

three inches = one foot

one and one-half inches = one foot

one inch = one foot

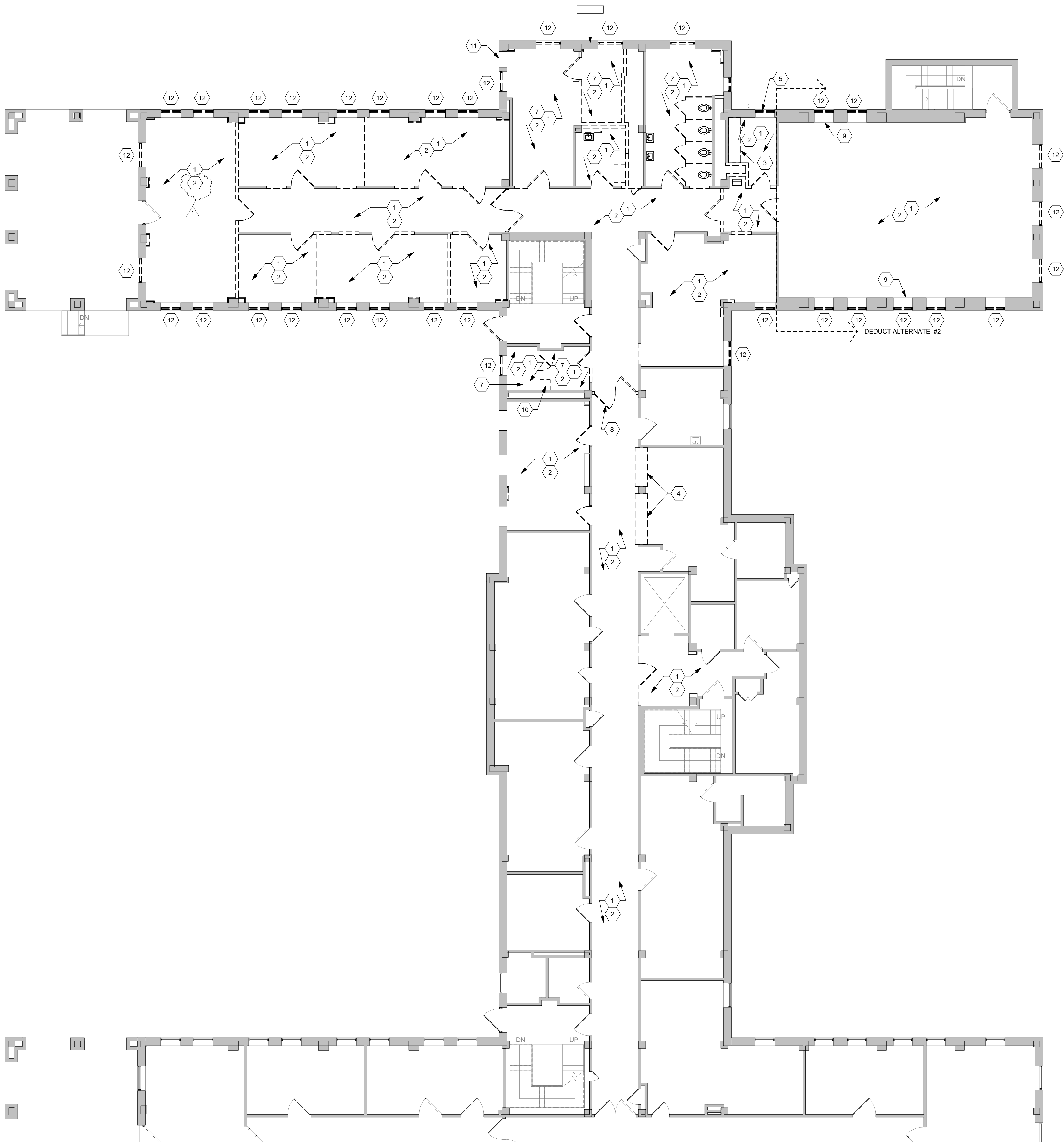
three-quarters inch = one foot

one-half inch = one foot

three-eighths inch = one foot

one-quarter inch = one foot

one-eighth inch = one foot



GENERAL DEMOLITION NOTES

- A. Remove all existing partitions shown with dashed line. Repair wall and floor finishes to match adjacent surfaces at areas of removal or scheduled new surfaces as required. See details this sheet for floor repair at removed walls.
- B. Remove all existing doors and hollow metal frames where indicated with dashed line. Contractor is to provide Owner with the opportunity to retain any of the removed hardware and equipment, but it is the contractor's responsibility to dispose of properly all material except that which the Owner chooses to retain.
- C. Remove wall-hung toilet, room accessories and medical equipment as required. Contractor is to provide Owner with the opportunity to retain any of the removed hardware and equipment, but it is the contractor's responsibility to dispose of properly all material except that which the owner chooses to retain.
- D. See Plumbing, HVAC and Electrical Drawings for removal work associated with those trades.
- E. Computer and communication cables and/or other wiring, piping, tubing, etc. serving other areas and functions located above ceiling or in walls of area to be remodeled shall be maintained during demolition/construction process. Coordinate any required changes to these systems with the C.O.T.R.
- F. Repair existing walls to match adjacent undisturbed wall where cabinets, countertops, etc. are shown to be removed.
- G. Prepare walls and floor slabs as required to receive new finish materials where existing finish is indicated to be removed.
- H. Remove existing corner guards in areas to be remodeled.
- J. The construction work area has been determined to contain asbestos-containing materials (ACMs). The locations of known ACMs have been indicated in the Asbestos Report located in the specification. The Contractor is cautioned that the summary provided includes only the ACMs which were identified through the performance of a building-wide asbestos survey. Neither the Architect nor the Owner can guarantee that no other ACMs will be encountered by the Contractor during the course of his work. If the Contractor observes a construction material which he suspects to be ACM he should immediately stop work, not disturb the suspect material and contact the project COTR for further instructions.
- K. All fire doors in this building should be assumed to be asbestos-containing products unless found to be labeled otherwise.
- L. All transite panels associated with the perimeter wall radiators in this building should be assumed to be asbestos-containing and are not to be disturbed unless otherwise noted.
- M. The black mastic associated with floor tile throughout the project area has been determined to be ACM and shall be left undisturbed unless otherwise noted.
- N. All painted surfaces in work area are suspected to include lead-based paint. Contractor shall comply with all applicable standards & codes when removing paint from work area.
- P. All fluorescent light ballasts and lamps shall be properly handled and disposed of by Contractor.
- Q. Patch and repair existing slab as required to fill voids at abandoned mechanical chases, new electrical conduit, and all MEP floor penetrations.
- R. Contractor shall refer to the VA's GEMS Program for waste disposal procedures.
- S. Coordinate location of job dumpster with the C.O.T.R. so as to disrupt daily operations as little as possible.
- T. Remove all existing wall base in areas of demolition. See details this sheet for removal of Terrazo at removed base.

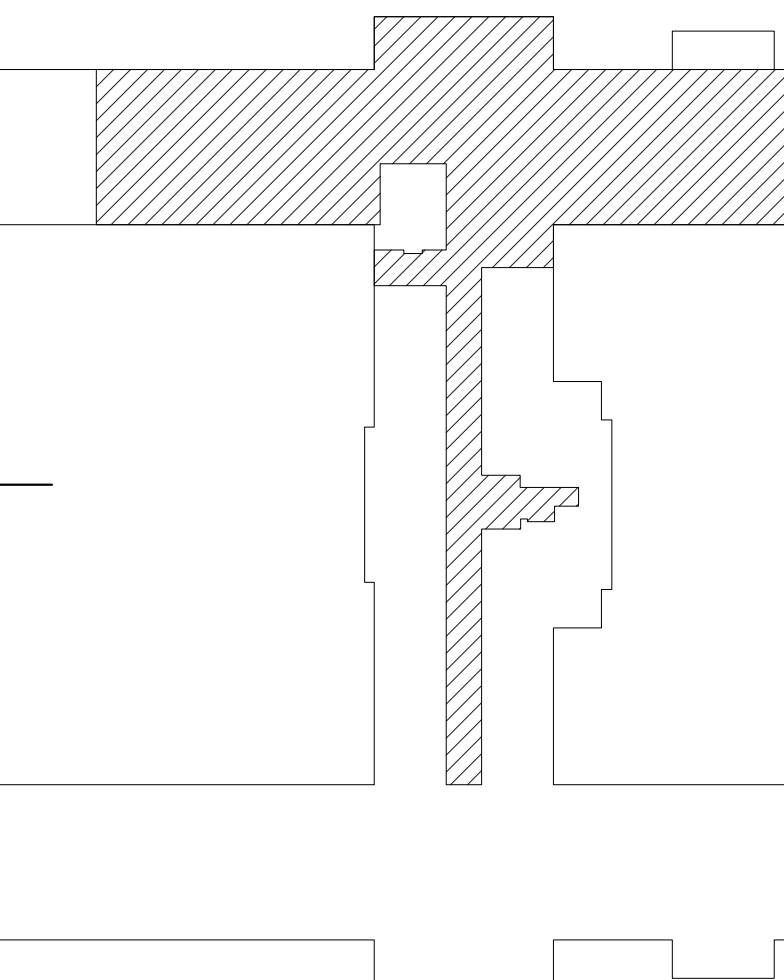
DEMOLITION NOTES

- 1 Remove all ceiling layers including: (2) suspended ceilings, (1) metal panel ceiling, (1) glue-on tile ceiling, (1) plaster ceiling.
- 2 Remove floor covering and base and prep for new floor finish. Asbestos tile is to be removed per specification section 02 82 13.19.
- 3 Remove stainless steel casework and all associated equipment.
- 4 Remove casework.
- 5 Remove window. Asbestos caulking to be removed per asbestos specification. Prep opening to receive new louver.
- 7 Remove all floor and wall tile and prep for new finishes.
- 8 Remove door as part of Base Bid. Door to remain as part of Deduct Alternate 1.
- 9 Remove section of wall for installation of relocated radiator. See Mechanical Drawings.
- 10 Remove concrete pedestal.
- 11 Remove section of wall for new louver.
- 12 Remove window. Asbestos caulking to be removed per asbestos specification. Existing windows to remain if Deduct Alternate #1 is accepted.

DEMOLITION LEGEND

EXISTING WALLS/  
MATERIALS/EQUIPMENT  
TO BE REMOVED

EXISTING WALLS/  
MATERIALS/EQUIPMENT  
TO REMAIN



Key Plan

Scale: N.T.S.

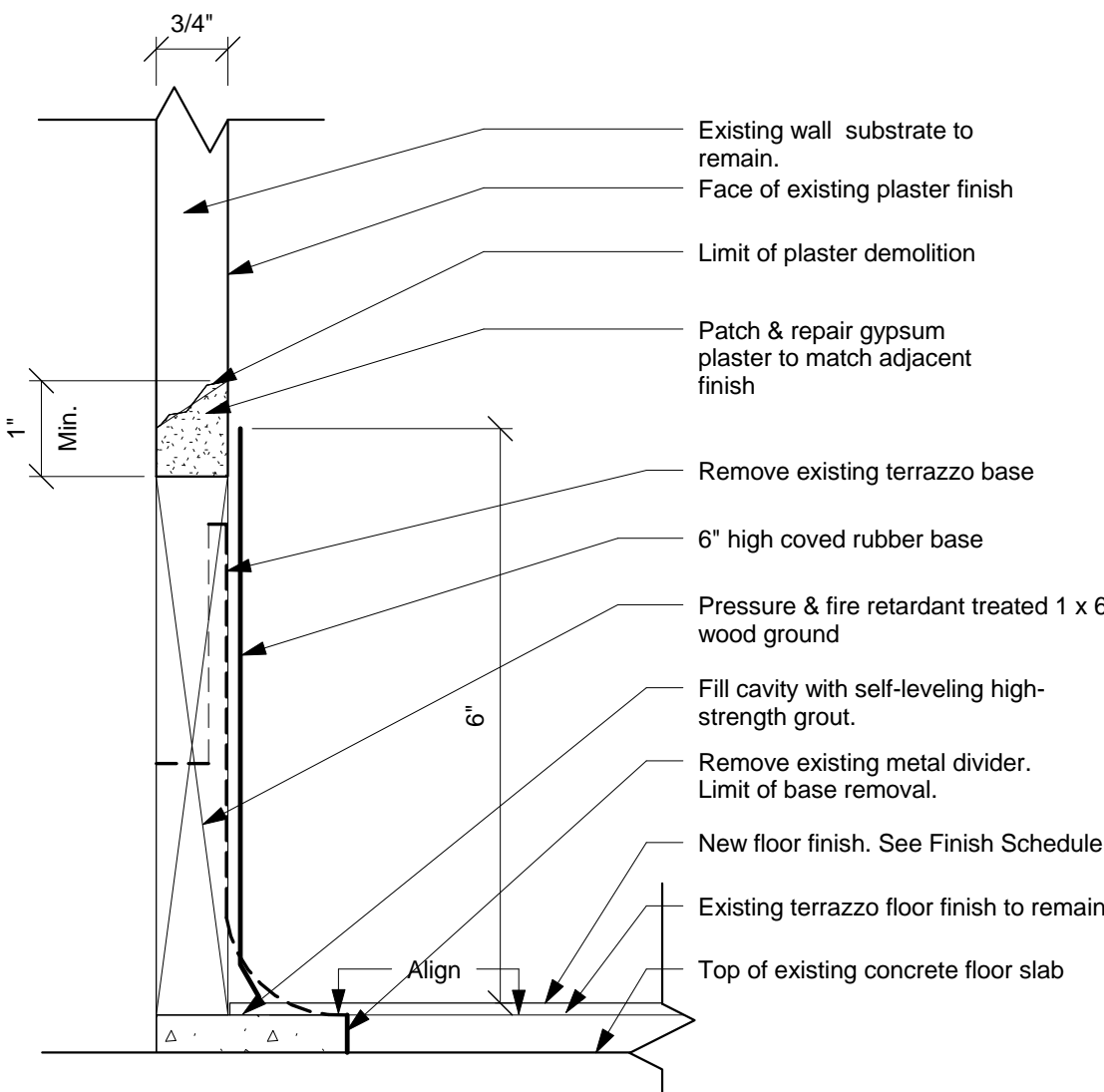


DEMOLITION PLAN

Scale: 1/8" = 1'-0"

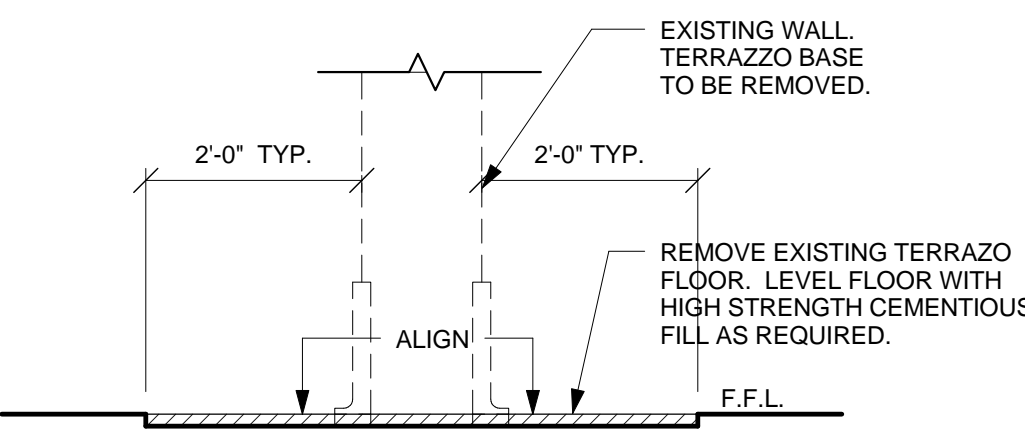
2 TERRAZO BASE REMOVAL DETAIL

Scale: 6" = 1'-0"



1 TERRAZO FLOOR REMOVAL DETAIL

Scale: 1 1/2" = 1'-0"



Revisions	Addendum #1	Date
1		4/13/2012

CONSULTANTS:



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DEMOLITION PLAN

Approved: Project Director

Project Title

FCA REHAB BUILDING 212AB

Location

Chillicothe, Ohio

Date

2/10/2012

Checked: JR

Drawn: NS

Project No.

538-12-101

Building Number

212

Drawing Number

A201

Dwg. of

Office of  
Construction  
and Facilities  
Management

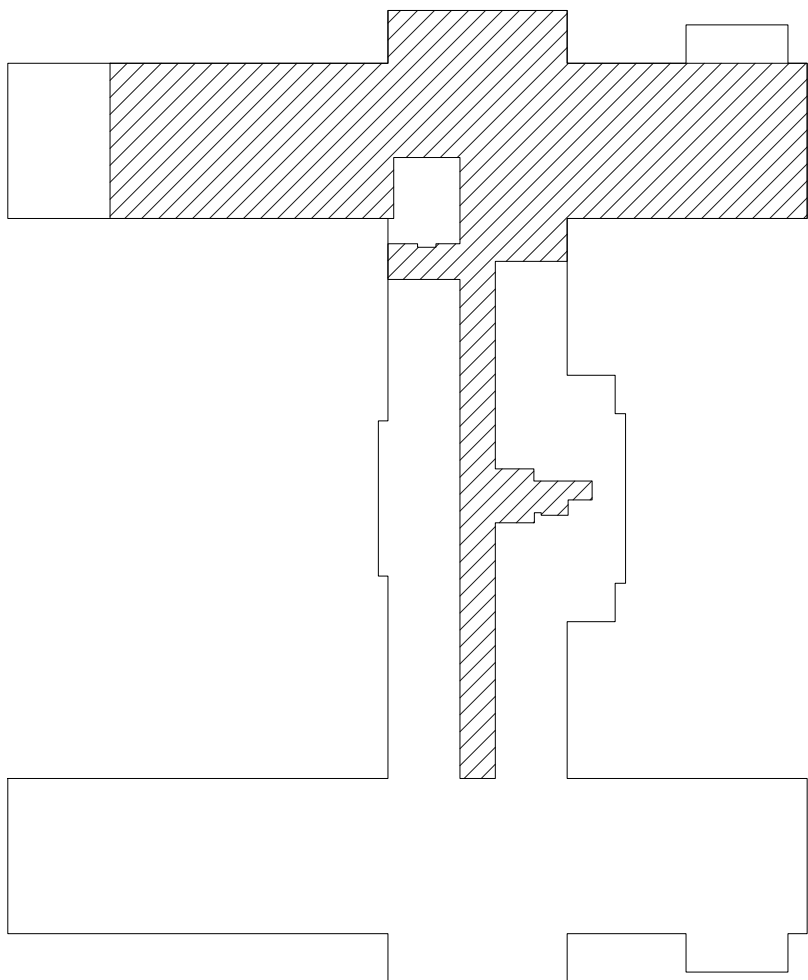
Department of  
Veterans Affairs

three inches = one foot  
one and one-half inches = one foot  
one inch = one foot  
three-quarters inch = one foot  
one-half inch = one foot  
three-eighths inch = one foot  
one-quarter inch = one foot  
one-eighth inch = one foot



**DIMENSION PLAN**  
Scale: 1/8" = 1'-0"

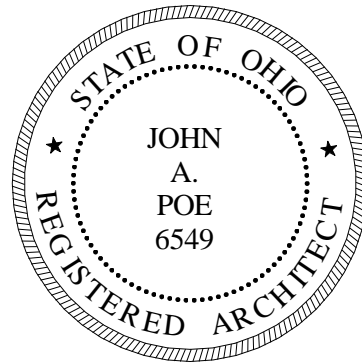
- GENERAL NOTES**
- A. All dimensions are taken to face of gypsum wallboard or unit masonry.
  - B. Edge of all door jambs at hinge side not otherwise indicated are to be 6" from the face of intersecting walls.
  - C. Install fire retardant blocking at all wall mounted equipment, accessories, casework and wall-mounted door stops.
  - D. For partition types refer to Drawing A601.
  - E. Verify all conditions in the field prior to fabrication, erection and construction.
  - F. All asbestos containing material (ACM) scheduled to be abated must be done so per the project specification 028213 and local state and federal regulations. Abatement if required is to be scheduled in appropriate sequence with demolition, new construction and project phasing.
  - G. Coordinate location of job dumpster with the C.O.T.R. so as to disrupt daily operations as little as possible.
  - H. Coordinate access to all phases of construction, deliveries, and debris removal with the C.O.T.R. See General Requirements.
  - J. Provide and maintain negative air pressure at all construction. Coordinate with HVAC contractor.
  - K. Contractor shall be responsible for disconnecting, moving, storing and re-installing furniture, equipment, vending machines, etc. in area of work. Contractor shall make note of current furniture configuration for use during re-installation. If furniture cannot be stored in the current construction phase area, contractor shall provide temporary on-site secure storage space. Contractor shall replace any damaged furniture in kind at his own expense.
  - U. Wall Type S4.0 is typical at all exterior walls within the project scope.
  - V. Wall Type S1.1 is intended to match existing wall thickness. See Wall Types for details.
  - W. All radiator covers shall be removed for installation of new wall turring. See detail this sheet for new enclosure. See Mechanical Drawings for Radiator Cover finish.



**Key Plan**  
Scale: N.T.S.

1	Addendum #1	4/13/2012
Revisions	Date	

CONSULTANTS:



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Drawing Title

**DIMENSION PLAN**

Approved: Project Director

Project Title

**FCA REHAB BUILDING 212AB**

Location

**Chillicothe, Ohio**

Date

**2/10/2012**

Project No.

VA Project No. 538-12-101  
JPA Project No. 11007.00

Building Number

**212**

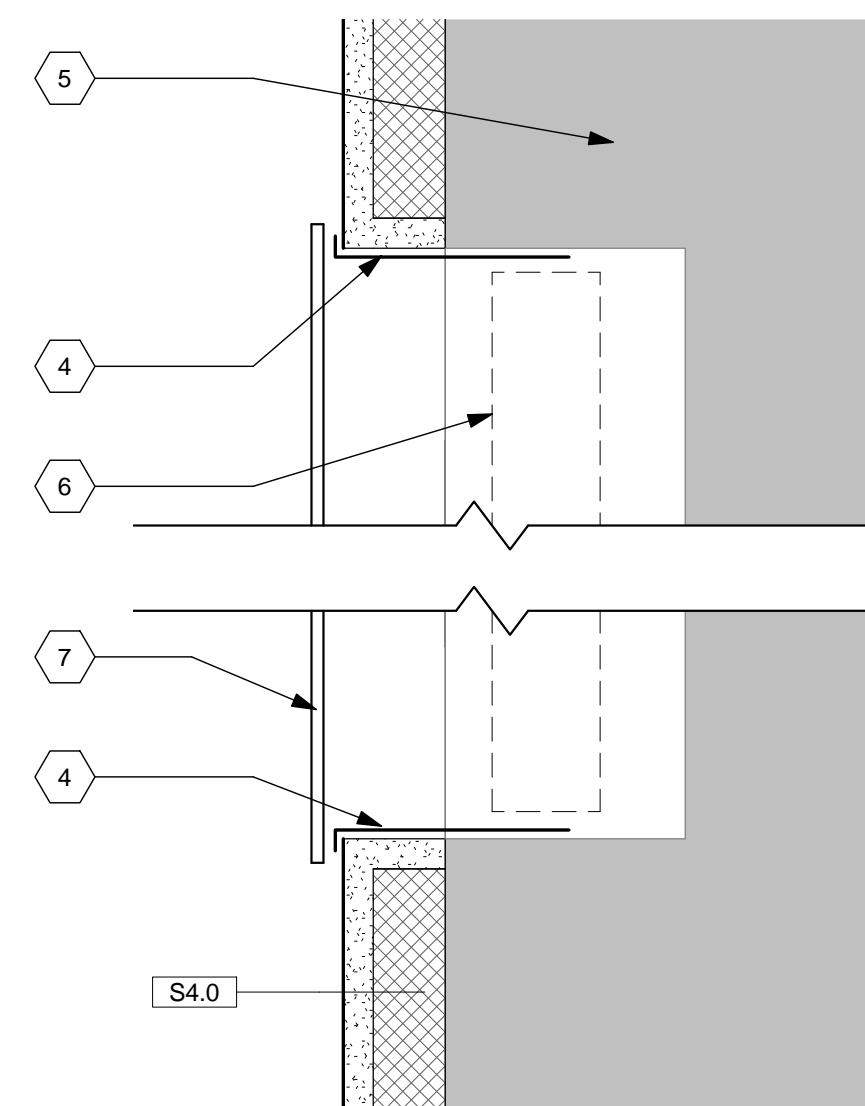
Drawing Number

**A301**

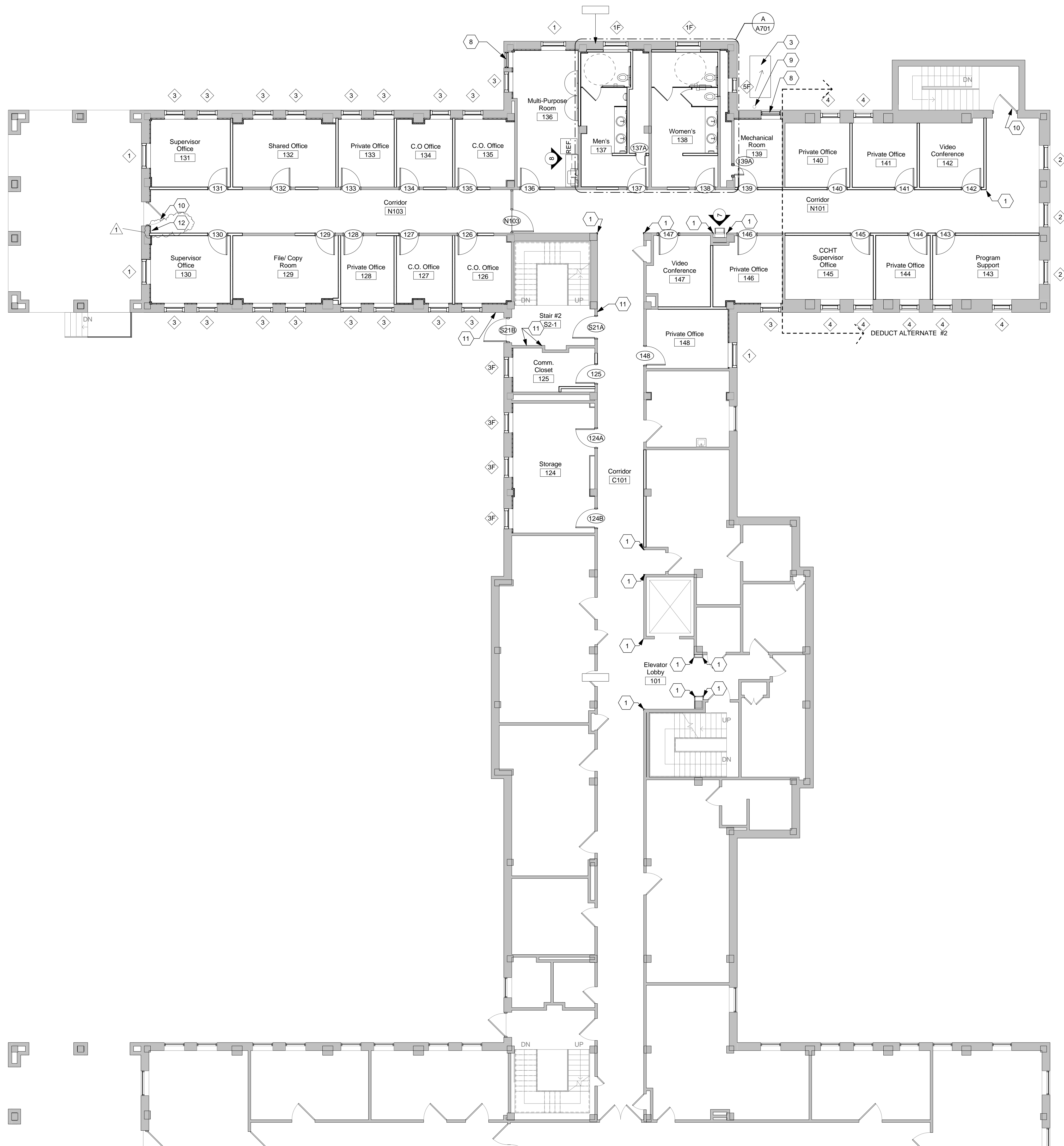
Dwg. of


Office of  
Construction  
and Facilities  
Management

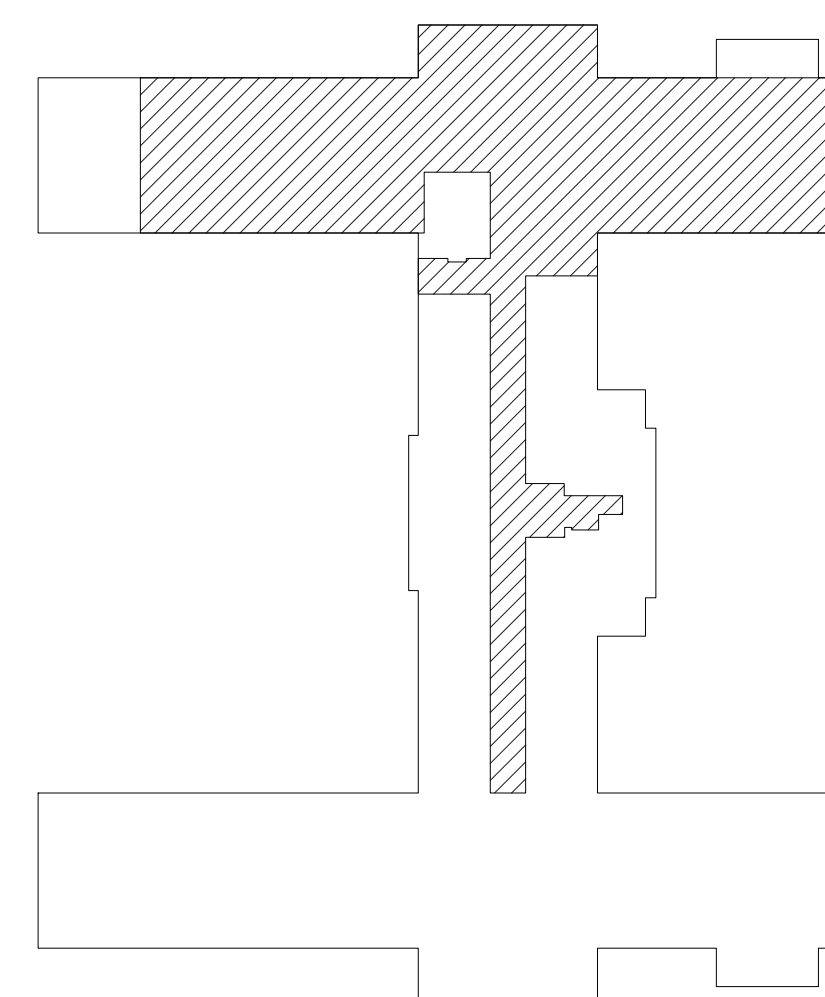
Department of  
Veterans Affairs



### 1 Radiator Detail



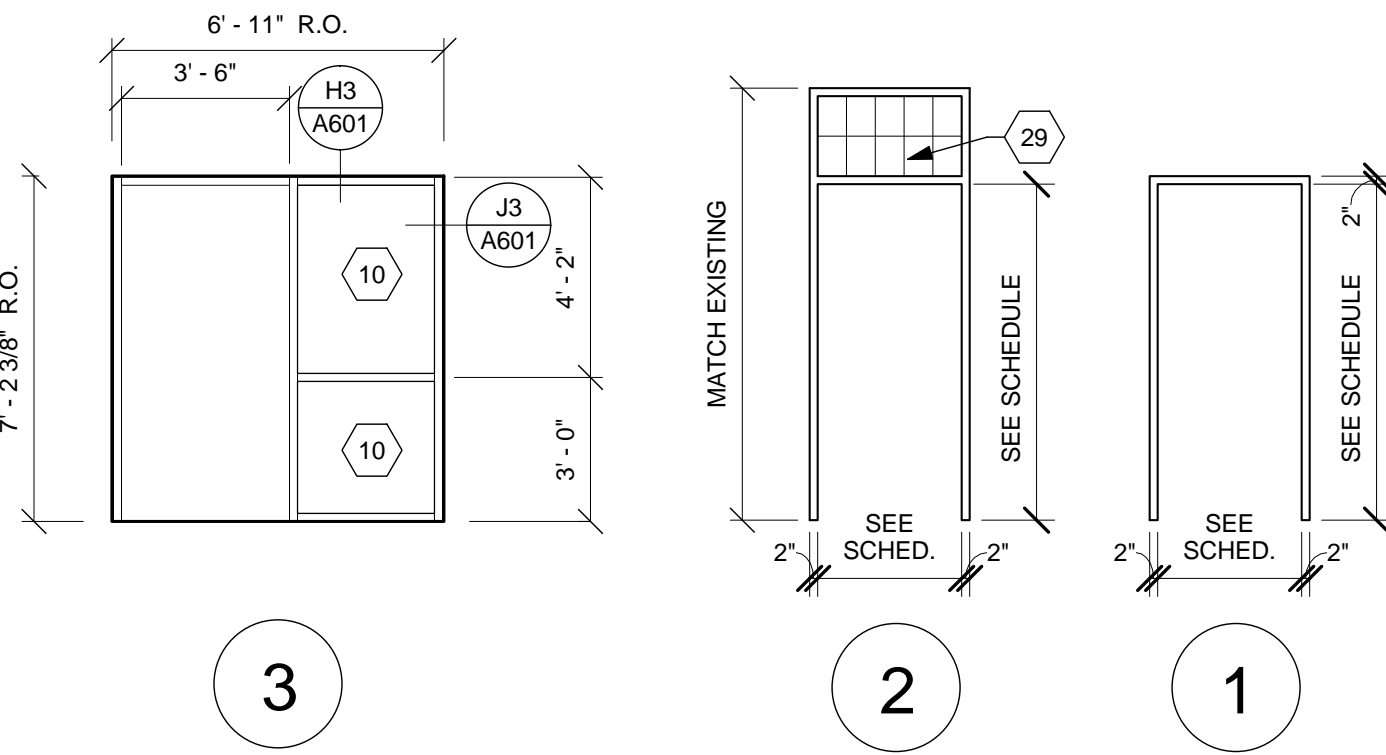
 **NOTE PLAN**  
Scale: 1/8" = 1'-0"



## Key Plan

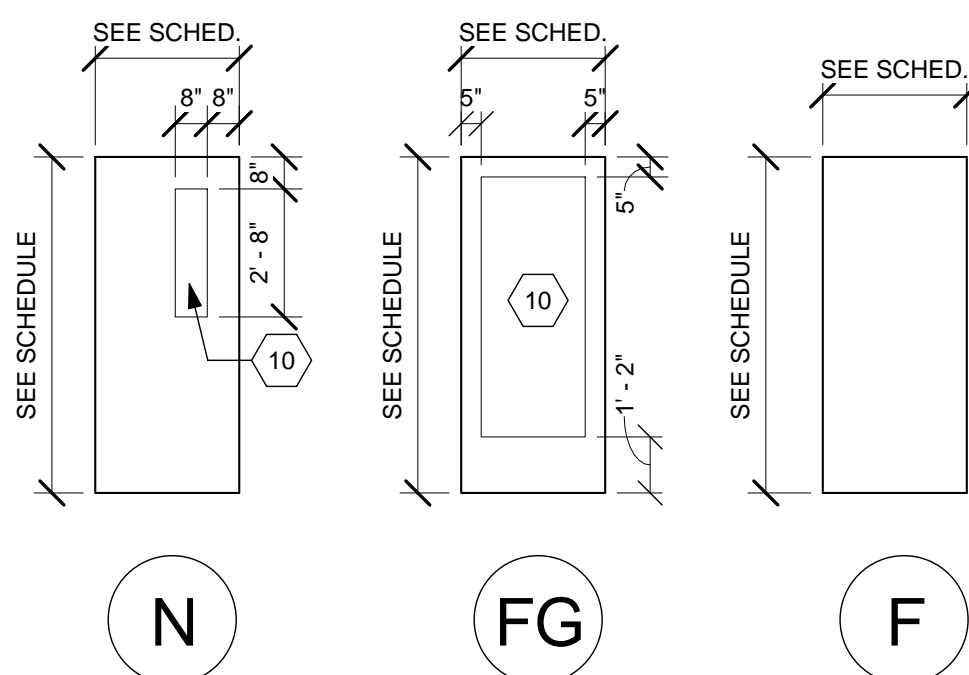
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[illegible]



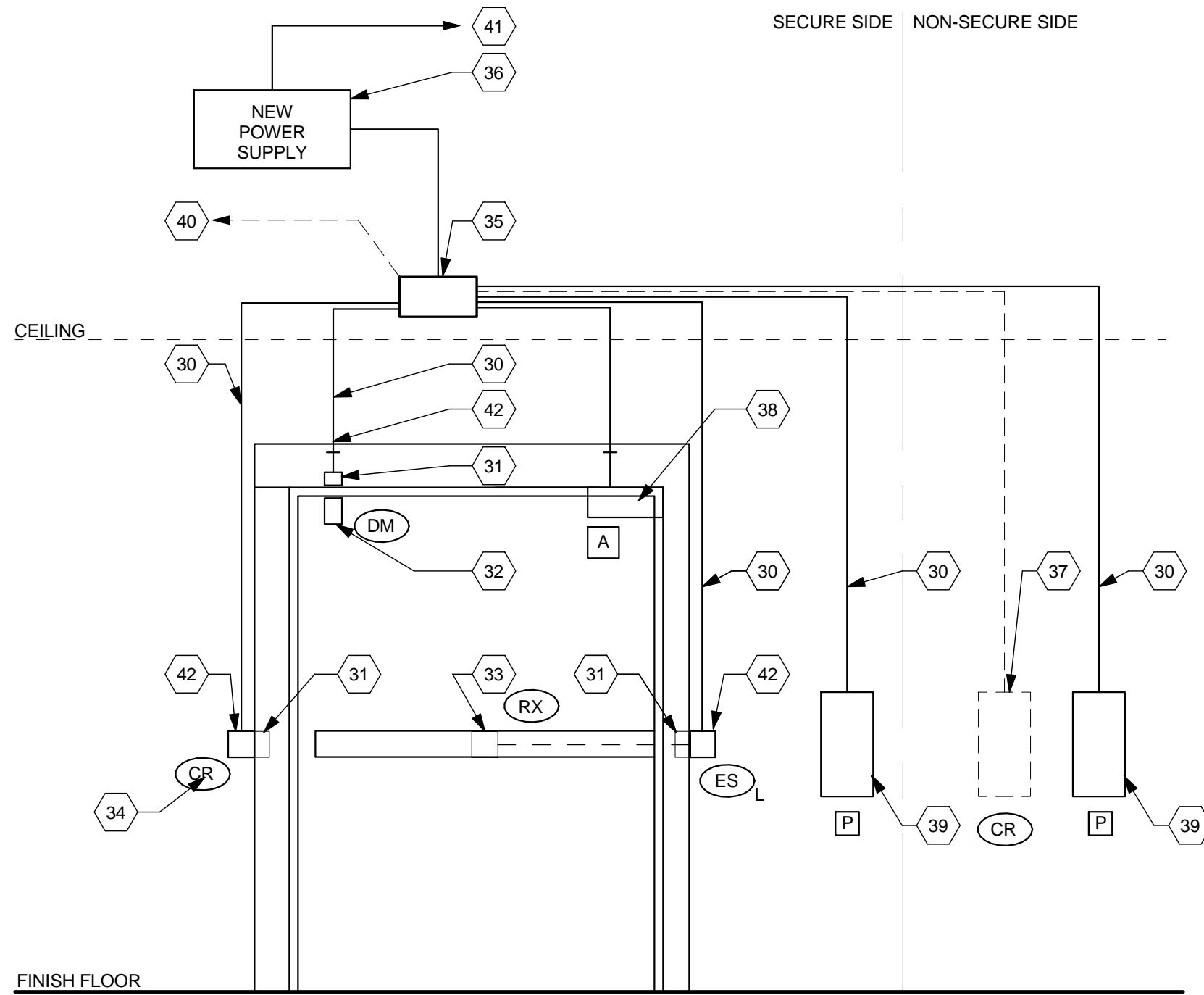
## FRAME TYPES

Scale: 1/4" = 1'-0"



## DOOR TYPES

Scale: 1/4" = 1'-0"



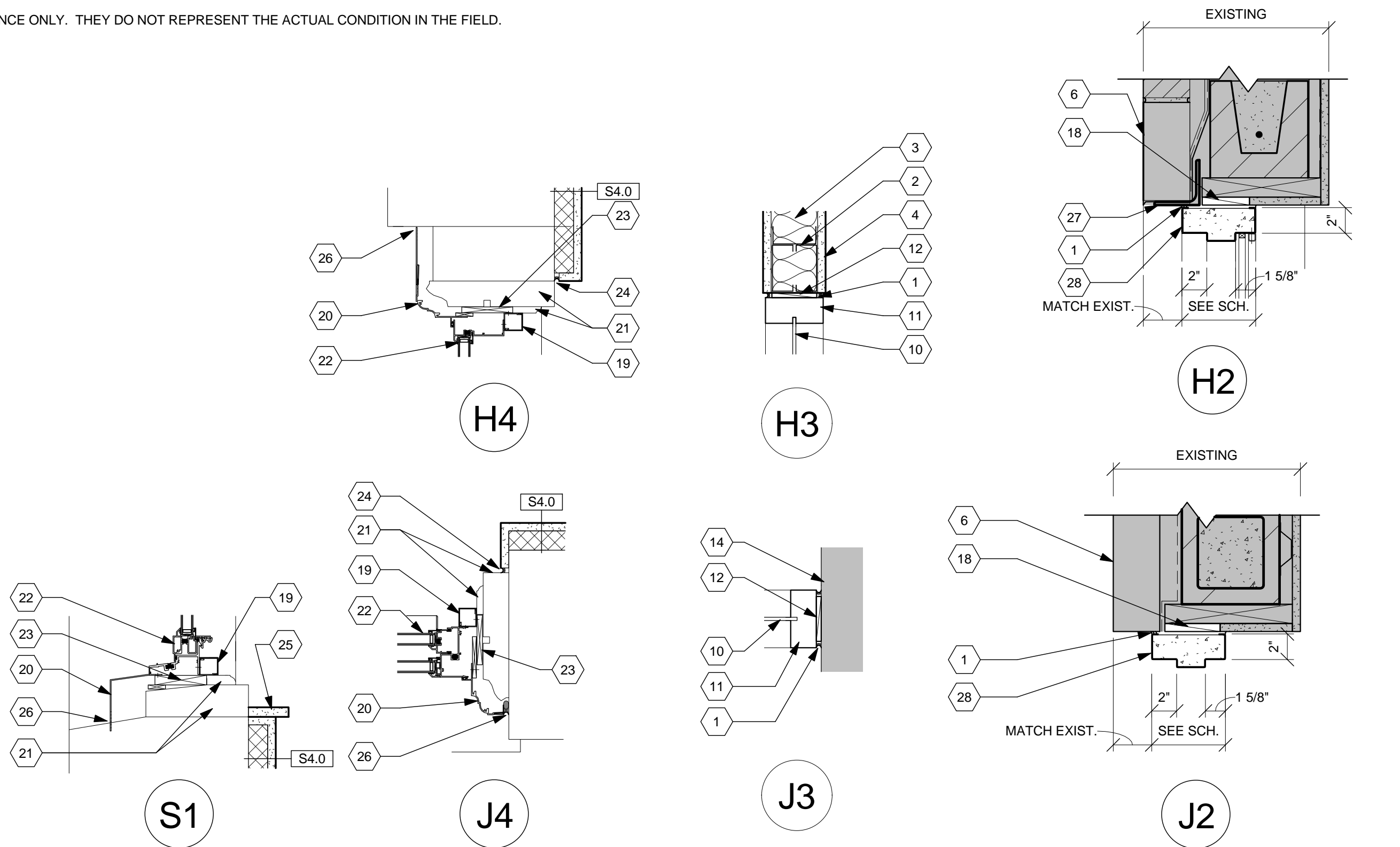
### LEGEND

- [P] PUSH PLATE ROUGH-IN FOR MOTORIZED DOOR OPERATOR (40" A.F.F.). PROVIDE BACKBOX AND 0.75"C. TO DOOR OPERATOR CONTROLLER.
- [A] ELECTRIC DOOR OPERATOR, INCLUDING RELAYS, OPERATING SWITCHES AND LIMIT SWITCHES (120 VOLT SINGLE PHASE OPERATION).
- [ES] FUTURE ELECTRIC DOOR STRIKE BY G.C. LOW VOLTAGE POWER AND WIRING BY DIV. 28 CONTRACTOR. SUBSCRIPT "M" DENOTES MAG LOCK, "L" DENOTES ELECTRIC LATCH. N.I.C.
- [RX] FUTURE REQUEST TO EXIT PIR SENSOR INCLUDING WIRING BY DIV. 28. SUBSCRIPT "M" INDICATES WALL MOUNTED REX BUTTON (1-GANG BOX, 75°C. WITH WIRING). N.I.C.
- [DM] MAGNETIC DOOR POSITION SENSOR INCLUDING WIRING BY DIV. 28.
- [CR] FUTURE LOCATION OF PROXIMITY CARD READER (48" M.H.). WITH WIRING, 1-GANG BOX WITH 75°C. TO CORRIDOR FOR CARD READER. N.I.C.

## CARD READER W/ DOOR OPERATOR DOOR ROUGH-IN

Scale: 1 1/2" = 1'-0"

NOTE: DOOR ELEVATIONS ARE GRAPHICAL, FOR REFERENCE ONLY. THEY DO NOT REPRESENT THE ACTUAL CONDITION IN THE FIELD.



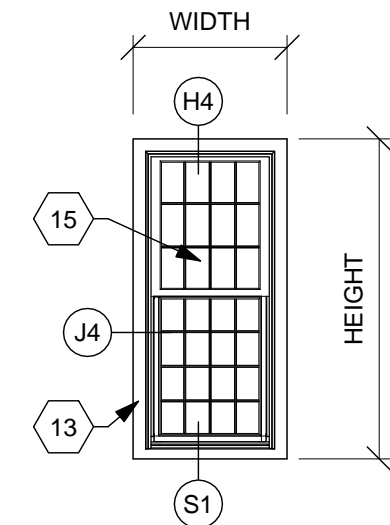
## FRAME DETAILS

Scale: 1 1/2" = 1'-0"

### DETAIL NOTES

- Sealant both sides of frame. Provide backer rod at all exterior locations.
- Metal stud framing.
- Fiberglass batt insulation.
- 5/8" Type "X" gypsum board. See Wall Types.
- Hollow metal frame.
- Existing structure to remain, protect in place.
- Porcelain tile cove base.
- Double studs at jamb, typ.
- Plastic laminate vanity.
- 1/4" clear tempered glazing.
- Aluminum storefront system.
- Wood blocking/shim as required.
- Contractor is responsible for verifying existing window trim conditions. If existing trim requires modification and the contractor elects to reuse existing trim, the contractor is responsible for restoring the wood trim to "like new" condition. New wood or aluminum trim can be used in lieu of reusing existing trim.
- Existing wall construction.
- Provide insect screening.
- Toilet partition.
- Porcelain tile wainscot. See Wall Tile Pattern for details.
- Shim as required.
- Aluminum trim. Finish to match window.
- Pre-set panning.
- Existing window frame & trim.
- New aluminum replacement window.
- 2x wood blocking - Pressure-treated @ all exterior locations and fire retardant-treated @ all interior locations.
- Sealant.
- Solid surface window stool.
- Backer rod and sealant.
- Existing lintel, prep, prime, and paint. Confirm color with COTR.
- Hollow metal frame grout full, paint to match existing conditions. Confirm color selection with COTR.
- 1" insulated glazing.
- Provide 0.75" conduit to local security junction box above accessible ceiling.
- Provide mortise box in frame for future security/door hardware equipment and wiring.
- Future security system door position switch.
- Door hardware as scheduled.
- Future mullion mounted card reader.
- Future security system junction box above accessible ceiling near controlled door.
- Local power supply for electronic door hardware above accessible ceiling near controlled door.
- Future card reader, box, conduit and wiring.
- Handicap automatic door operator.
- Wall mounted push plate for handicap door operator including rough-in box and wiring.
- Future security/access control system door control wiring.
- 120v emergency branch circuit connection to local power supply.
- Provide conduit connection into door frame.

DOOR SCHEDULE														
DOOR #	BETWEEN		DOOR DESCRIPTION				FRAME DESCRIPTION				FIRE RATING	HDWE SET	REMARKS	
	RM	RM	TYPE	MAT'L	#	W	H	T	TYPE	MAT'L	HEAD	JAMB		
124A	C101	124	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	5	
124B	C101	124	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	4	
125	C101	125	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	4	
126	N103	126	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
127	N103	127	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
128	N103	128	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
129	N103	129	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
130	N103	130	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
131	N103	131	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
132	N103	132	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	3	
133	N103	133	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
134	N103	134	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
135	N103	135	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
136	N101	136	N	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	6	
137	N101	137	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	8	
137A	138A	137	F	WD	1	1'-6"	7'-0"	1 3/4"	1	HM	H1	J1	9	
138	N101	138	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	8	
139	N101	139	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	5	
139A	139	140A	F	WD	1	1'-6"	7'-0"	1 3/4"	1	HM	H1	J1	9	
140	N101	140	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
141	N101	141	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
142	N101	142	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	2	STC 40
143	N101	143	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
144	N101	144	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
145	N101	145	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
146	N101	146	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	3	
147	N101	147	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	2	STC 40
148	N101	148	F	WD	1	3'-0"	7'-0"	1 3/4"	1	HM	H1	J1	1	
N103	N101	N103	FG	ALUM	1	3'-6"	7'-0"	1 3/4"	3	ALUM	H3	J3	7	
S21A	C101	S2-1	F	HM	1	3'-6"	7'-0"	1 3/4"	1	HM	H1	J1	90 MIN.	11
S21B	EXT.	S2-1	N	HM	1	3'-8"	7'-0"	1 3/4"	2	HM	H2	J2	12	

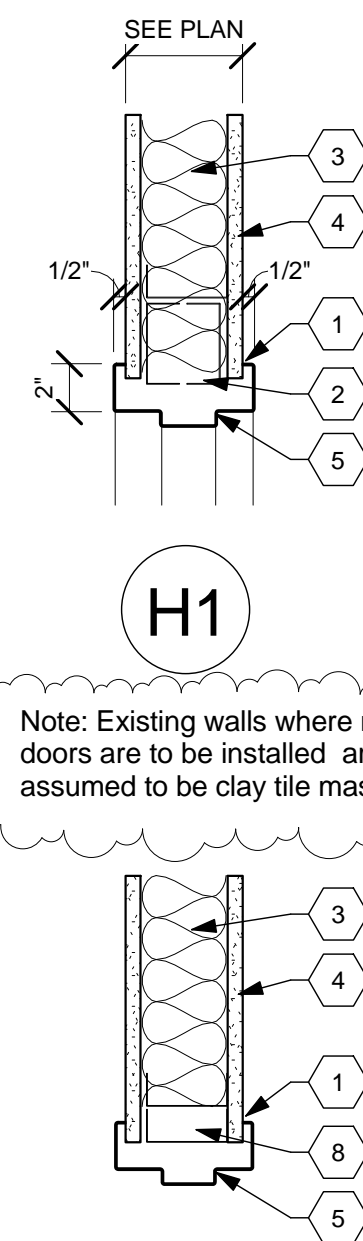


## WINDOW TYPES

Scale: 1/4" = 1'-0"

WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	COMMENTS
1	3' - 11 1/2"	6' - 8"	
1F	3' - 11 1/2"	6' - 8"	Frosted Glass
2	3' - 10"	6' - 8"	
3	3' - 2 1/2"	6' - 8"	
3F	3' - 2 1/2"	6' - 8"	Frosted Glass
4	3' - 1"	6' - 8"	
5F	2' - 3"	6' - 8"	Frosted Glass

Note: Field verify all existing window dimensions. New windows to match existing.

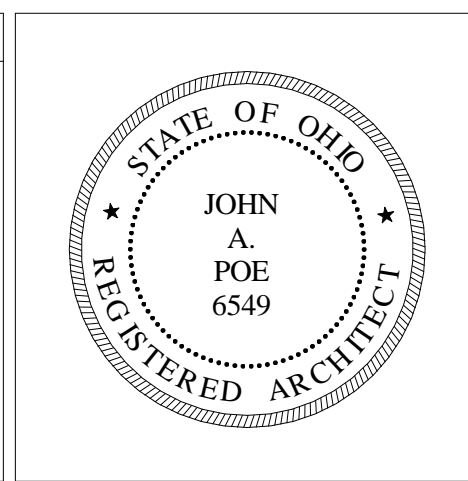


## WALL TYPES

Scale: 1" = 1'-0"

Revisions	Addendum #1	Date
1		4/13/2012

CONSULTANTS:



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Drawing Title
DOOR SCHEDULE & DETAILS
Approved: Project Director

Project Title
FCA REHAB BUILDING 212AB
Location: Chillicothe, Ohio
Date: 2/10/2012
Checked: JR
Drawn: NS
Project No. VA Project No. 538-12-101 JPA Project No. 11007.00
Building Number 212
Drawing Number A601
Dwg. of
Office of Construction and Facilities Management
Department of Veterans Affairs