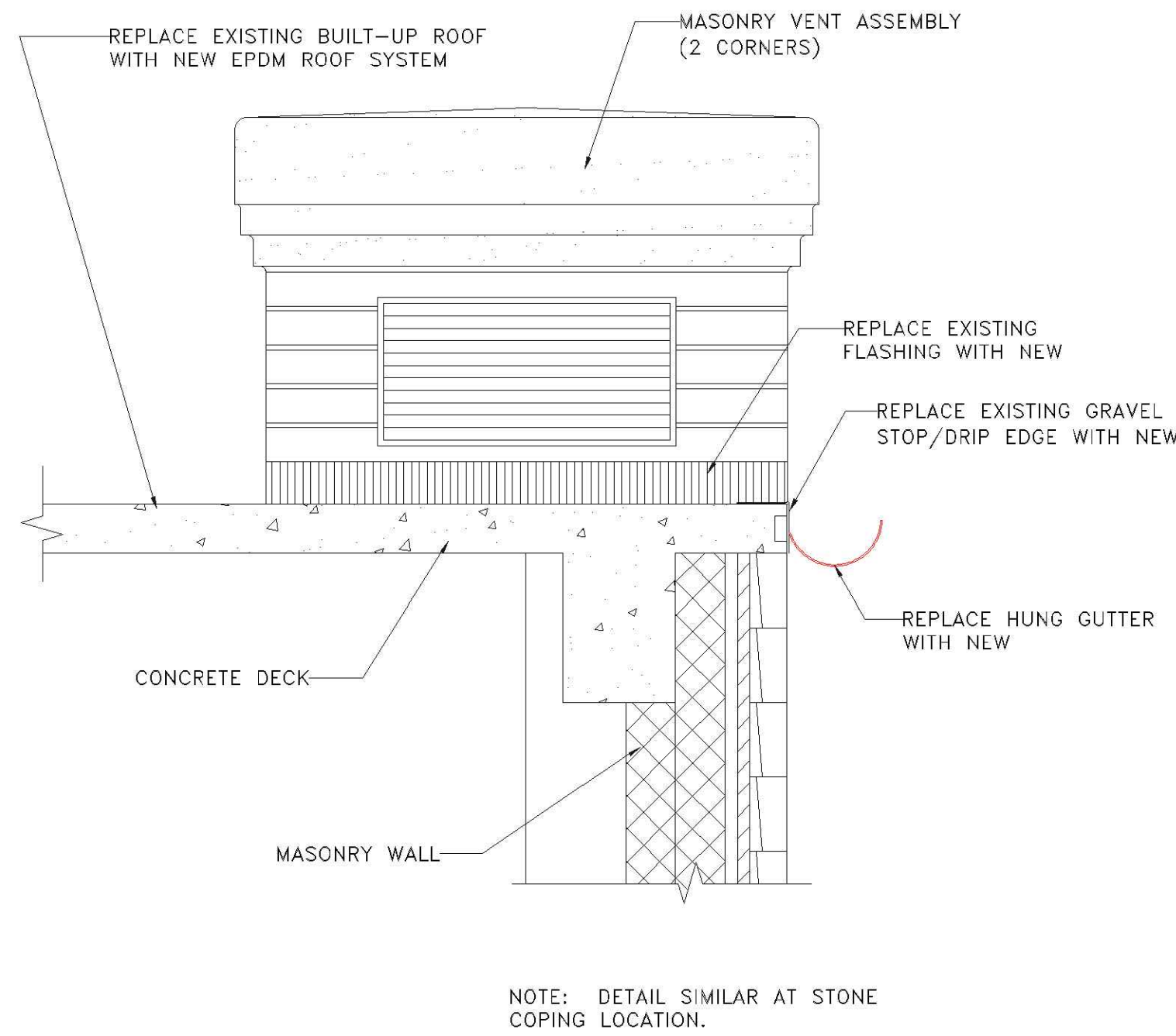
Photo 35/6



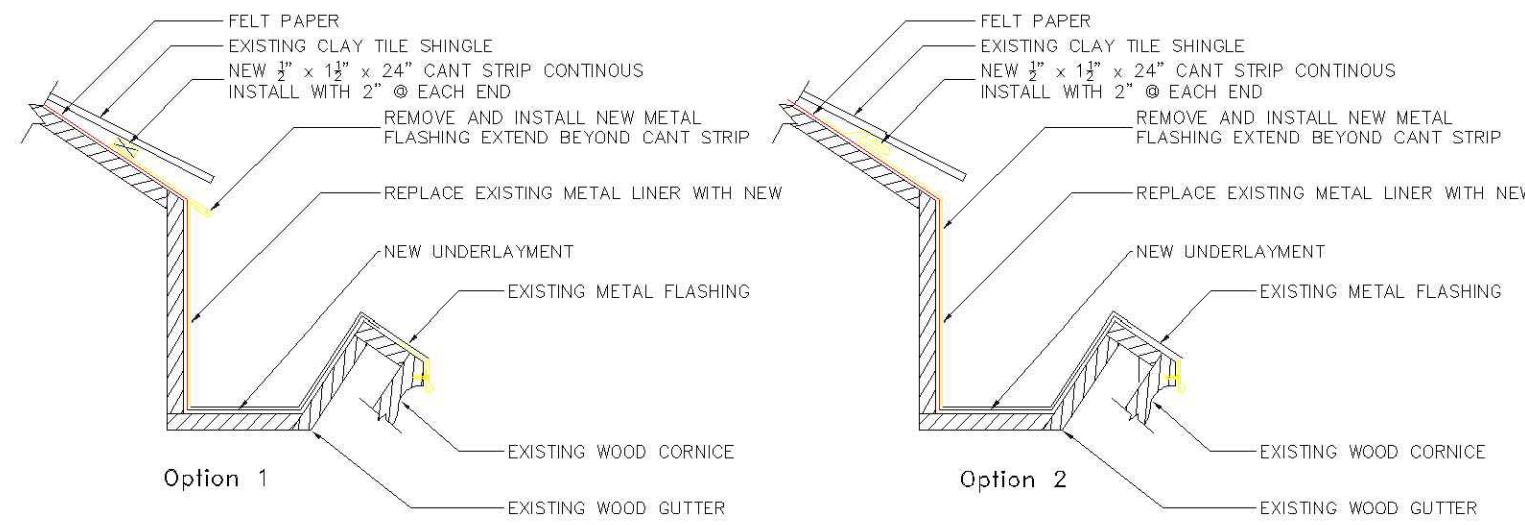
6 TYPICAL VALLEY W/METAL FLASHING
Scale 1" = 1'-0"



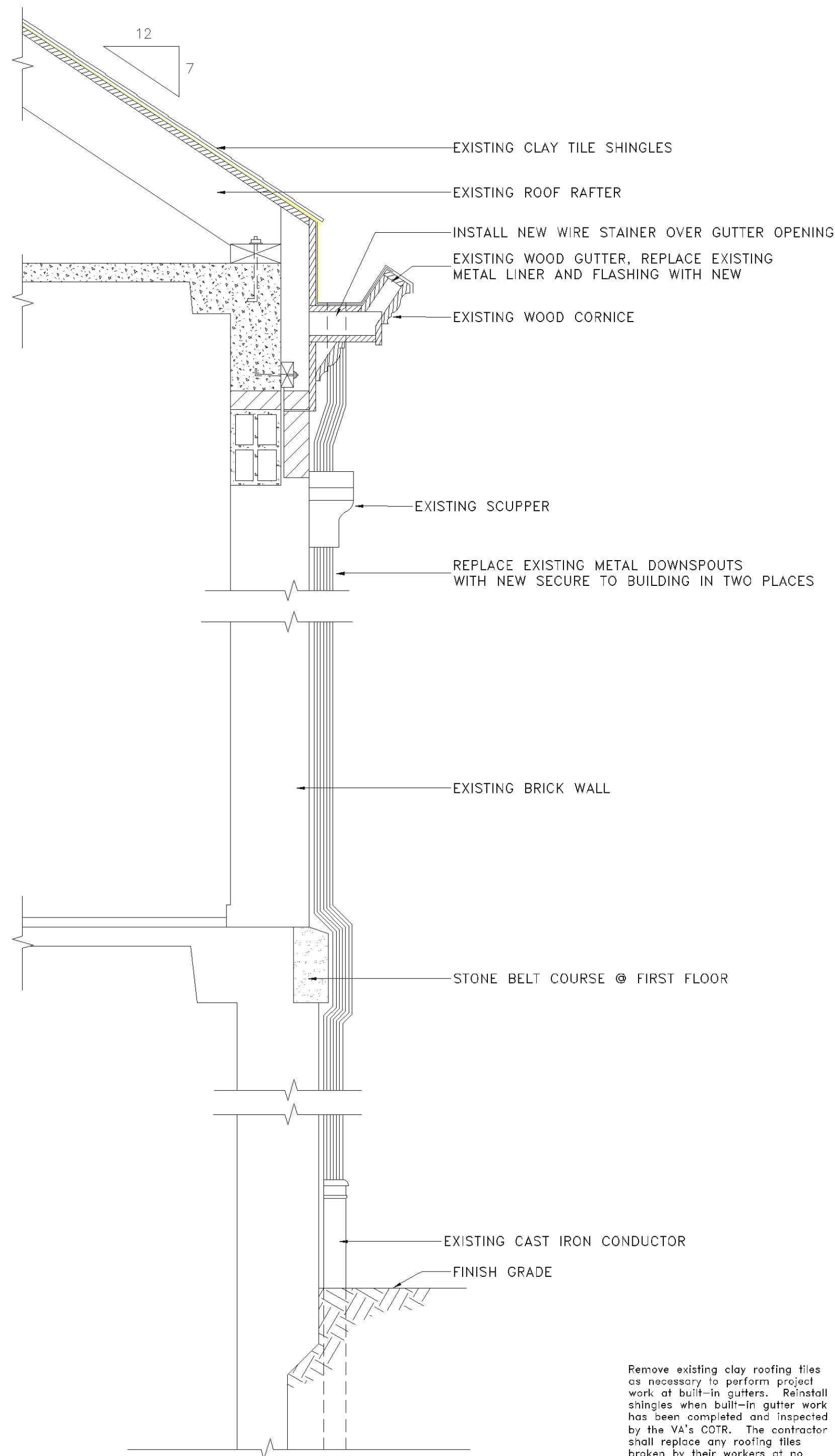
7 SECTION THROUGH VALLEY
Scale 1" = 1'-0"



8 TYPICAL FLAT ROOF SECTION
Scale 1" = 1'-0"



10 GUTTER AND FLASHING DETAIL
Scale 1 1/2" = 1'-0"



11 SECTION THROUGH GUTTER
Scale 3/4" = 1'-0"

Revisions	Date

Construction Notes

1. All site visits shall be as specified in the Contract Documents.
2. The Contractor shall verify all dimensions and field conditions at the job site.
3. The Contractor shall perform all work as required by OSHA Standards including OSHA Safety and Health Standards and 29CFR 1926/1910. The Contractor shall be responsible for providing all equipment necessary.
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8. The Contractor shall replace existing copper valleys, roof flashing, built-in gutters and downspouts with new copper valleys, roof flashing, built-in gutters and downspouts as shown and specified.

Building# 35
Photo# 2

Reference Photograph
With Approximate
Direction of Sight or
Location Shown

Building# 35
Photo# 2

Drawing Title	
ROOF PLAN, BUILDING ELEVATIONS, MISC. DETAILS & SECTIONS AND PROJECT NOTES	
Approved: Assistant Chief, Engineering	
Approved: Chief, Engineering	

Project Title	
Emergency Roofs Repairs	
Building Number	35
Location	

Date	FEB 24, 2012
Project No.	538-12-104
DRAWING NO.	2012-1.5
Dwg. 5 of 5	

