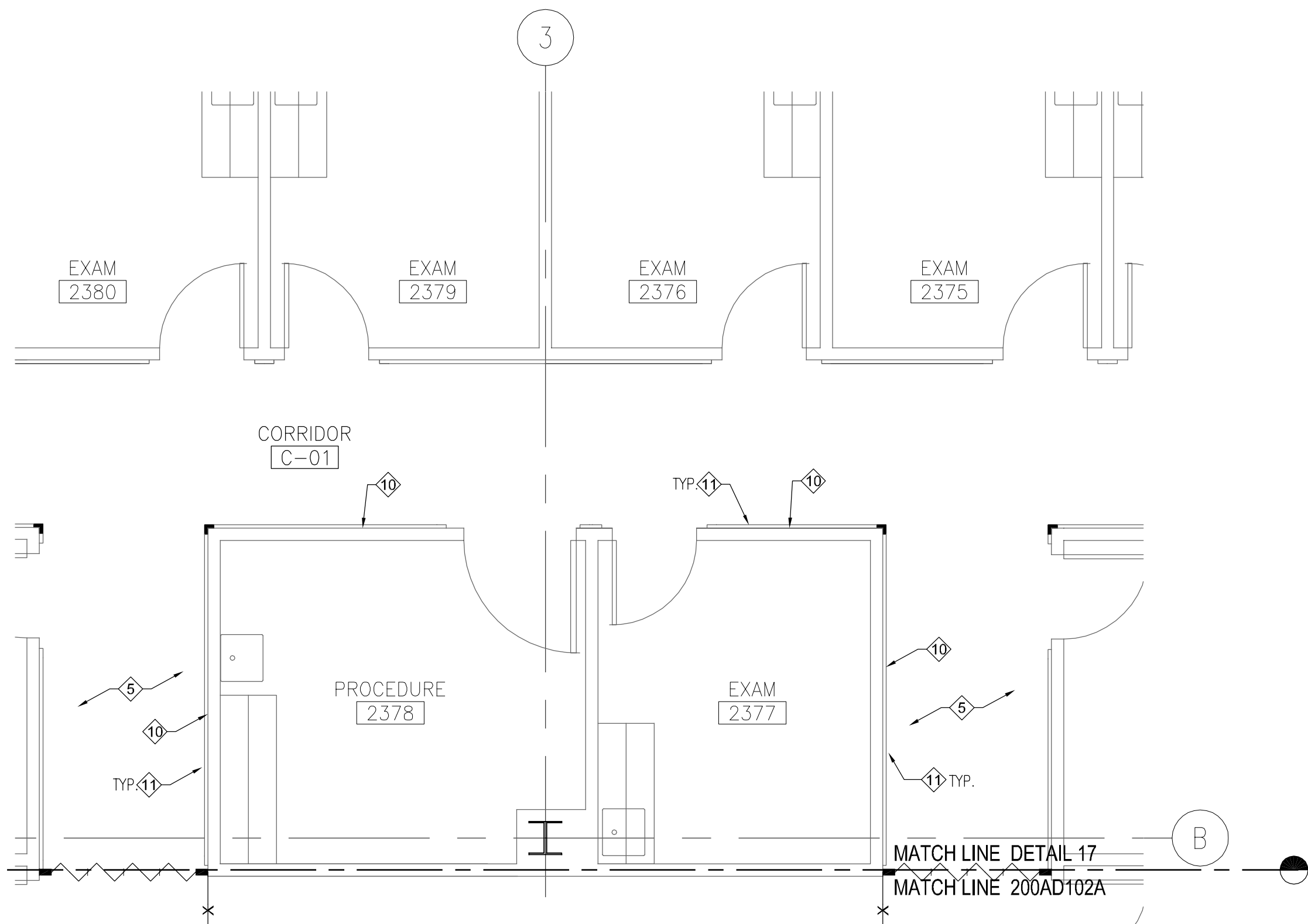


GENERAL NOTES

1. FOR DEMO OF STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL ELEMENT, SEE DRAWINGS OF CORRESPONDING DISCIPLINES.
2. WHEN NEW WORK ABUTS OR FINISHES FLUSH W/ EXISTING WORK, MAKE A SMOOTH & CRAFTSMAN LIKE TRANSITION. PATCH WORK SHALL MATCH EXISTING & ADJACENT WORK IN THE MATERIAL, FINISH, TEXTURE, & APPEARANCE.
3. PATCH OR REPLACE ANY PORTION OF AN EXISTING FINISHED SURFACE THAT IS FOUND DAMAGED, LIFTED, DISCOLORED, OR SHOWING ANY SIGN OF IMPERFECTION W/ MATCHING MATERIALS.
  - A. PROVIDE ADEQUATE SUPPORT OF SUBSTRATE PRIOR TO PATCHING THE FINISH.
  - B. REFINISH PATCHED PORTIONS OF PAINTED OR COATED SURFACES IN SUCH A MANNER AS TO PRODUCE UNIFORM COLOR & TEXTURE OVER THE ENTIRE SURFACE.
  - C. WHEN EXISTING SURFACE FINISH CANNOT BE MATCHED, REFINISH ENTIRE SURFACE TO NEAREST INTERSECTIONS.
4. IN ADDITION TO DEMOLITION SHOWN: CUT, MOVE, OR REMOVE ALL ITEMS AS NECESSARY TO ACCOMMODATE INSTALLATION OF NEW WORK.
5. DEMOLITION OF ASBESTOS IS NOT PART OF THIS CONTRACT. REFER TO "ASBESTOS AND HAZARDOUS MATERIAL NOTE" ON SHEET 0002
6. FOR RELOCATED EQUIPMENT, GENERAL CONTRACTOR TO REMOVE IN SEPARATE PHASE TO TEMPORARY LOCATION DESIGNATED BY THE VA RESIDENT ENGINEER. CONTRACTOR SHALL COORDINATE W/ RESIDENT ENGINEER TO UNINSTALL, REMOVE, RELOCATE, AND RE-INSTALL AS REQUIRED PER VA DIRECTION (I.E. REFRIGERATORS, FREEZERS, ETC)
7. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE DEMOLITION. CONTRACTOR SHALL VERIFY ALL CONDITIONS, AND BRING TO THE ATTENTION OF THE RESIDENT ENGINEER AND THE ARCHITECT ANY DISCREPANCIES PRIOR TO AND DURING CONSTRUCTION.
8. CONTRACTOR SHALL VERIFY ALL DRAWINGS INCLUDING ARCHITECTURAL AND CONSULTANTS TRADE DRAWINGS.
9. ALL SALVAGEABLE ITEMS SHALL BE THE PROPERTY OF THE VA AND SHALL BE REUSED OR STORED WHERE DESIGNATED BY THE VA RESIDENT ENGINEER.
10. WHERE REMOVAL OF PLUMBING FIXTURES, ETC., IS INDICATED, CAREFULLY REMOVE ALL PIPING BACK TO NEAREST MAIN LINES AND CAP.
11. REMOVE EXISTING INTERIOR WALLS OR CEILINGS WHERE INDICATED AND CUT GYPSUM BOARD BACK TO STRAIGHT LINES. RESTORE ALL DAMAGED GYPSUM BOARD WALLS.
12. IF JACK-HAMMERING CORE DRILLING OR CONCRETE SAWING IS GOING TO BE UTILIZED, IT SHALL BE KEPT TO A MINIMUM AND SHALL BE DONE ONLY WITH THE PERMISSION OF THE VA RESIDENT ENGINEER AND AT SUCH TIMES AS DESIGNATED.
13. ALL DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE.
14. PROVIDE TEMPORARY DUSTPROOF PARTITIONS WHERE NECESSARY TO PREVENT INFILTRATION OF DUST INTO OCCUPIED AREAS. PROVIDE TEMPORARY WEATHER PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING FACILITIES AND TO PREVENT DISCOMFORT TO PERSONS IN OCCUPIED AREAS.
16. WHERE EXISTING CONSTRUCTION TO REMAIN IS CUT OR OTHERWISE DISTURBED TO PERMIT INSTALLATION OF NEW WORK, REPAIR AND PATCH TO MATCH EXISTING CONSTRUCTION. USE METHODS AND MATERIALS WHICH ARE SIMILAR IN APPEARANCE AND EQUAL IN QUALITY TO THOSE AREAS BEING REPAIRED.
17. ALL ABANDONED ELECTRICAL CONDUIT OR BOXES, A/C DUCTS OR DIFFUSERS AND TELEPHONE CABLES WILL BE REMOVED BACK TO CLOSEST FEEDER POINT.
18. DEMO ALL EXISTING IMPROVEMENT REQUIRED FOR NEW WORK.

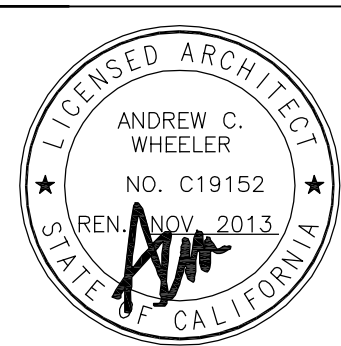


BUILDING 200 WEST- PARTIAL SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

CONSULTANTS:

ARCHITECT/ENGINEERS:



**gkkworks**

155 South Fair Oaks Avenue  
PASADENA | CA 91105  
626 666 6906 | 626 666 3940 fax

VA PROJECT ENGINEER (138E)

CHIEF PROJECT SECTION (138E)

CHIEF, MAINT. AND OPERATIONS (138F)

CHIEF ENGINEER (138)

CHIEF ENVIRONMENT OF CARE (130)

CHIEF ENVIRONMENTAL MANAGEMENT (137)

CHIEF OF FACILITIES MANAGEMENT (10A4)

CHIEF OF STAFF (11)

Drawing Title

**BUILDING 200 WEST- PARTIAL  
SECOND FLOOR DEMOLITION PLAN**

ASSOCIATE DIRECTOR ADMINISTRATION SUPPORT (10A)

DIRECTOR (00)

Project Title

**BUILDING 200  
2ND. FLOOR WEST RENOVATION**

Location  
1611 PLUMMER AVENUE  
NORTH HILLS, CA 91343

Date  
01/23/2012

Checked  
-

Drawn  
-

Project Number  
691A4-12-104SM

Building Number  
200

Drawing Number  
200

Dwg. -- of --

Office of  
Construction  
and Facilities  
Management

Department of  
Veterans Affairs

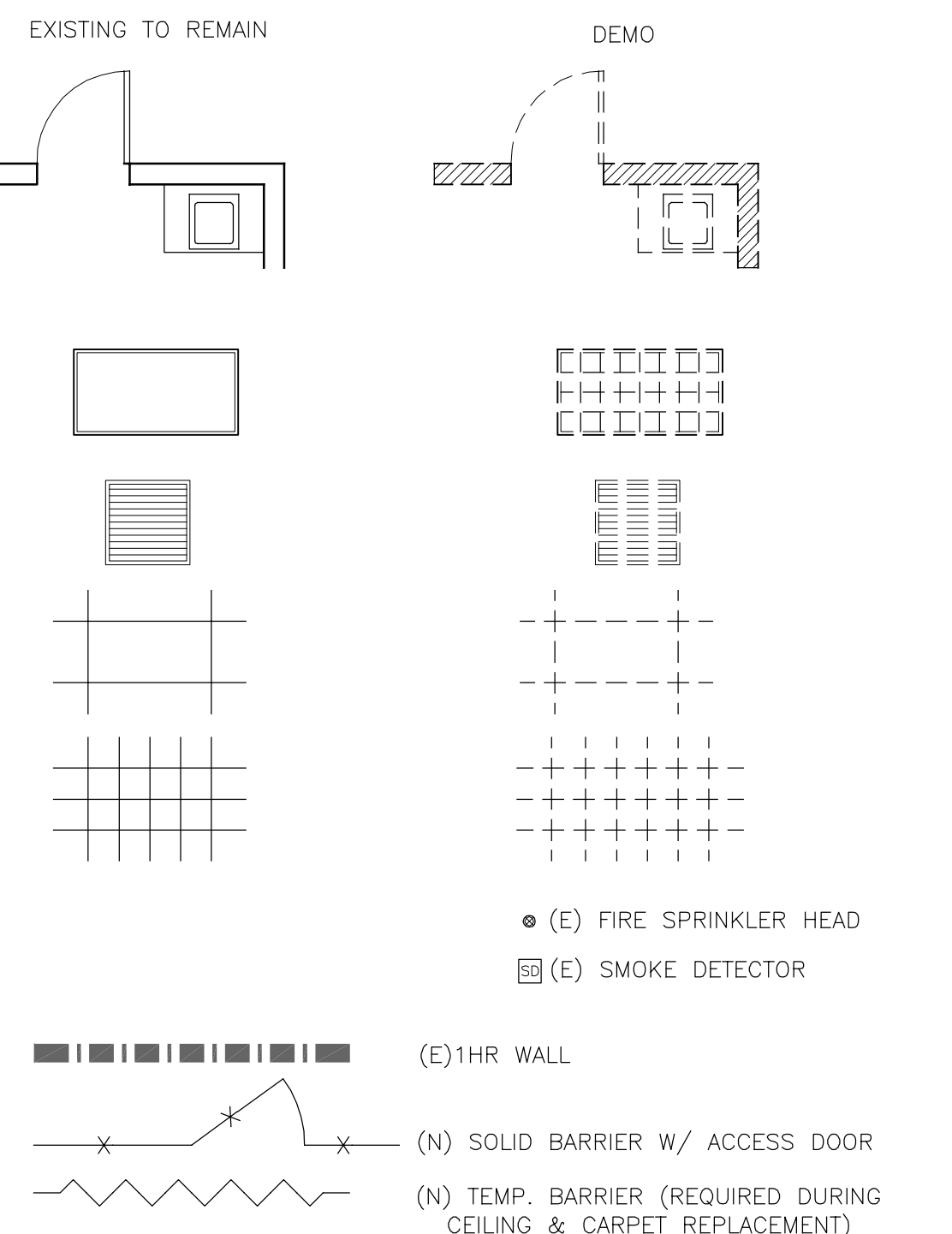
DEMOLITION KEYNOTES

FLOOR PLAN

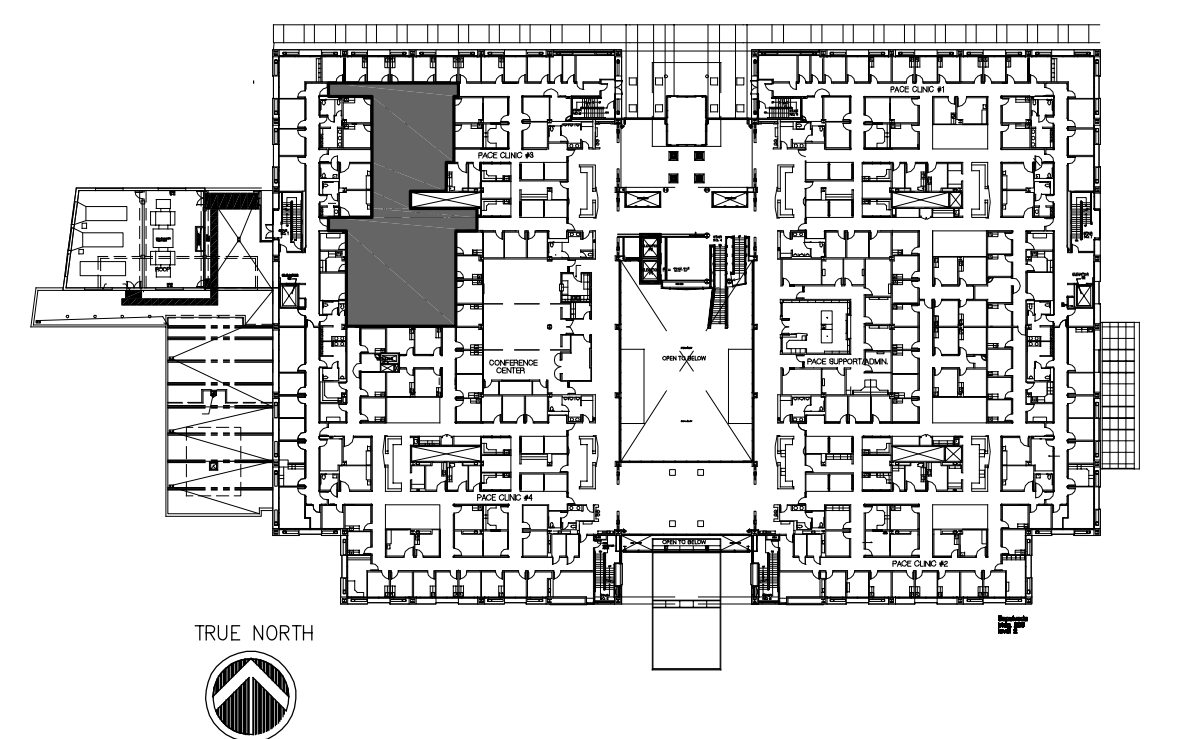
- 1 DEMO (E) PORTION OF WALL FOR NEW WORK-- SEE RENOVATION PLAN FOR EXTENTS OF NEW WORK.
- 2 DEMO (E) DOOR AND FRAME.
- 3 DEMO (E) BUILT-IN CASEWORK FOR NEW WORK.
- 4 DEMO (E) PLUMBING FIXTURES AND ACCESSORIES. SEE PLUMBING DRAWINGS.
- 5 DEMO (E) FLOOR FINISHES, PATCH AND REPAIR AS NEEDED TO RECEIVE NEW FLOOR FINISH. REFERENCE FINISH PLAN FOR EXTENTS OF DEMOLITION WORK.
- 6 DEMO (E) WALL MOUNT EQUIPMENT, PATCH & REPAIR WALL AS REQUIRED TO FINISH WALL TO LEVEL 5 FINISH FOR REWORK.
- 7 REMOVE PORTION OF (E) WOOD CHAIR RAIL AND CRASH RAIL AT WALLS BEING REMOVED.
- 8 REMOVE PORTION OF NON-BEARING MTL. FRAMING AT THE (E) DOOR OPENING TO ACCOMMODATE THE PLACEMENT OF A (N) ENLARGED DOOR-- SEE SCHEDULE FOR SIZE.
- 9 (E) DOOR AND FRAME TO REMAIN-- PROTECT IN PLACE.
- 10 REMOVE ENTIRE (E) WALL COVERING AT THIS WALL-- PATCH AND REPAIR WALL AS REQUIRED TO ACHIEVE A LEVEL 5 FINISH.
- 11 (E) WOOD CHAIR RAIL AND CRASH RAIL TO REMAIN-- PROTECT IN PLACE.
- 12 DEMO (E) WALL FINISH TO FRAMING (COMPLETE GUT). PREP FOR NEW WORK.
- 13 (E) BUILT-IN CASEWORK TO REMAIN-- PROTECT IN PLACE.
- 14 REMOVE (E) FREESTANDING FURNISHINGS, CABINETS, WALL MOUNTED ACCESSORIES AND FIXTURES AT AREA OF NEW WORK, COORDINATE LOCATION WITH OWNER FOR TEMPORARY STORAGE OR STAGING OF MATERIAL.
- 15 REMOVE PORTION OF (E) WALL TO ACCOMMODATE INSTALL OF NEW WINDOW-- SEE RENOVATION PLAN.

Sketch #2

LEGEND



KEYPLAN



BUILDING 200 WEST- PARTIAL SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

