

CORRECT MECHANICAL DEFICIENCIES

BUILDING 26

PROJECT #589A7-16-101

DEPARTMENT OF VETERANS' AFFAIRS

ROBERT J. DOLE

MEDICAL and REGIONAL OFFICE CENTER

WICHITA, KANSAS

PROJECT NOTES

DEMOLITION AND GENERAL CONSTRUCTION PLAN NOTES:

- PROTECT ELEVATOR WALLS FROM DAMAGE WHILE USING FOR CONSTRUCTION PURPOSES WITH PROTECTIVE PADDING
- PROVIDE TEMPORARY DUST PARTITIONS TO SEPARATE CONSTRUCTION AREAS FROM THE REST OF THE FACILITIES. DUST PARTITIONS ARE TO BE SEALED AIR TIGHT TO THE FLOOR AND ACOUSTIC TILE CEILING SYSTEM. PROVIDE ZIPPERED ACCESS DOORS AS REQUIRED TO MAINTAIN AIR TIGHT SEAL.
- MAINTAIN MEASURABLE NEGATIVE PRESSURE IN CONSTRUCTION AREAS AT ALL TIMES. AIR IS TO BE EXHAUSTED TO OUTSIDE THE BUILDING, AND PASSED THROUGH A 99.99% EFFICIENT HEPA GRADE FILTER SYSTEM BEFORE BEING DISCHARGED
- AT EACH CONSTRUCTION LOCATION, PROVIDE A 0-1" MANOMETER ARRANGED TO MONITOR DIFFERENTIAL PRESSURE BETWEEN THE CONSTRUCTION ZONE AND THE REST OF THE BUILDING. LOCATE THE MANOMETER IN AN ACCESSIBLE LOCATION TO ALLOW READY OBSERVATION BY THE SAFETY OFFICER WITHOUT ENTERING THE CONSTRUCTION ZONE. INSTALL PRESSURE TUBING FROM THE MANOMETER'S PORTS SO THAT ONE SIDE IS ON THE BUILDING SIDE OF THE DUST PARTITION AND THE OTHER SIDE IS OPEN TO THE CONSTRUCTION ZONE.
- REMOVE AND PROTECT ALL EXISTING CEILINGS, LIGHTS, SPEAKERS, FIRE SPRINKLERS AND OTHER SIMILAR EQUIPMENT WHERE REQUIRED TO PERFORM THE WORK OF THIS PROJECT. RE-INSTALL ALL ITEMS REMOVED IN EQUAL OR BETTER CONDITION AT COMPLETION OF EACH PHASE.
- EXTEND TEMPORARY DUST PARTITIONS TO THE BOTTOM OF THE DECK ABOVE IN AREAS WHERE THE WALLS DON'T GO ALL THE WAY TO THE DECK OR WHERE REQUIRED TO PREVENT SPREAD OF CONTAMINANTS TO OTHER AREAS OF THE BUILDING.
- ALL CORRIDOR WALLS ARE SMOKE BARRIERS AND AN AIRTIGHT SEAL MUST BE MAINTAINED AROUND ALL PENETRATIONS OF THESE WALLS. AS PART OF THIS WORK, SEAL ALL NEW AND EXISTING OPENINGS THROUGH THE CORRIDOR WALLS IN AN AIRTIGHT MANNER.

GENERAL DEMOLITION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL OF THE OWNER'S EQUIPMENT AND SUPPLIES FROM THE CONSTRUCTION AREAS PRIOR TO THE START OF ANY WORK, AND RETURNING THEM TO THEIR ORIGINAL LOCATION AT THE COMPLETION OF THE WORK.
- CONTRACTOR SHALL COVER ALL FIXED FURNITURE AND EQUIPMENT THAT CANNOT BE REMOVED WHICH IS LOCATED IN THE CONSTRUCTION AREA WITH DUST TIGHT ASSEMBLIES PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL FABRICATE ALL TEMPORARY DUST PARTITIONS WITH ADEQUATE RE-ENFORCEMENT TO BE SELF SUPPORTING AND AS REQUIRED TO ALLOW MAINTAINING A MEASUREABLE NEGATIVE PRESSURE IN THE CONSTRUCTION AREAS.
- ALL MATERIALS USED FOR THE FABRICATION OF DUST PARTITIONS SHALL BE ONE HOUR FIRE RATED.
- AT THE COMPLETION OF WORK AND PRIOR TO RETURNING A CONSTRUCTION AREA FOR THE OWNER'S USE, THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES OF DUST AND DEBRIS.

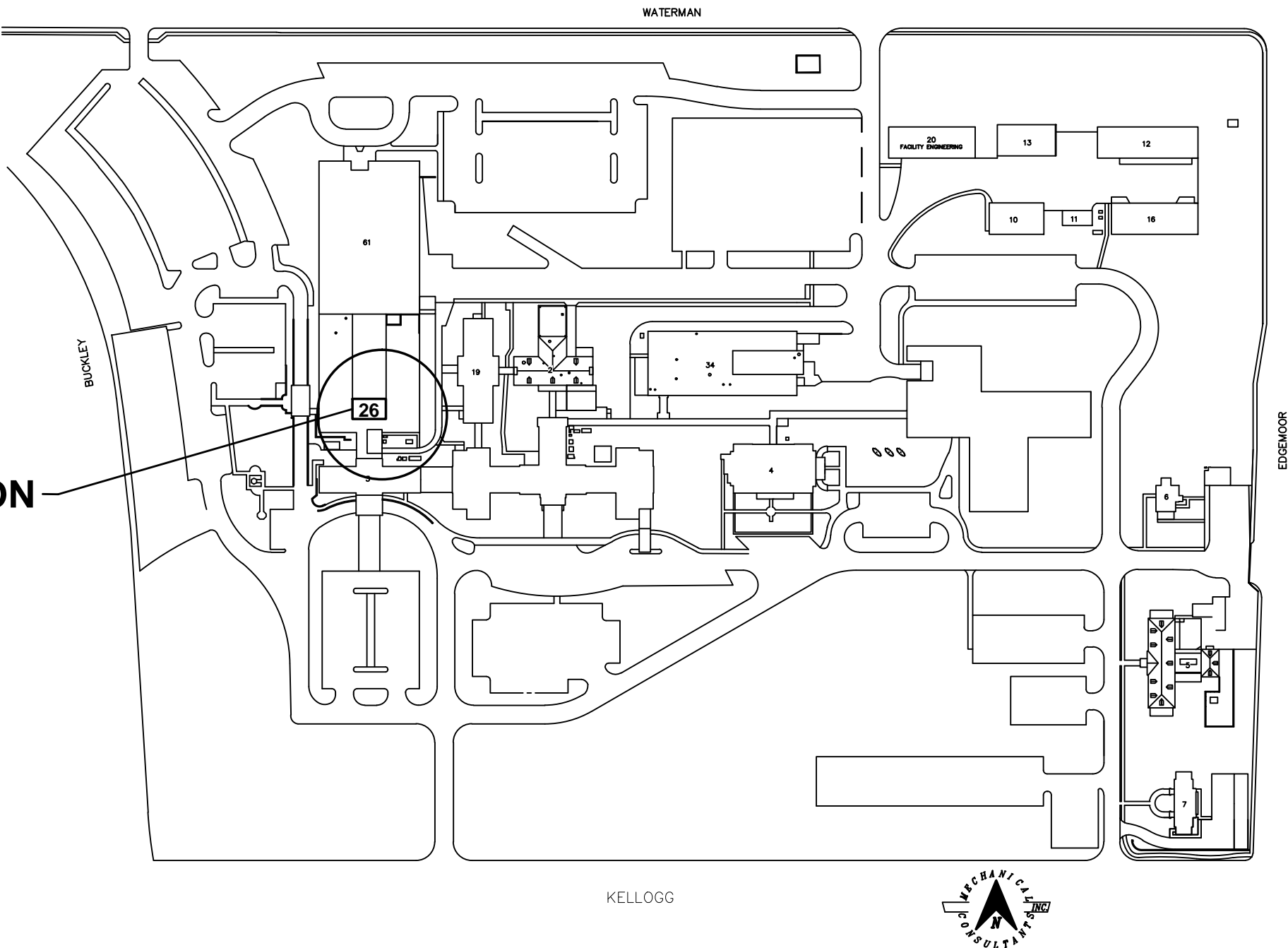
PHASING GENERAL NOTES

- DURING ALL PHASES OF THE PROJECT, THE OWNER WILL OCCUPY AREAS ADJACENT TO THE WORK AREAS. CONDUCT WORK IN A MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S NORMAL OPERATIONS.
- PROVIDE A MINIMUM OF 72 HOURS ADVANCE NOTICE TO OWNER OF ACTIVITIES THAT WILL IMPACT OWNER'S NORMAL OPERATIONS.
- PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROTECT OWNER'S PERSONNEL FROM INJURY AND ALLOW ACCESS TO OWNER'S WORK.
- EACH PHASE SHALL BE COMPLETED PRIOR TO THE START OF THE NEXT PHASE.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY RELOCATION OF ALL FURNITURE AND EQUIPMENT, INCLUDING ALL NECESSARY ELECTRICAL, PLUMBING, AND VENTILATION MODIFICATIONS AND FOR PROVIDING TEMPORARY CONNECTIONS TO THESE SYSTEMS. TEMPORARY STORAGE LOCATIONS FOR EACH PHASE ARE NOT SHOWN ON PLANS. THEY ARE TO BE COORDINATED WITH OWNER.
- CONTRACTOR SHALL PROVIDE TEMPORARY SIGNAGE TO DIRECT BUILDING OCCUPANTS AROUND CONSTRUCTION AREAS. SIGNAGE SHALL CLEARLY IDENTIFY THE FULL PATH OF THE ALTERNATE ROUTE. ALTERNATE ROUTES SHALL BE REVIEWED WITH THE OWNER PRIOR TO CLOSING OFF ANY AREA REQUIRING ALTERNATE ROUTES.

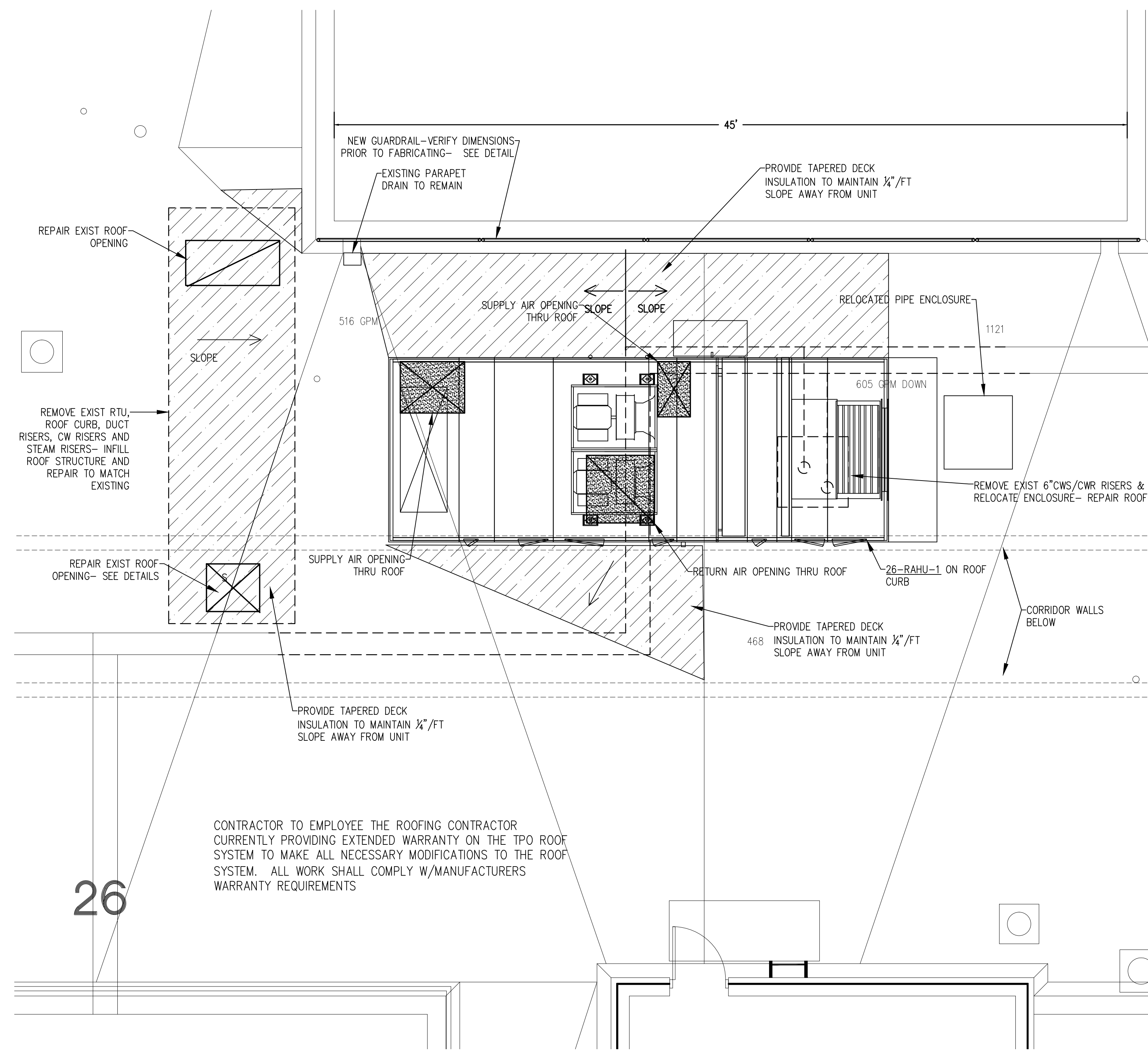
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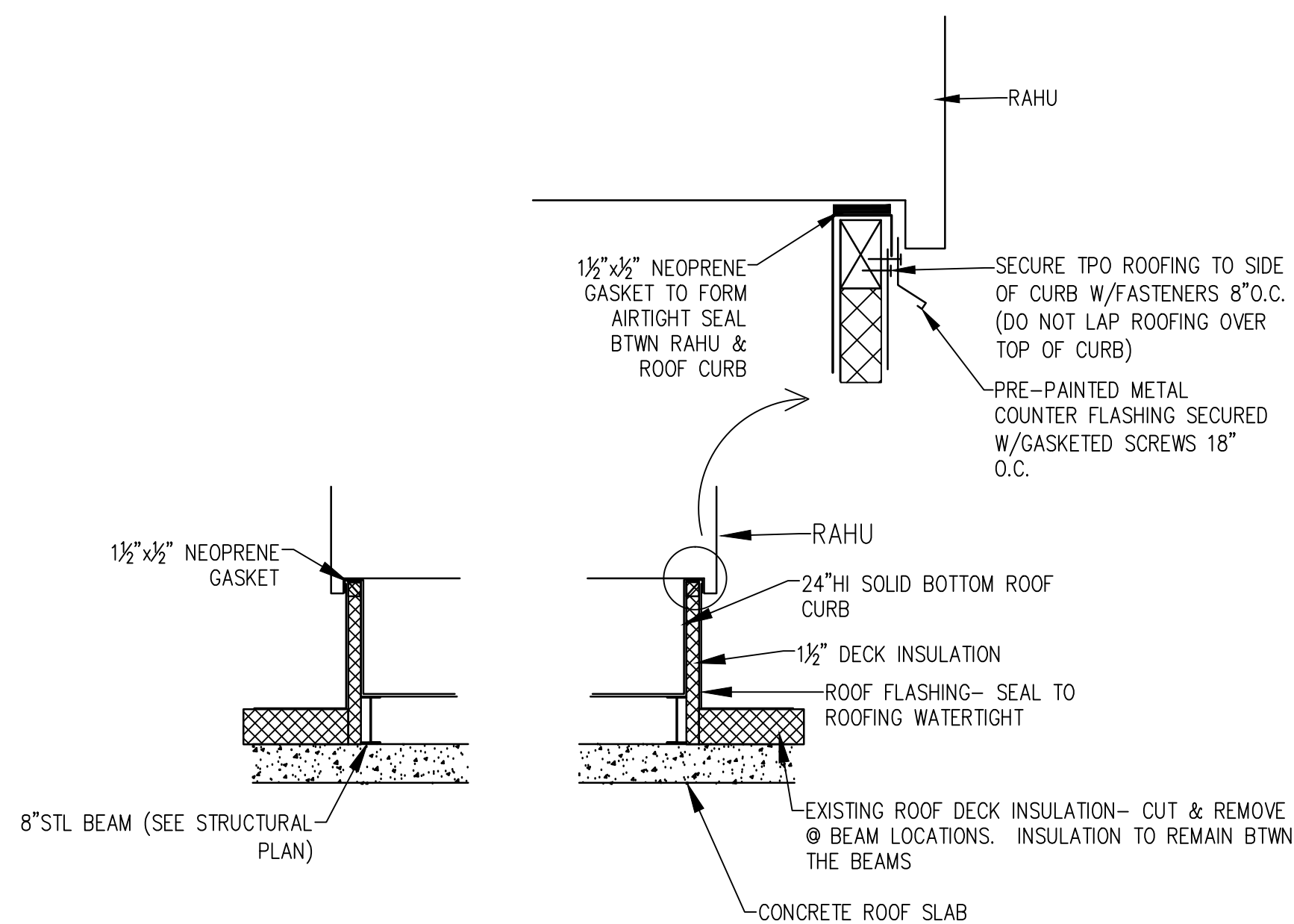
PROJECT LOCATION



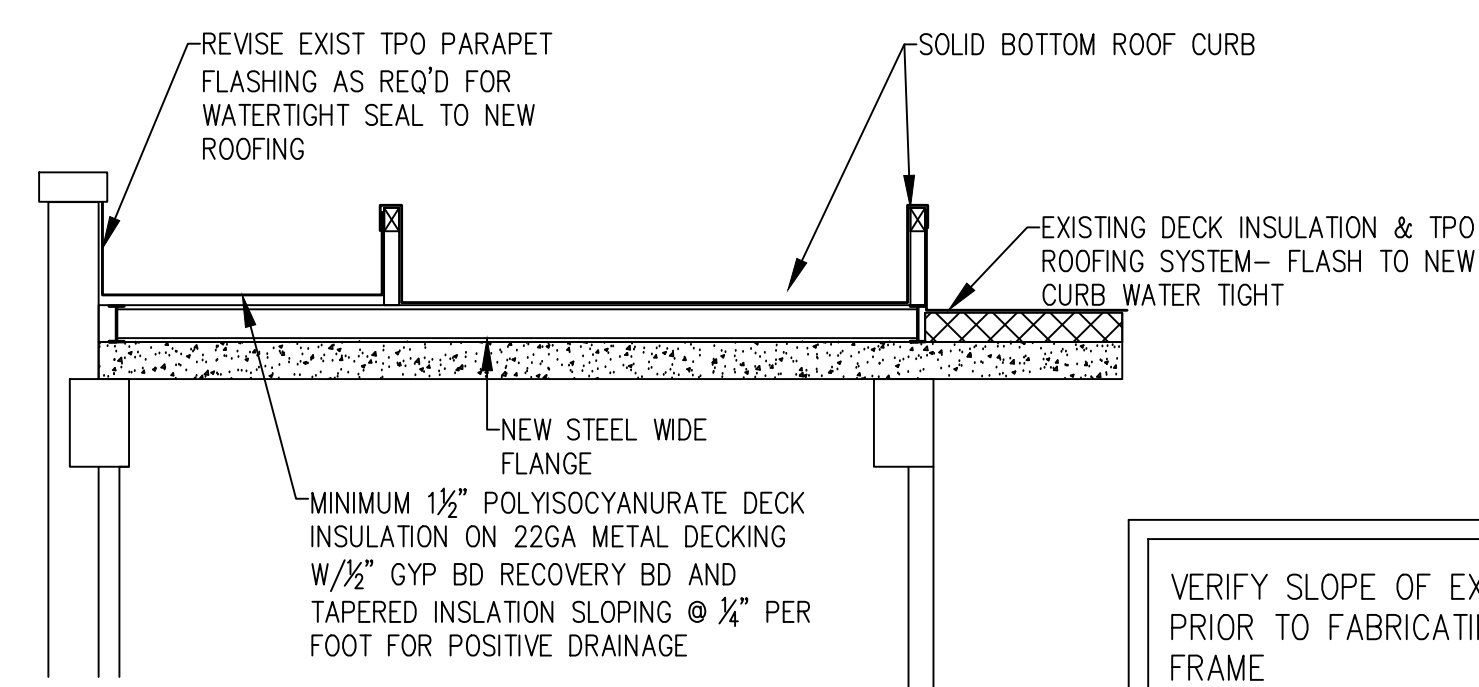
REVISIONS	MECHANICAL ENGINEER - MECHANICAL CONSULTANTS, INC. STRUCTURAL ENGINEER - DUDLEY WILLIAMS and ASSOC., LLC ELECTRICAL ENGINEER - BASIS CONSULTING ENGINEERS	Mechanical Consultants 236 LAURA WICHITA, KANSAS 67211 (316) 265-5301 FAX 265-8413 engrs@mciks.com		FRANSISCO VAZQUEZ, MBA MEDICAL CENTER DIRECTOR	VICKI G BONDIE, MBA ASSIST. DIRECTOR																	
				DAVID A PATTILLO, MHA, FACHE ASSOC. DIRECTOR	NORMAN J FORBES, MA, RN ASSOC DIRECTOR PATIENT CARE NURSE EXECUTIVE																	
				ARACELI REVOTE, MD, MPH CHIEF OF STAFF																		
<table><tbody><tr><td colspan="2">PROJECT TITLE CORRECT MECHANICAL DEFICIENCIES BUILDING 26</td><td colspan="2">PROJECT NUMBER 589A7-16-101</td><td colspan="2" rowspan="2">Office of Construction and Facilities Management Department of Veterans Affairs</td></tr><tr><td colspan="2">LOCATION WICHITA VAM&ROC #589A7 5500 E KELLOGG</td><td colspan="2">BUILDING NUMBER 26</td></tr><tr><td>DATE JULY 13, 2016</td><td>CHECKED BJP</td><td>DRAWN JPM</td><td colspan="2">DRAWING NUMBER 26-GI 001</td><td>DWG 1 OF 4</td></tr></tbody></table>							PROJECT TITLE CORRECT MECHANICAL DEFICIENCIES BUILDING 26		PROJECT NUMBER 589A7-16-101		Office of Construction and Facilities Management Department of Veterans Affairs		LOCATION WICHITA VAM&ROC #589A7 5500 E KELLOGG		BUILDING NUMBER 26		DATE JULY 13, 2016	CHECKED BJP	DRAWN JPM	DRAWING NUMBER 26-GI 001		DWG 1 OF 4
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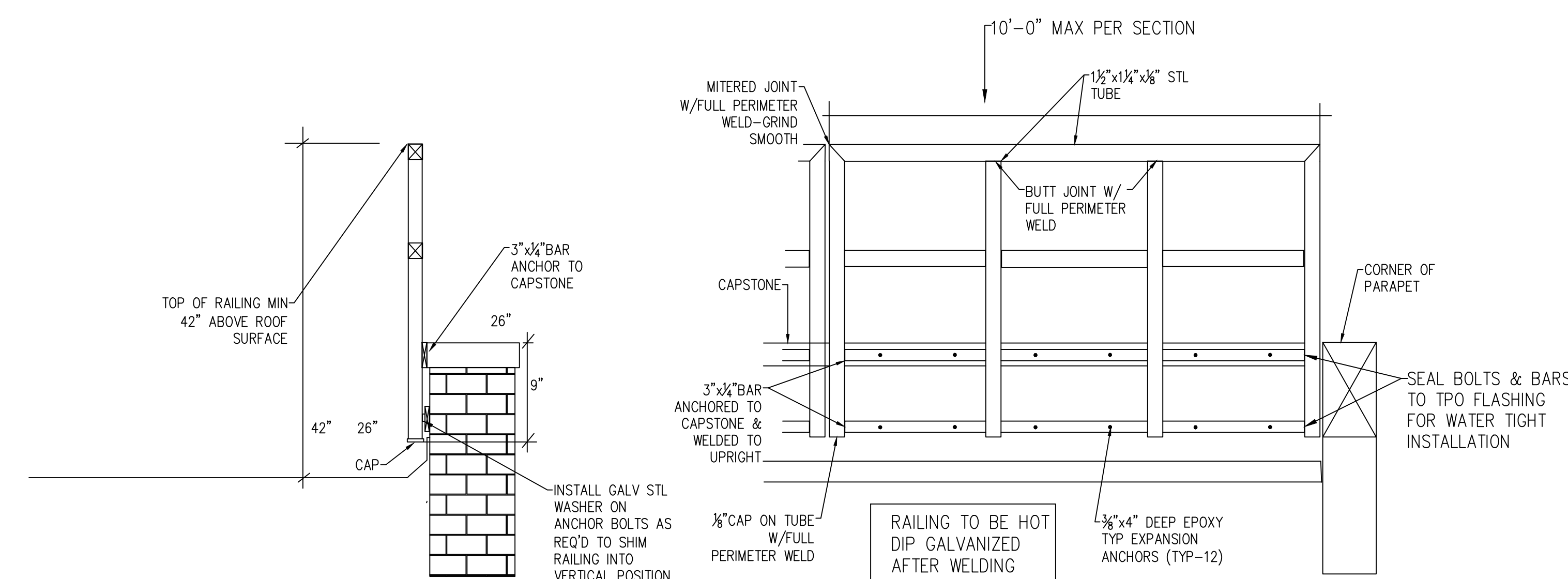
PARTIAL ROOF PLAN



ROOF CURB DETAIL



ROOF CURB ELEVATION



GUARDRAIL DETAILS

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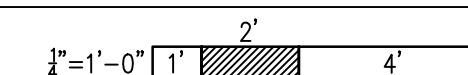
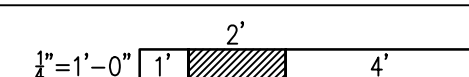


THE CONTRACTOR SHALL EMPLOY THE OWNER'S CURRENT WATER TREATMENT MAINTENANCE CONTRACTOR, (VERIFY PRIOR TO BIDDING), TO DRAIN AND STORE THE WATER / GLYCOL SOLUTION FROM THE EXISTING CHILLED WATER PIPING SYSTEMS WHEN REQUIRED TO ALLOW INSTALLATION OF THE NEW WORK.

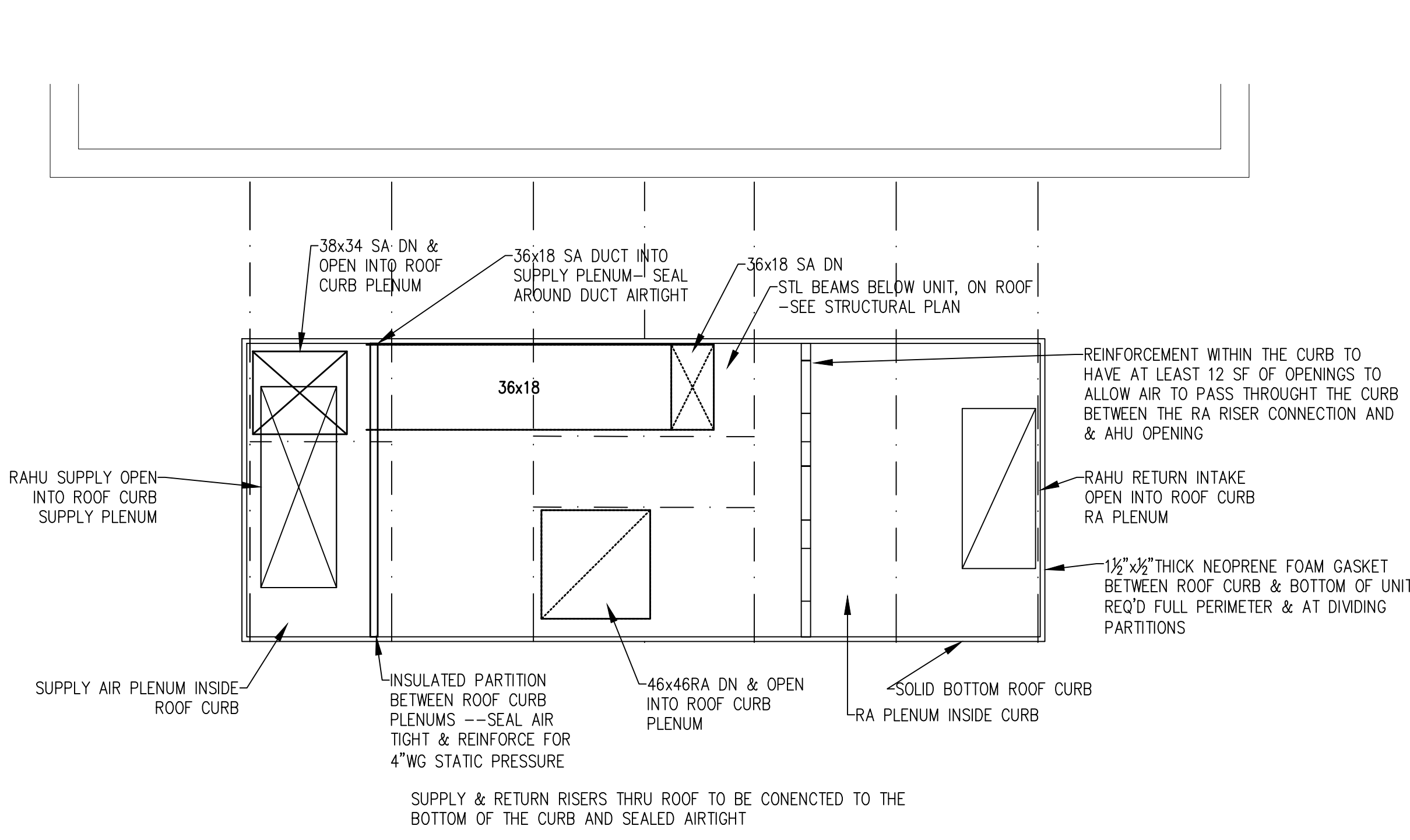
AT COMPLETION OF THE INSULATION OF THE NEW WORK, AND PRIOR TO REFILLING THE SYSTEM, THE WATER TREATMENT CONTRACTOR SHALL FURNISH CLEANING SOLUTION WHICH SHALL BE CIRCULATED THROUGH THE NEW AND EXISTING PIPING SYSTEMS UNTIL CLEAN. ONCE CLEAN AND WITH ALL CLEANING AGENT FLUSHED FROM THE SYSTEM, THE EXISTING GLYCOL SOLUTION MAY BE PUMPED BACK INTO THE SYSTEM BEFORE NEW SOLUTION IS ADDED TO FILL THE PIPING AND EQUIPMENT.

THE CHILLED WATER SOLUTION CHEMICAL COMPOSITION SHALL BE MEASURED AND ADJUSTED AS NECESSARY TO MAINTAIN A MINIMUM CONCENTRATION OF 30% PROPYLENE GLYCOL. INHIBITOR LEVELS SHALL BE ADJUSTED TO MEET THE GLYCOL MANUFACTURER'S RECOMMENDATIONS.

ONLY DE-IONIZED WATER SHALL BE MIXED WITH THE PROPYLENE GLYCOL TO MAKE THE SOLUTION. RAW DOMESTIC WATER SHALL NOT BE USED.

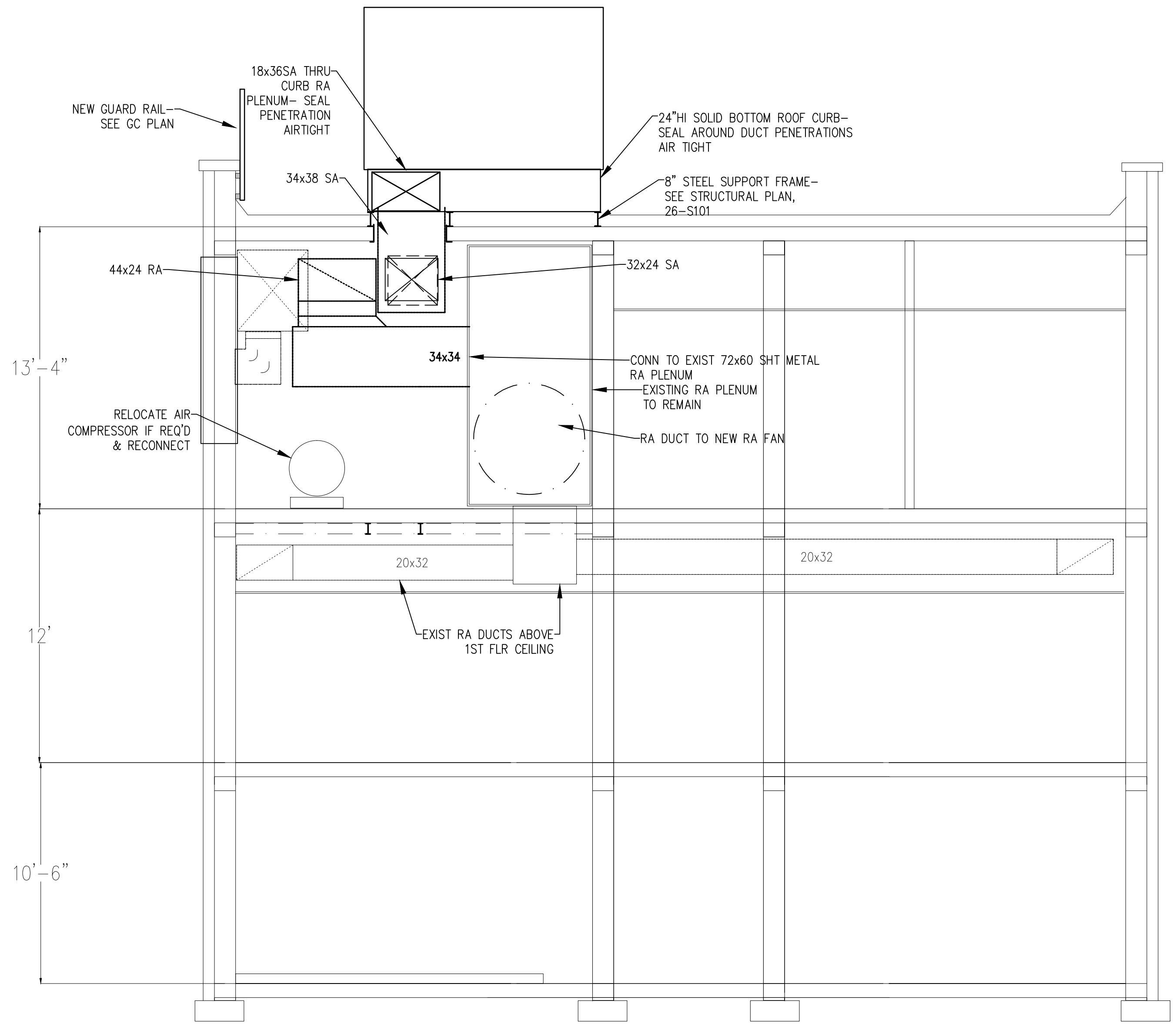
[illegible]

three inches = one foot
one and one half inches = one foot
one inch = one foot
three quarters inch = one foot
one half inch = one foot
three eighths inch = one foot
one quarter inch = one foot
one eighth inch = one foot



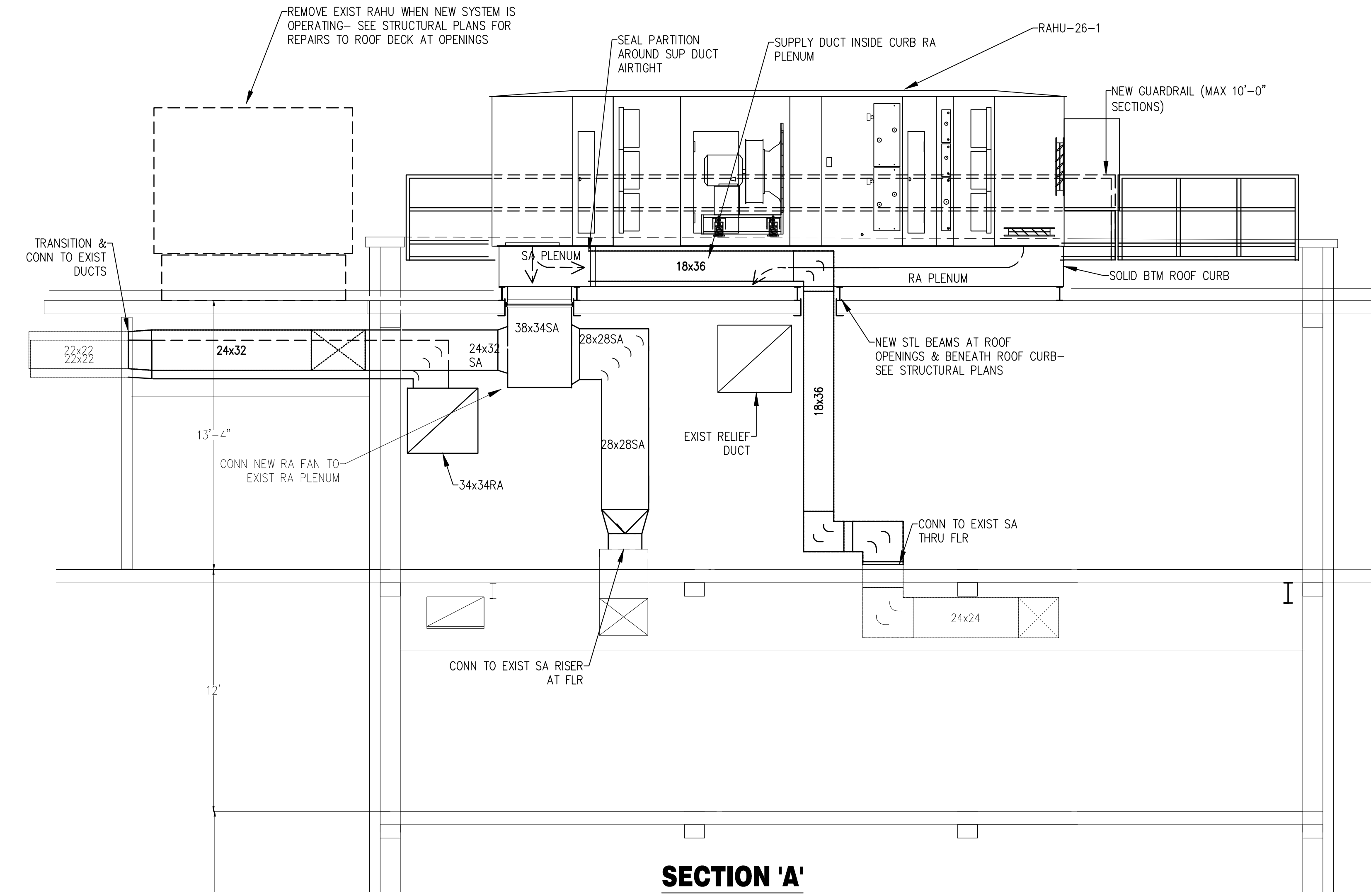
ROOF CURB PLAN VIEW

1"=1'-0" (1' 2' 4')



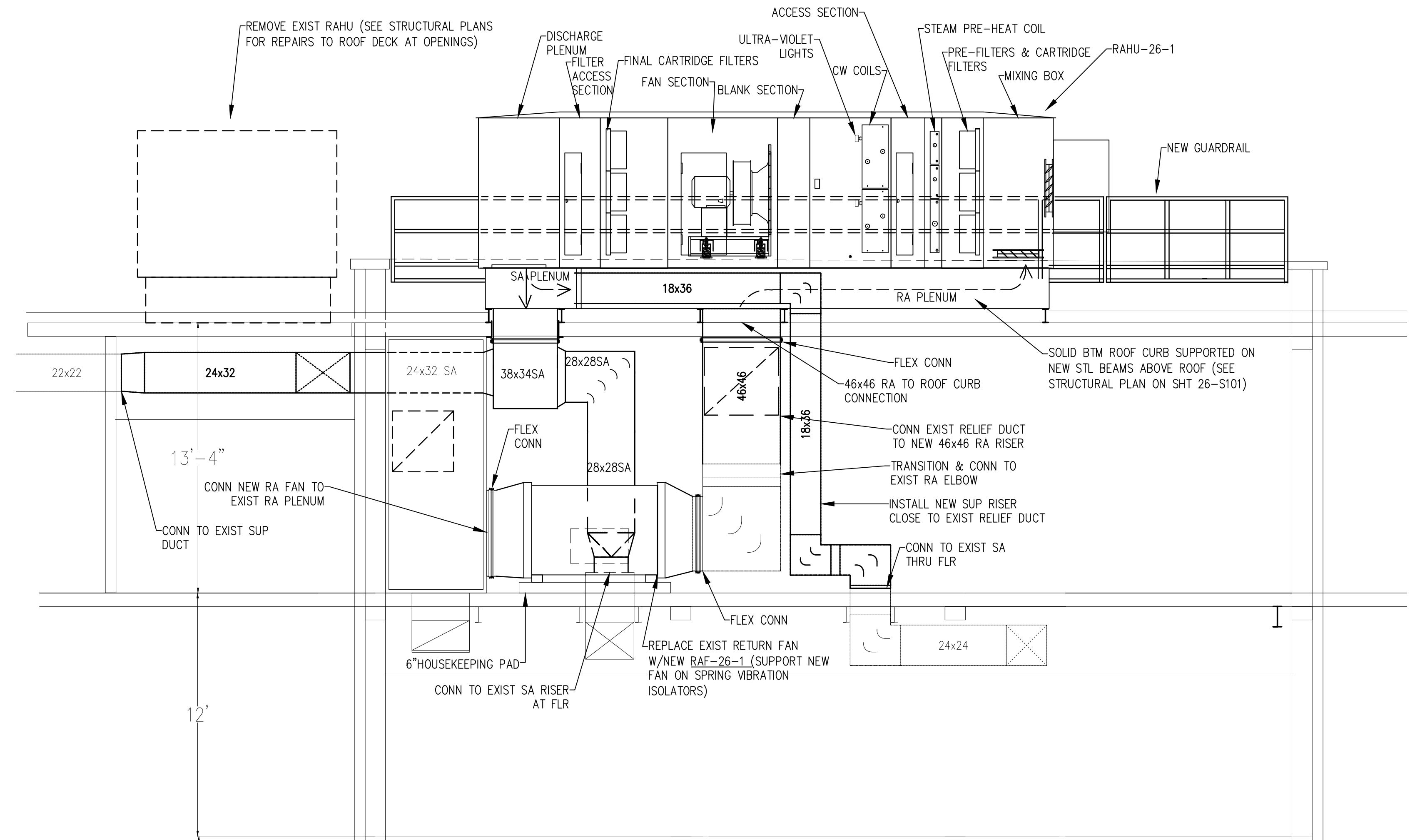
SECTION 'C'

1"=1'-0" (1' 2' 4')



SECTION 'A'

1"=1'-0" (1' 2' 4')



SECTION 'B'

1"=1'-0" (1' 2' 4')

Revisions	Date				ARCHITECT/ENGINEERS: MECHANICAL ENGINEER - MECHANICAL CONSULTANTS, INC. STRUCTURAL ENGINEER - DUDLEY WILLIAMS and ASSOC., PA ELECTRICAL ENGINEER - BASIS CONSULTING ENGINEERS	Drawing Title MECHANICAL RM ELEVATIONS	Project Title CORRECT MECHANICAL DEFICIENCIES BUILDING 26	Project Number 589A7-16-101	Office of Construction and Facilities Management Department of Veterans Affairs
						 154 LAURA SUITE 200 WICHITA, KANSAS 67211 (316) 265-6301 FAX 265-8413 engs@mciks.com	Location WICHITA VAM&ROC #589A7 5500 EAST KELLOGG WICHITA, KANSAS	Drawing Number 26-M201	