

Addendum



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June 3, 2012

To: **VA Central Iowa Healthcare System**
Attn: **Steve Long**
3600 30th Street
Des Moines, IA **50310**

Re: Contractor Questions and Amendment Comments on 636A6-11-906 Upgrade Stairwells

Item 1: What does the symbol of the letter “SC” inside a circle on sheet ME102 on Stairwell #1 mean? It was not found on the legend.

This refers to a security camera. All security cameras on this project are existing to remain. Note, however, that these cameras must be temporarily removed so that the walls may be painted as the VA directs that all surface mounted devices in the stairwells are to be removed and the wall painted behind them.

Item 2: General note 1 — Paint is assumed to contain lead, etc. Is all paint to be removed prior to new painting?

Replace General Note #4 on sheet AS-1.0 and General Note #1 on sheets AS-2.0 through AS-2.9 with the following text: "The contractor is not responsible for lead paint testing. It is assumed that there is lead present in paint and that the contractor shall observe lead-safe work practices when removing existing paint or preparing surfaces for new paint." Refer also to Item #22 in this addendum.

Item 3: Will contractors be able to access stairwell #3 from floor 1 or will access only be available from floor 2?

Plan to access Stairwell #3 through the second floor of Building 2. The areas outside of both doors on the first level of Stairwell #3 are construction zones which may not be available during the construction period for this stairwell.

Item 4: At the first floor of stairwell 3 an exit light is shown to be installed, will wire mold be allowed for this installation?

Yes. Note that the wall must be painted behind the wire mold then the wire mold itself must be painted as well.

Item 5: Will the stairwells be closed during the construction project?

Stairwells will be closed for the duration of each phase. Phases are NOT flexible. The closure of these stairwells has been approved by VAMC Life Safety in this grouping only.

Item 6: In stairwell #4, is there a detail for the rated ceilings to be built?

Refer to the attached addendum sketch AS-2 for clarifications.

Item 7: Stairwell #4 – A wall mounted light is to be installed on the north wall. This installation will require either wire mold or EMT.

Use wire mold. Refer also to the painting note in Item #4 of this addendum.

Item 8: Is asbestos containing material present in any stairwells?

May 21, 2012

Yes — asbestos floor tile and/or mastic beneath existing floor tile occur in Stair #s 8, 10 and 14. There is approximately 500 square feet of tile in Stair #8, 430 square feet of tile in Stair #10 and 350 square feet of tile in Stair #14.

Item 9: In stairwell #6, windows are shown to be infilled. How?

Metal studs and gypsum board. Construct the infill per detail 2/AS-2.6.

Item 10: Are stair treads being replaced?

Yes — see revised finish schedule shown in the reissued sheet AS-3.0.

Item 11: Are speakers being replaced?

No — all stairwell speakers are existing to remain. Note, however, that these speakers must be temporarily removed so that the walls may be painted as the VA directs that all surface mounted devices in the stairwells are to be removed and the wall painted behind them.

Item 12: Prior to replacement, will old flooring, stair treads and risers need to be removed?

Yes. Refer also to Item #10 in this addendum.

Item 13: Does the 2.5 foot horizontal crack on the wall extending from the upper right corner of the window on the landing between the first floor and the second floor in Stairwell #5 and the crack in the fourth level of Stairwell #6 need to be fixed?

Yes they do. Refer to the attached Sketches AS-3, AS-4, AS-5, AS-6, and AS-7 which modify the construction documents to add crack repair to the contract. Add the following general note to sheets AS-2.0 through AS-2.9: "Repair all cracks in masonry walls within stairwells by raking out loose mortar, patching, and repair joint prior to painting. Verify conditions on site."

Item 14: Windows with safety grates — remove grates, clean/remove rust, and reinstall after new windows are installed.

Ensure that grates do not conflict with new windows.

Item 15: Can new lights be fed with wire mold?

Where no conduit exists to pull new wire through, wire mold will be acceptable for running wires to new fixtures. Refer also to Item #4 in this addendum.

Item 16: Will sprinklers be modified?

Refer to drawings and the specifications for work to be done.

Item 17: Is there a better detail for the stair interrupters to be installed?

Installation of interrupters will be dictated by conditions in each stairwell, the distance to be spanned by the interrupter, the egress path in each stairwell, and the specifications of the interrupter chosen by the contractor. New interrupters will not be allowed to impede egress paths, which may require different models of interrupters to be installed in different stairwells. Details will be addressed during the submittal process. See Stairwell #15 for an example of one type of interrupter that may be installed.

May 21, 2012

Item 18: On intermediate landings, where a new fixture is called for, is it acceptable to install the new fixture on the old work box?

Yes — reusing existing backboxes and conduit is acceptable provided that the boxes and conduit are in acceptable condition, securely mounted, and positioned correctly for the new work. Refer also to Item #32 in this addendum.

Item 19: In stairwell #9, is the exposed EMT to remain after the project?

Yes — it will remain in-place during construction in this stairwell. The EMT should be painted to match the wall it is attached to.

Item 20: Stairwell #12 – Pipes call for fire caulking to be installed. Is the caulking all to be removed and then reapplied?

Yes — refer to Sketch AS-8 for modifications to detail 1A/AS-2.7 which will clarify the contract work.

Item 21: Are all penetrations in stairwells to be re caulked?

Only in areas shown on the drawings.

Item 22: Stairwell #13 — paint to be removed. Will all paint be required to be removed or just selected areas?

Remove what is necessary for proper adhesion of new paint. Refer also to Item #2 in this addendum.

Item 23: Are contractors to assume that stairwell doors will clear new floor finishes to be installed?

Yes — assume that new finish floor elevations will allow doors to open without interference. If interference is found during the construction period, notify the A/E and COR for action.

Item 24: In several locations, light fixtures are acting as a raceway for electric wiring. When new lights are installed, new raceway may be required to make up the difference in fixture length.

We agree with that statement.

Item 25: Will work in Stairwell #16 require scaffolding?

This determination is up to the contractor. Due to the height of the work and size of the stairwell, the design team assumes that scaffolding will be used.

Item 26: Work appears to overlap between this project and the 3B renovation project. Will work be removed from this scope?

Remove window infill work shown in detail 2C/AS-2.6. All other work will remain part of this contract. Refer to attached Sketch AS-7.

Item 27: Are the specific requirements for the radiator covers addressed in the specifications?

The Contractor will have some leeway to determine the best way to custom fabricate this cover. Any cover needs to meet the general requirements of specification 05 50 00 Metal Fabrications. The replacement cover should be of similar construction, materials, and durability as the original that it is replacing.

Item 28: If wire mold is required should it be included in the estimate?

Yes. Refer also to Item #4 in this addendum.

Item 29: Is there flexibility on the phasing schedule?

No — this schedule was the only schedule that was determined to accomplish the work without hindering the service requirements of the building. Refer also to Item #5 in this addendum.

May 21, 2012

Item 30: If there are security cameras in a stairwell, will they remain in place?

Yes — all security cameras must be restored to operation at the end of the particular phase that they are removed in. Note, however, that these cameras must be temporarily removed so that the walls may be painted without “cutting in” around surface mounted items. Refer also to Item #1 of this addendum.

Item 31: Is it required to replace the rubber floor tread and the risers? Or just the floor tread?

Floor tread and risers. See revised finish schedule shown on the reissued sheet AS-3.0 and refer to Item #10 in this addendum.

Item 32: Are the elevations specified in the plans for the new light fixtures the same as the elevations of the lights being replaced?

Not always. The new light fixtures are required to be installed at the levels specified which is not always the elevation of the the light fixtures being replaced. Refer also to Item #18 in this addendum.

Item 33: Do the grates that are currently covering the windows in the stairwells need to be replaced after the upgrade of the windows?

Yes, after windows requirements are addressed, the grates must be reinstalled. Refer also to Item #14 of this addendum.

Item 34: Does the incandescent Exit light in S/W 16 on the 1st floor, currently listed as an existing fixture, actually need to be replaced?

Yes — mark this fixture, shown in detail 2A/ME111, as having demo hatching and show a new type 3 wall-mount exit light being installed in its' place in detail 2A/ME210. The new exit light shall mount in the same location as the existing.

Item 35: Details 1A/AS-2.0 and 2A/AS-2.0 – Delete the requirement for a new cage to be under the stairs at the first floor level of stairwells 1 and 2.

See Sketch AS-1

Item 36: Detail 2A/AS-2.1 – Delete the requirement to construct a rated enclosure in the basement level of stairwell #4. Replace rated enclosure with a chain link cage and lockable gate.

See Sketch AS-2

Item 37: Detail 2A/AS-2.9 – Delete the requirement to construct a rated enclosure at the first floor level of stairwell #16. Replace rated enclosure with a chain link cage and lockable gate.

See Sketch AS-9

Item 38: Doors S8.0, S12.0B, and S14.2A are called out on the drawings as new doors but the door schedule shows them as keeping the existing door. Which one is correct?

Refer to revised door schedule on reissued sheet AS-3.0

Item 39: For the storage room in stairwell #4, the new door is not on the door schedule. Do we assume the same door as used in the new storage room in stairwell #16?

Refer to Item 37 of this document.

Item 40: Please advise on the window schedule which windows are to be fire rated and which ones aren't. Section 085113 is calling for aluminum hung windows. The drawings are showing that the windows are to be fire-rated and have integral blinds. You cannot get an operable fire-rated window with integral blinds.

Windows in Stairwell #4 will be double hung, aluminum windows with integral blinds.

Windows in all other stairwells will be fire rated, fixed windows. Integral blinds will not be required for these windows.

Item 41: Can a quantity or report for lead paint be issued for this project?

May 21, 2012

No report or estimated quantity of paint to be removed, of any kind, will be issued for this project. Areas where paint is known to be peeling were toured during the pre-bid visit. Refer also to Item 22 of this amendment.

Item 42: The specs reference abatement; it states that payment, (if necessary) is in accordance with bid items on the bid tabulation sheet. Where is this tabulation sheet and is asbestos present?

The tabulation sheet was omitted from the manual in error. Refer to Item 8 of this amendment for estimated quantities of asbestos containing material requiring abatement.

Item 43: Sheet AS-2.1, 1A – Note calls for new signage. Are there specs for signage or a detail for the new signs?

Delete this work item; signage details have not been included in this project.

Item 44: The Finish Schedule calls for rubber flooring. Is there a spec for the flooring? Does the new rubber flooring get installed over existing flooring? What are existing flooring conditions.

Refer to the revised finish schedule on reissued sheet AS-3.0. Rubber flooring will not be used. Rubber stair treads and risers will be installed on stairs and VCT flooring will be installed on landings. Refer also to Item 8 for clarification on existing conditions.

Item 45: Stairwell 6, AS-2.3; is window infill to be metal stud and drywall? Infill type not specified.

Refer to detail 2/AS-2.6 for a detail of how the window should be infilled.

Item 46: Stairwell 12, AS-2.7; please quantify and identify penetrations that require fire caulking.

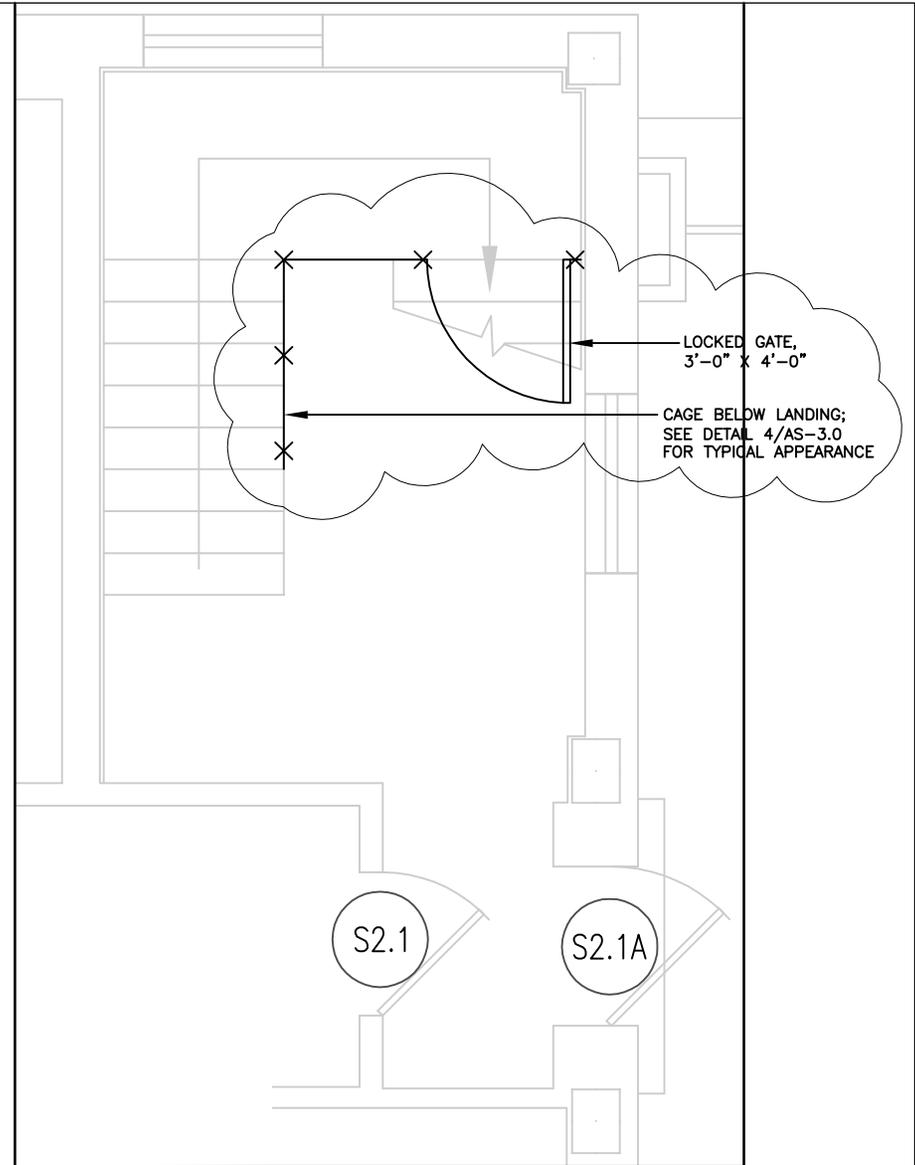
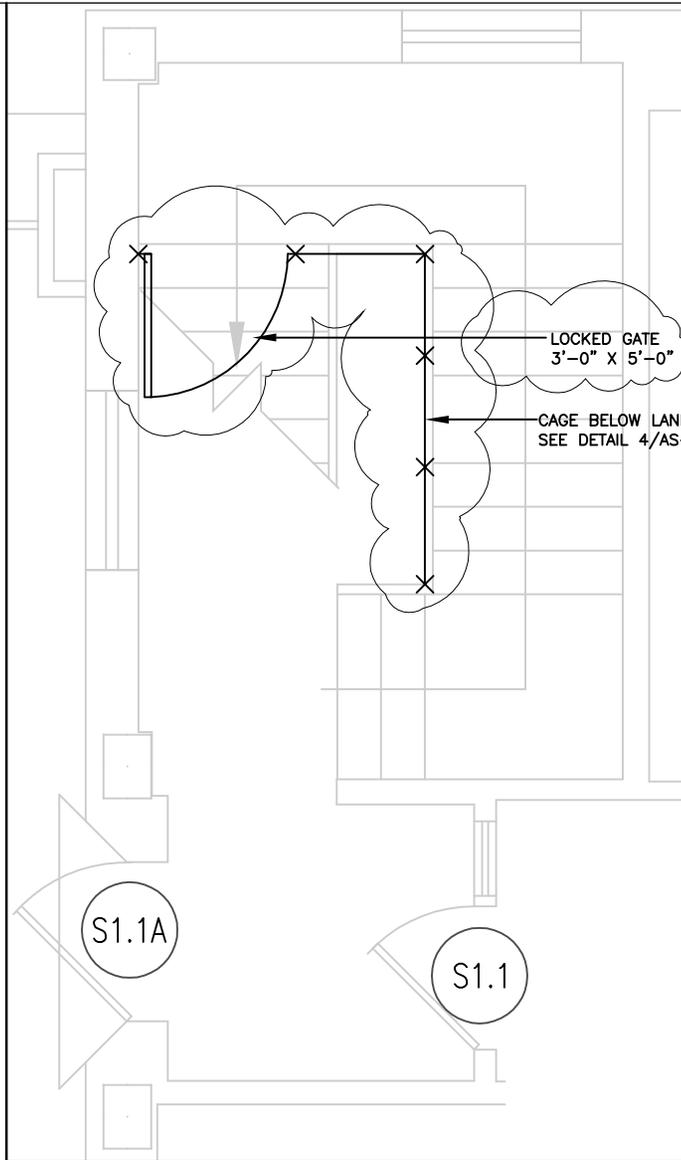
All penetrations at the basement level of stairwell will require fire caulking. See Item 20 of this amendment for additional clarification.

Item 47: Project manual section 01 33 23 has been revised.

See attached section and replace the current manual section in its entirety.

Item 48: How will other projects affect these work areas?

In cases where a stairwell is adjacent to or included in another project work area, coordinate access and work activities with the CO and COR. In cases where work is apparently included in another construction project, the contract requirements have been coordinated internally by the VA. Work shown in the contract drawings is to be included in the bid for this construction project.

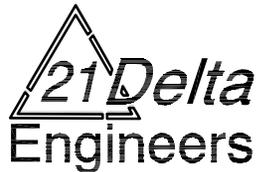




STAIRWELL #1
BUILDING 5, 1st FLOOR
SCALE: 3/8" = 1'-0"



STAIRWELL #2
BUILDING 5, 1st FLOOR
SCALE: 3/8" = 1'-0"



DATE: 05/21/2012
 PROJ. #: 636A6-11-906
 DRAWING REF: AS-2.0

Des Moines VAMC
Upgrade Stairwells
Addendum

SKETCH NO.

AS-1

SKETCH NO.

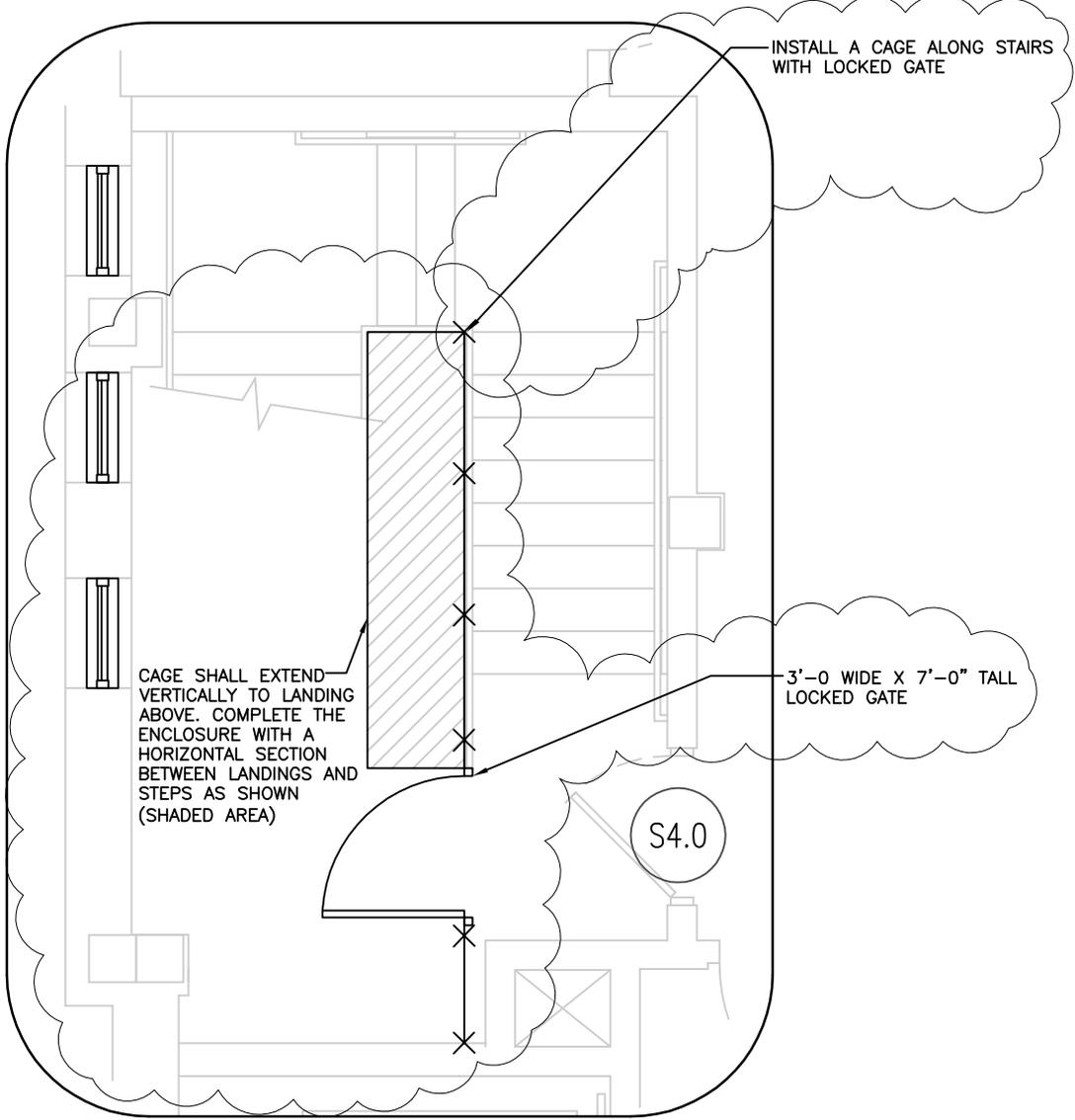
AS-2

Des Moines VAMC Upgrade Stairwells Addendum

DATE: 05/21/2012

PROJ. #: 636A6-11-906

DRAWING REF: AS-2.1




STAIRWELL #4
2A BUILDING 2, BASEMENT
 AS-2.1 SCALE: 1/4" = 1'-0"

SKETCH NO.

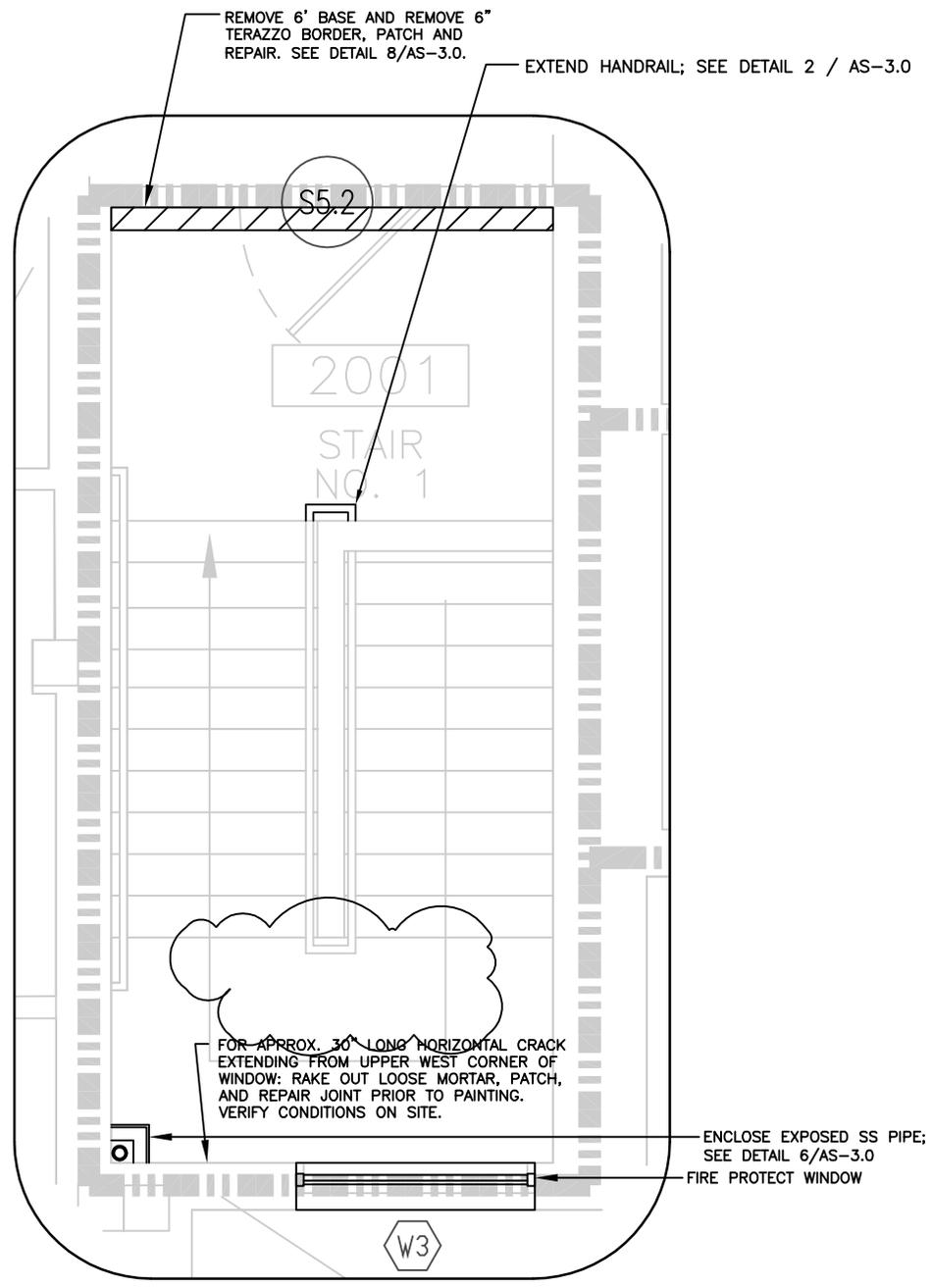
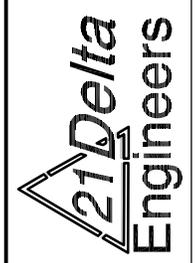
AS-3

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Addendum

DATE: 05/21/2012

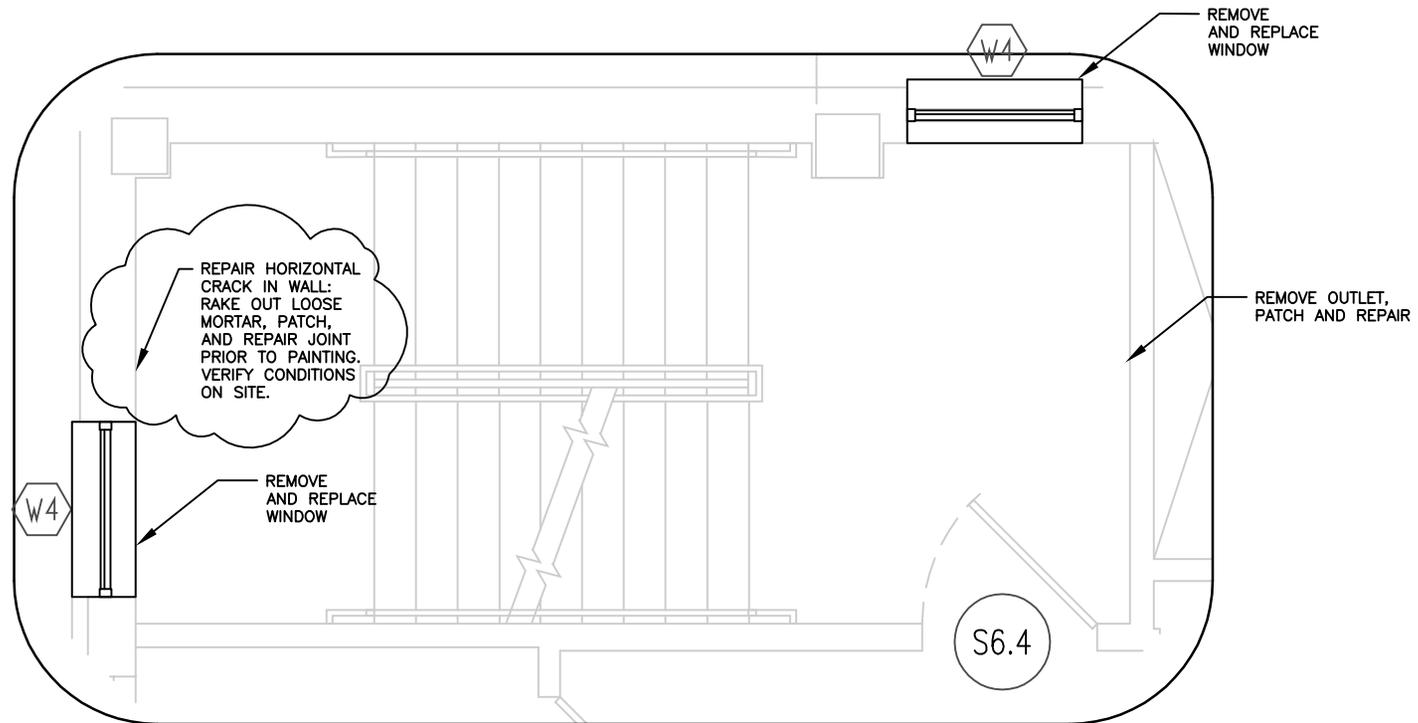
PROJ. #: 636A6-11-906

DRAWING REF: AS-2.2





STAIRWELL #5
BUILDING 2, 2nd FLOOR
AS-2.2 SCALE: 3/8" = 1'-0"





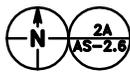
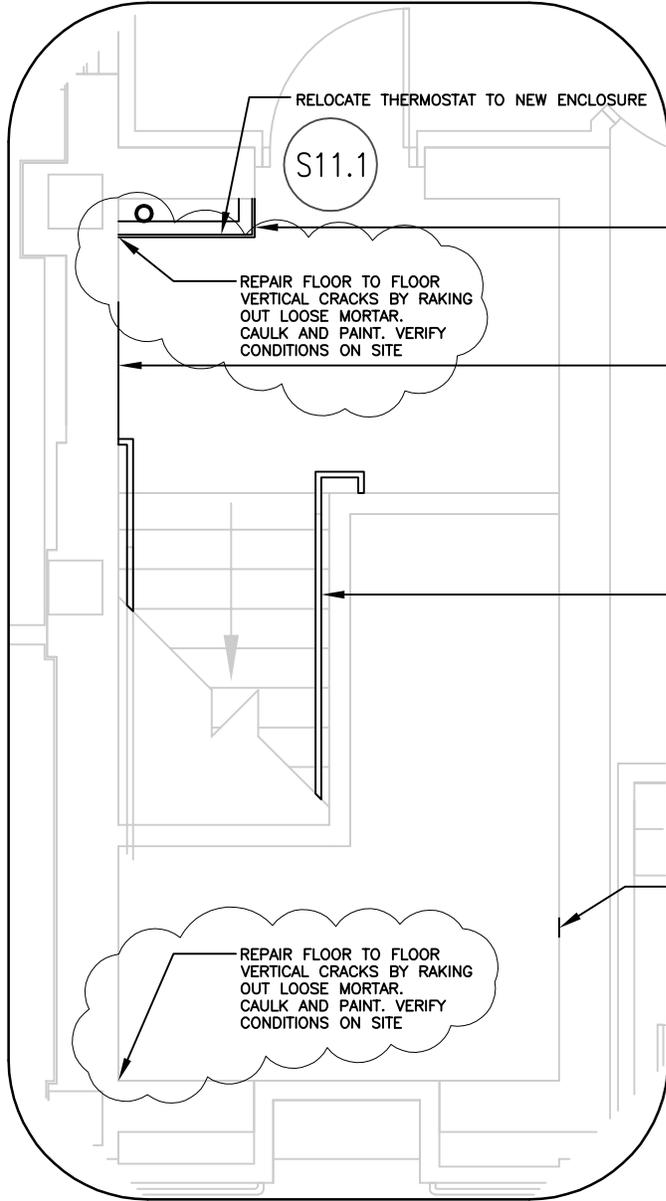
STAIRWELL #6
BUILDING 1W, 4th FLOOR
SCALE: 3/8" = 1'-0"



DATE: 05/21/2012
 PROJ. #: 636A6-11-906
 DRAWING REF: AS-2.3

Des Moines VAMC
 Upgrade Stairwells
 Addendum

SKETCH NO.
AS-4



STAIRWELL #11
 BUILDING 1, 1st FLOOR
 AS-2.6 SCALE: 3/8" = 1'-0"

- RELOCATE THERMOSTAT TO NEW ENCLOSURE
- ENCLOSE EXPOSED PIPE; SEE DETAIL 6/AS-3.0
- REPAIR FLOOR TO FLOOR VERTICAL CRACKS BY RAKING OUT LOOSE MORTAR. CAULK AND PAINT. VERIFY CONDITIONS ON SITE
- PATCH AND REPAIR EXISTING, FEATHER OUT TO EXISTING
- REMOVE HANDRAILS AND REPLACE WITH NEW
- REMOVE COVER PLATE, PATCH AND REPAIR
- REPAIR FLOOR TO FLOOR VERTICAL CRACKS BY RAKING OUT LOOSE MORTAR. CAULK AND PAINT. VERIFY CONDITIONS ON SITE

SKETCH NO.
AS-5

**Des Moines VAMC
 Upgrade Stairwells
 Addendum**

DATE: 05/21/2012
 PROJ. #: 636A6-11-906
 DRAWING REF: AS-2.6



SKETCH NO.

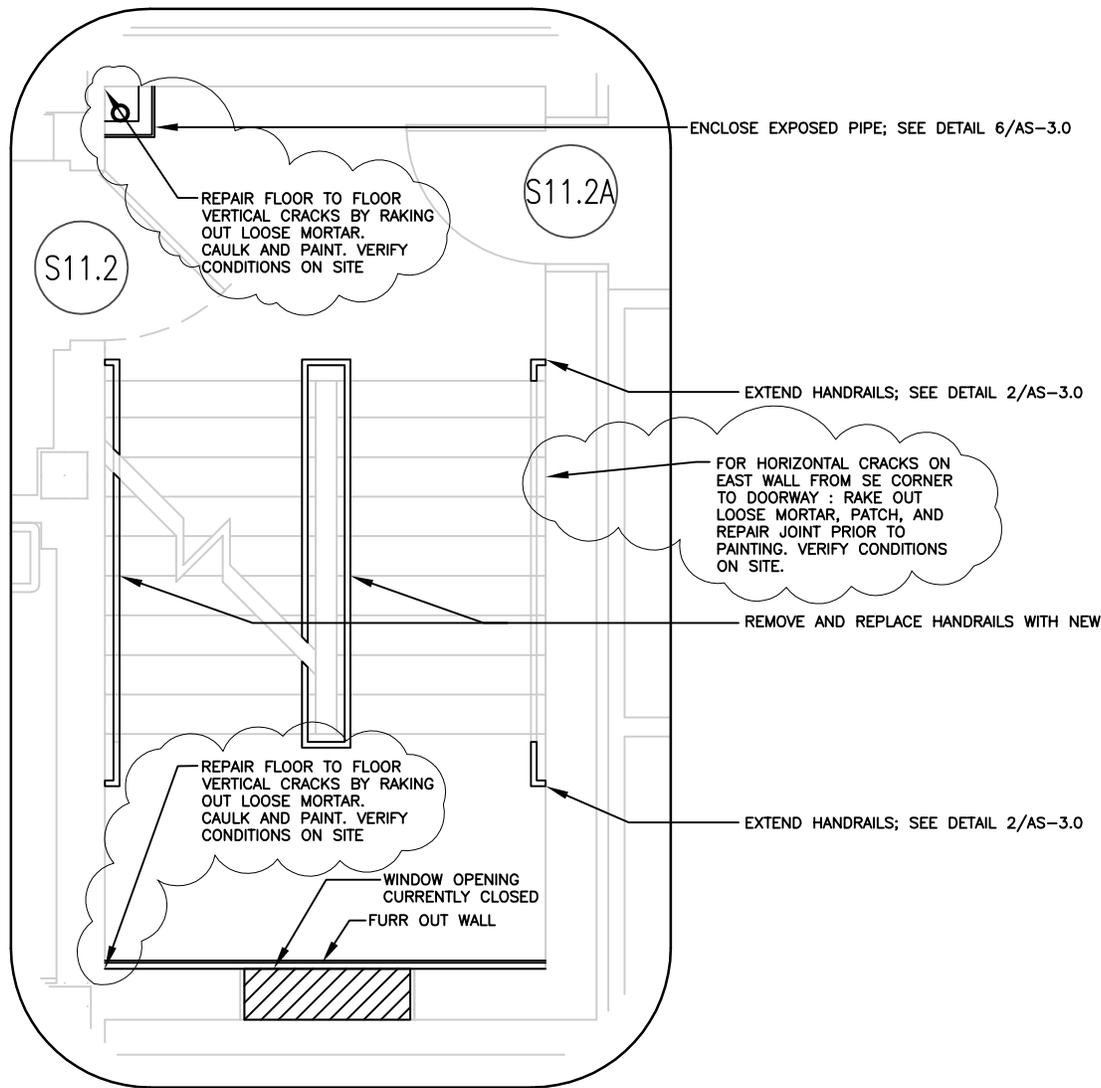
AS-6

Des Moines VAMC Upgrade Stairwells Addendum

DATE: 05/21/2012

PROJ. #636A6-11-906

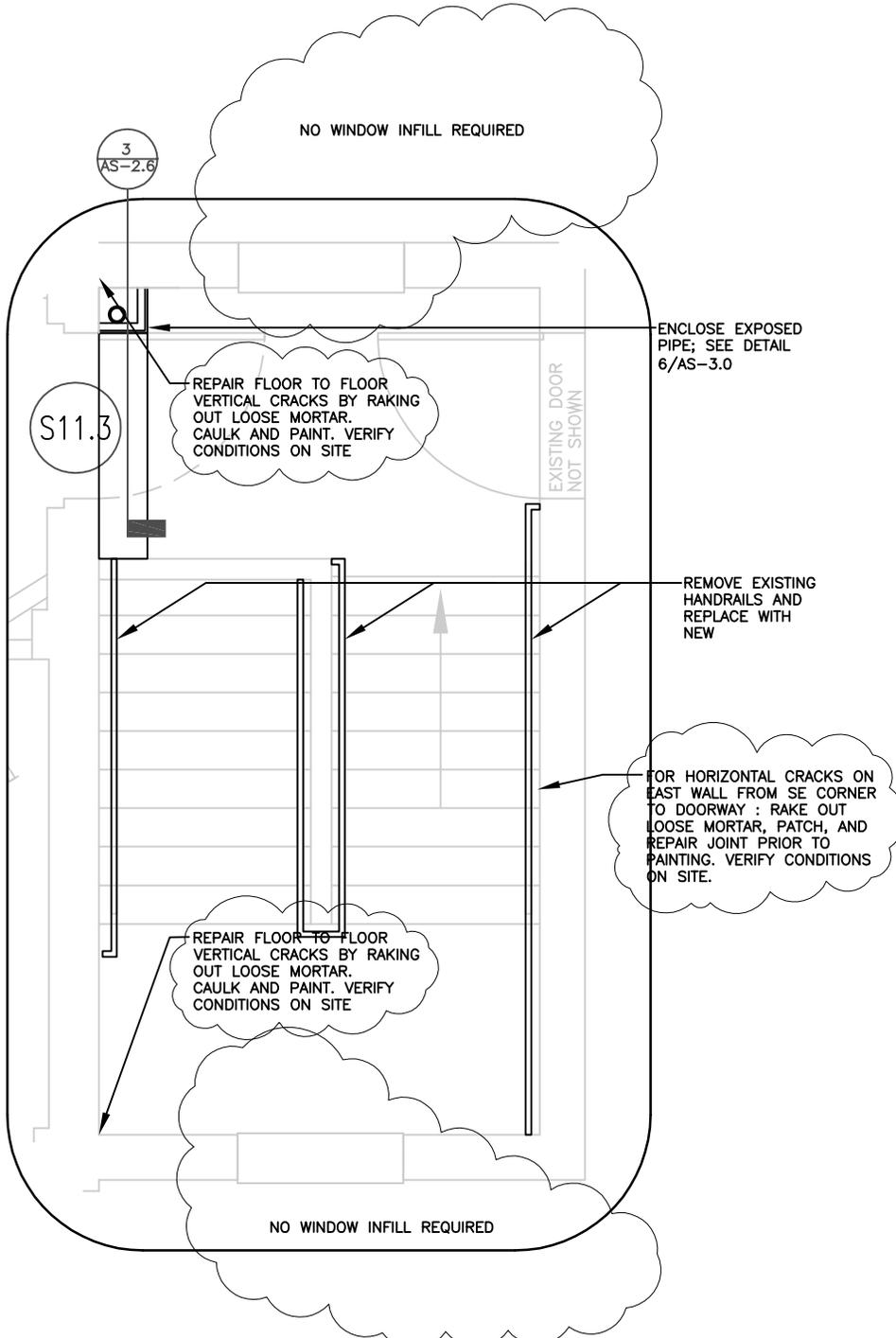
DRAWING REF: AS-2.6





STAIRWELL #11
BUILDING 1, 2nd FLOOR
 AS-2.6 SCALE: 3/8" = 1'-0"



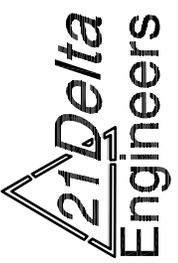


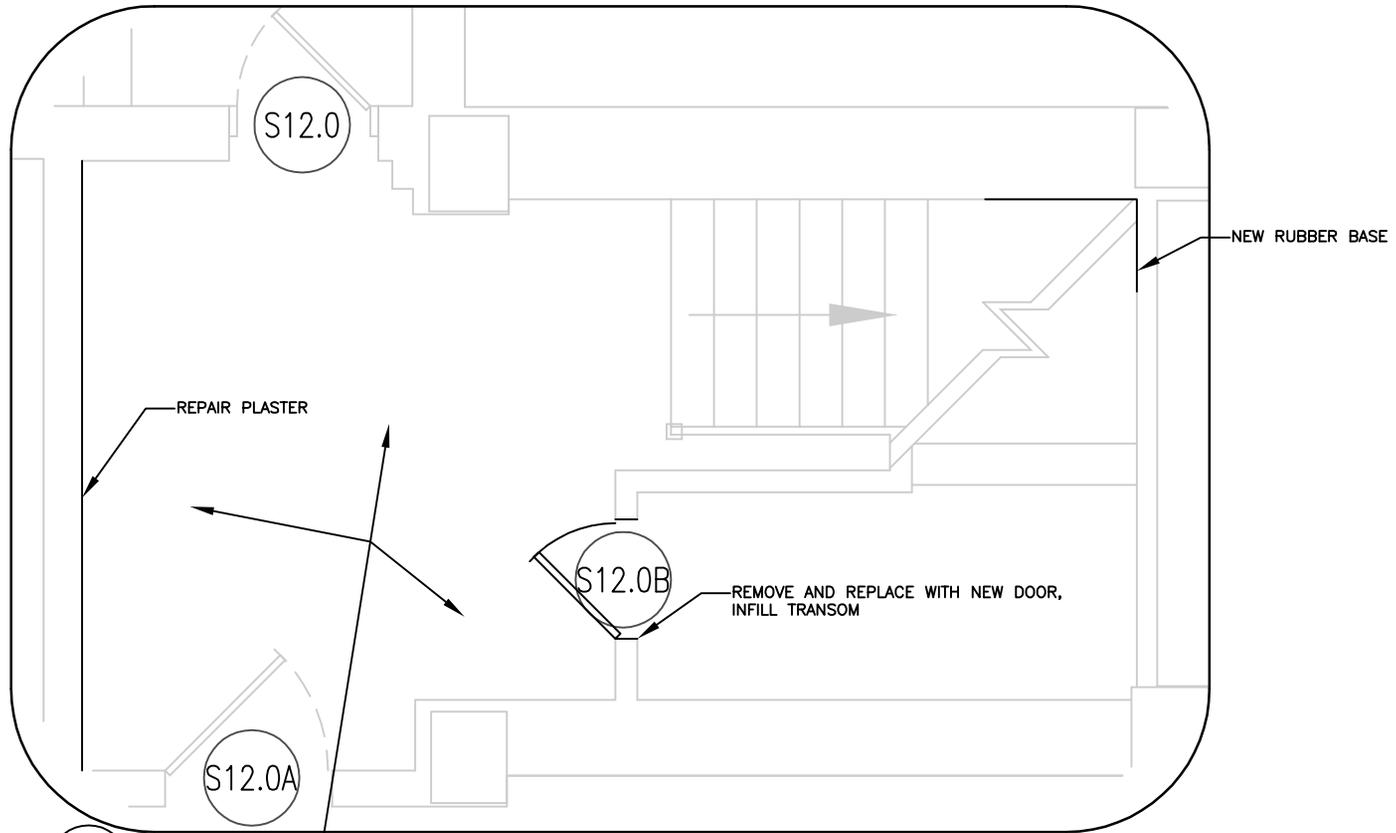

STAIRWELL #11
2C BUILDING 1, 3rd FLOOR
 AS-2.6 SCALE: 1/4" = 1'-0"

SKETCH NO.
AS-7

Des Moines VAMC
Upgrade Stairwells
Addendum

DATE: 05/21/2012
 PROJ. #: 636A6-11-906
 DRAWING REF: AS-2.6





GENERAL NOTE:
 REMOVE EXISTING EXPOSED FIRE CAULK AND INSTALL NEW FIRE CAULK FOR ALL PIPE PENETRATIONS ON THIS LEVEL. WHERE ESCUTCHEONS ARE PRESENT, REMOVE AND INSTALL NEW FIRE CAULK. NO ESCUTCHEONS ARE TO BE REINSTALLED. ALL NEW FIRE CAULKING IS TO REMAIN EXPOSED AND UNPAINTED.



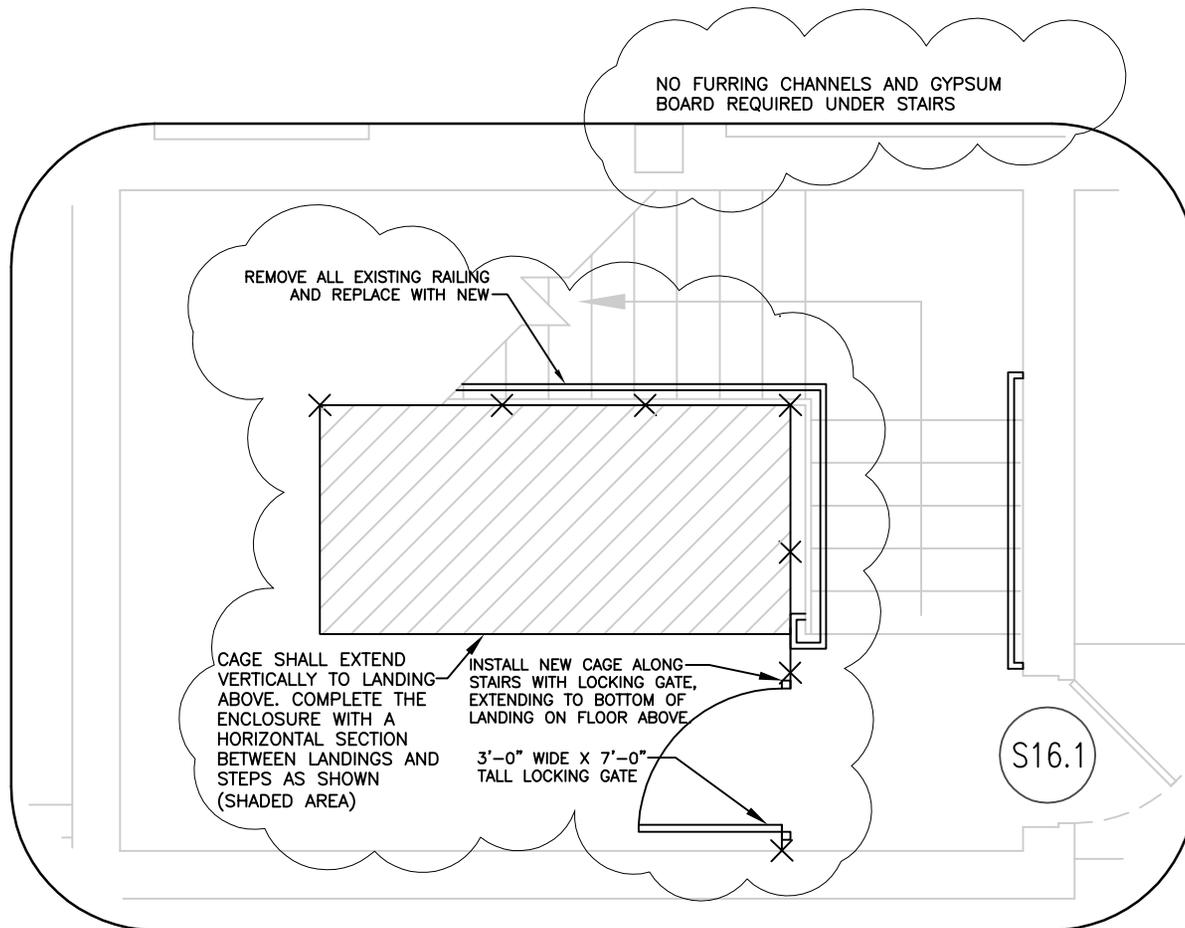
STAIRWELL #12
 BUILDING 1, BASEMENT
 AS-2.7 SCALE: 1/4" = 1'-0"



DATE: 05/21/2012
 PROJ. #: 636A6-11-906
 DRAWING REF: AS-2.7

Des Moines VAMC
 Upgrade Stairwells
 Addendum

SKETCH NO.
AS-8



STAIRWELL #16
 BUILDING 4, 1st FLOOR
 AS-2.9 SCALE: 1/4" = 1'-0"



DATE: 05/21/2012

PROJ. #: 636A6-11-906

DRAWING REF: AS-2.9

Des Moines VAMC
 Upgrade Stairwells
 Addendum

SKETCH NO.

AS-9

STAIR DOOR SCHEDULE

DOOR NUMBER	SIZE (W X H)	DOOR		FRAME		FIRE LABEL	REMARKS
		MATL.	TYPE	DEPTH	MATL. TYPE		
S11	EXISTING	WOOD					
S11A	EXISTING	HM					
S12	EXISTING	WOOD					
S13	EXISTING	WOOD					
S2.1	EXISTING	WOOD					
S2.1A	EXISTING	HM					
S2.2	EXISTING	WOOD					
S2.3	EXISTING	WOOD					
S3.1	EXISTING	HM					
S3.2	NEW	WOOD	1	F.V.	HM	M1	90 MIN RE-USE EXISTING HARDWARE, FRAME
S4.0	EXISTING	HM					
S4.1	EXISTING	HM					
S4.2	EXISTING	HM					
S4.2A	EXISTING	HM					
S5.0	EXISTING	HM					
S5.0A	NEW	WOOD	1	F.V.	HM	M1	90 MIN RE-USE EXISTING HARDWARE, FRAME
S5.0B	EXISTING	HM					
S5.1	EXISTING	HM					
S5.1A	EXISTING	HM					
S5.2	EXISTING	HM					
S6.0	EXISTING	HM					
S6.0A	EXISTING	HM					
S6.1	EXISTING	HM					
S6.1A	EXISTING	HM					
S6.2	EXISTING	HM					
S6.3	EXISTING	HM					
S6.4	EXISTING	HM					
S6.5	EXISTING	HM					
S7.0	EXISTING	HM					
S7.0A	EXISTING	HM					
S7.1	EXISTING	HM					
S7.2	EXISTING	HM					
S7.3	EXISTING	HM					
S7.4	EXISTING	HM					
S7.5	EXISTING	HM					
S7.5A	EXISTING	HM					
S8.0	NEW	WOOD	1	EXIST	EXIST	M1	90 MIN RE-USE EXISTING HARDWARE, FRAME
S8.1	EXISTING	HM					
S8.1A	EXISTING	HM					
S8.1B	EXISTING	HM					
S8.2	EXISTING	HM					
S8.3	EXISTING	HM					
S8.4	EXISTING	HM					
S8.4A	EXISTING	HM					
S9.1	EXISTING	HM					
S9.1A	EXISTING	HM					
S9.2	EXISTING	HM					
S9.3	EXISTING	WOOD					
S10.1	EXISTING	HM					
S10.1A	EXISTING	HM					
S10.2	EXISTING	WOOD					
S10.3	EXISTING	WOOD					
S11.1	EXISTING	HM					
S11.2	EXISTING	HM					
S11.2A	EXISTING	HM					
S11.3	EXISTING	WOOD					
S12.0	EXISTING	HM					
S12.0A	EXISTING	HM					
S12.0B	NEW	WOOD	1	EXIST	EXIST	EXIST	90 MIN
S12.1	EXISTING	WOOD					
S12.1A	EXISTING	HM					
S12.2	EXISTING	HM					
S12.3	EXISTING	HM					
S12.4	EXISTING	HM					
S12.5	EXISTING	HM					
S12.5A	EXISTING	HM					

NOTE: ALL NEW AND EXISTING DOORS ON SCHEDULE ARE TO BE REFINISHED. ALL EXISTING DOORS AND FRAMES SHALL BE REFINISHED AS A PART OF THIS CONTRACT. PREP AND PAINT METAL DOORS. SAND, PREP, AND STAIN WOOD DOORS. SEE SPECIFICATIONS. FINISH NEW DOORS AS SPECIFIED.

STAIR DOOR SCHEDULE CONTINUED

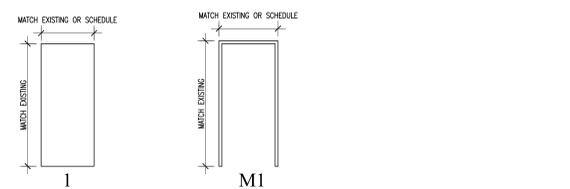
DOOR NUMBER	SIZE (W X H)	DOOR		FRAME		FIRE LABEL	REMARKS
		MATL.	TYPE	DEPTH	MATL. TYPE		
S13.1	EXISTING	HM					
S13.2	EXISTING	WOOD					
S13.3	EXISTING	HM					
S14.1	DEMO. EXISTING	HM					DEMOLISH EXISTING.
S14.1A	NEW	WOOD	1				90 MIN RE-USE EXIST HARDWARE, FRAME
S14.2A	EXISTING	HM					
S14.2	EXISTING	WOOD					
S14.3	EXISTING	WOOD					
S14.4	EXISTING	HM					
S14.4A	EXISTING	HM					
S15.0	EXISTING	HM					
S15.1	EXISTING	HM					
S15.2	EXISTING	HM					
S15.3	EXISTING	HM					
S16.1	EXISTING	HM					
S16.1A	NDT USED						
S16.2	EXISTING	HM					
S16.2	EXISTING	HM					

NOTE: ALL NEW AND EXISTING DOORS ON SCHEDULE ARE TO BE REFINISHED. ALL EXISTING DOORS AND FRAMES SHALL BE REFINISHED AS A PART OF THIS CONTRACT. PREP AND PAINT METAL DOORS. SAND, PREP, AND STAIN WOOD DOORS. SEE SPECIFICATIONS. FINISH NEW DOORS AS SPECIFIED.

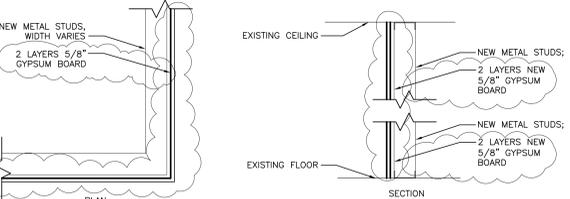
STAIRWELL FINISH SCHEDULE

STAIR NUMBER	WALL FINISH							TREADS & RISERS	NOTES
	NORTH	EAST	SOUTH	WEST	BASE	FLOORING	CEILING		
1	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
2	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
3	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
4	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
5	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
6	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
7	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
8	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
9	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
10	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
11	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
12	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
13	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
14	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
15	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	
16	PAINT	PAINT	PAINT	PAINT	VINYL	VCT	PAINT	RUBBER	

NOTES:
 1. REFINISH ALL SIDES OF WOOD AND METAL STAIRWELL DOORS. PROTECT FIRE RATING LABEL.
 2. SAND AND REFINISH WOOD HANDRAILS.
 3. PAINT METAL HANDRAIL SYSTEM AND BRACKETS.
 4. PAINT WALLS, CEILINGS, UNDERSIDE OF STAIRS.



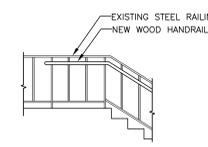
Door Type SCALE: 1/4" = 1'-0"
Frame Type SCALE: 1/4" = 1'-0"



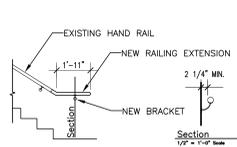
WALL ENCLOSING PIPE SCALE: 1" = 1'-0"

WINDOW SCHEDULE

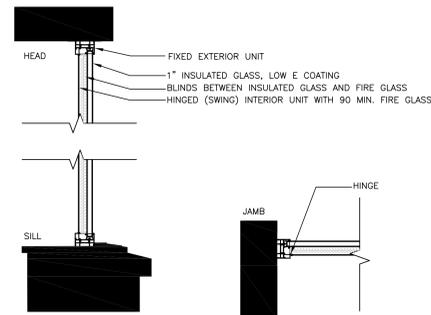
STAR NUMBER	Window Type	Quantity	Opening Size	Frame	Remarks
1	EXISTING TO REMAIN				EXISTING
2	EXISTING TO REMAIN				EXISTING
3	W3	2	48" X 81"	ALUM	REPLACE EXISTING
4	W1	8	27" X 70"	ALUM	REPLACE EXISTING
	W2	1	40" X 16"	ALUM	REPLACE EXISTING
5	W3	1	48" X 81"	ALUM	REPLACE EXISTING
6	W4	9	48" X 64"	ALUM	REPLACE EXISTING
7	W5	4	48" X 60"	ALUM	REPLACE EXISTING
8	W6	3	44" X 74"	ALUM	REPLACE EXISTING
9	W3	2	48" X 81"	ALUM	REPLACE EXISTING
10	W7	2	43" X 79"	ALUM	REPLACE EXISTING
11	EXISTING TO REMAIN				EXISTING
12	W8	1	33" X 79"	ALUM	REPLACE EXISTING
	W3	2			REPLACE EXISTING
13	W3	4	48" X 81"	ALUM	REPLACE EXISTING
14	W3	1	48" X 81"	ALUM	REPLACE EXISTING
15	W3	3	48" X 81"	ALUM	REPLACE EXISTING
16					NO EXISTING WINDOW



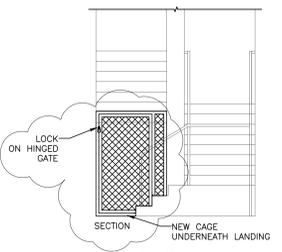
1 New Handrail SCALE: 1/4" = 1'-0"



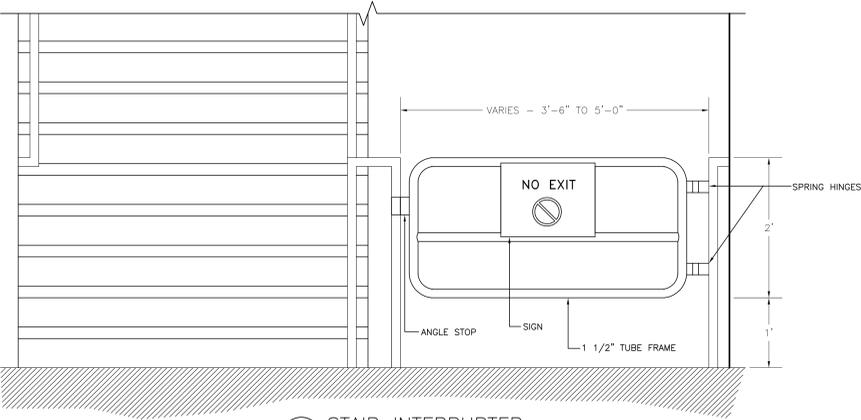
2 Handrail Extension SCALE: 1/4" = 1'-0"



3 Fire Rated Window SCALE: 1" = 1'-0"

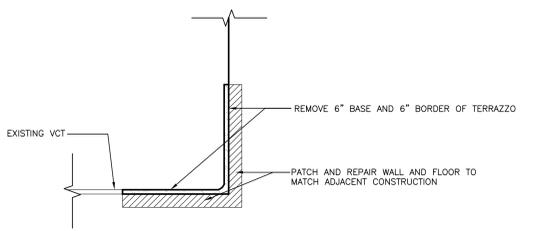


4 CAGE SCALE: 1/4" = 1'-0"



5 STAIR INTERRUPTER SCALE: 1" = 1'-0"

DETAIL HAS BEEN OMITTED



TERRAZZO BORDER/BASE SCALE: 3" = 1'-0"

FULLY SPRINKLERED

CONSULTANTS: 		ARCHITECT/ENGINEERS: 21 Delta Engineers, LLC 3824 North 108th Street Omaha, Nebraska 68164 PH: (402) 496-4115 Fax: (402) 493-2744		Drawing Title BUILDINGS #1, 1W, 2, 4, 5 SCHEDULES DETAILS	Project Title UPGRADE STAIRWELLS SITE PREP	Project Number 636A6-11-906 Building Number	VACIHCS 3600 30th ST Des Moines, Iowa
Revisions		Date		Approved COR REVISED 5/21/2012	Location DES MOINES VA MEDICAL CENTER	Drawing Number AS-3.0	Dwg. 15 of 38

SECTION 01 33 23
SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES

1. Refer to Articles titled SPECIFICATIONS AND DRAWINGS FOR CONSTRUCTION (FAR 52.236-21) and, SPECIAL NOTES (VAAR 852.236-91), in GENERAL CONDITIONS.
2. For the purposes of this contract, samples including laboratory samples to be tested, test reports, certificates, and manufacturers' literature and data shall also be subject to the previously referenced requirements. The following text refers to all items collectively as SUBMITTALS.
3. **General Requirements:**
 - A. All submittals except color samples, color charts or physical material samples shall be made via an electronic, web-based exchange service.
 - i. Contractor shall pay for this service. Full price of providing this service should be included in the contractor's bid.
 - ii. Administrative control of the project account shall be transferred to the government after notice to proceed.
 - B. Submit for approval, all of the items specifically mentioned under the separate sections of the specification, with information sufficient to evidence full compliance with contract requirements. Materials, fabricated articles and the like to be installed in permanent work shall equal those of approved submittals. After an item has been approved, no change in brand or make will be permitted unless:
 - i. Satisfactory written evidence is presented to, and approved by Contracting Officer, that manufacturer cannot make scheduled delivery of approved item or;
 - ii. Item delivered has been rejected and substitution of a suitable item is an urgent necessity or;
 - iii. Other conditions become apparent which indicates approval of such substitute item to be in best interest of the Government.
 - C. Contractor shall forward submittals in sufficient time to permit proper consideration and approval action by Government. Time submission to assure adequate lead time for procurement of contract - required items. Delays attributable to untimely and rejected submittals (including any laboratory samples to be tested) will not serve as a basis for extending contract time for completion.
 - i. Allow 10 working days for A/E review.

- ii. Allow 10 working days for VAMC Engineering review.
- D. Submittals will be reviewed for compliance with contract requirements by Architect-Engineer, and action thereon will be taken by Resident Engineer on behalf of the Contracting Officer.
- E. Upon receipt of submittals, Architect-Engineer will assign a file number thereto. Contractor, in any subsequent correspondence, shall refer to this file and identification number to expedite replies relative to previously approved or disapproved submittals.
- F. The Government reserves the right to require additional submittals, whether or not particularly mentioned in this contract. If additional submittals beyond those required by the contract are furnished pursuant to request therefor by Contracting Officer, adjustment in contract price and time will be made in accordance with Articles titled CHANGES (FAR 52.243-4) and CHANGES - SUPPLEMENT (VAAR 852.236-88) of the GENERAL CONDITIONS.
- G. Electronic submittal service requirements:
 - i. Web-based (not local or ftp server) service.
 - ii. Automatic email notification for new submittals and for submittals approaching review deadline.
 - iii. Tracking and exchange of RFI/ITC/Logs and other project related documents in addition to submittals and shop drawings.
 - iv. Organized storage of electronic submittals that is accessible by project team members at any time and from any location.
 - v. Provide a complete record of all documents submitted or reviewed during the construction project at closeout on CD or DVD.
 - vi. Submittal files must be readable. In general, a resolution of 300dpi or greater should be used when scanning documents.
- 4. Schedules called for in specifications and shown on shop drawings shall be submitted for use and information of Department of Veterans Affairs and Architect-Engineer. However, the Contractor shall assume responsibility for coordinating and verifying schedules. The Contracting Officer and Architect-Engineer assumes no responsibility for checking schedules or layout drawings for exact sizes, exact numbers and detailed positioning of items.

- A. Submittals must be submitted by Contractor only and shipped prepaid. Contracting Officer assumes no responsibility for checking quantities or exact numbers included in such submittals.
- i. Submit samples required by Section 09 06 00, SCHEDULE FOR FINISHES, in quadruplicate. Submit other samples in single units unless otherwise specified. Submit shop drawings, schedules, manufacturers' literature and data, and certificates in quadruplicate, except where a greater number is specified.
 - ii. Submittals will receive consideration only when covered by a transmittal letter signed by Contractor. Letter shall be sent via first class mail and shall contain the list of items, name of Medical Center, name of Contractor, contract number, applicable specification paragraph numbers, applicable drawing numbers (and other information required for exact identification of location for each item), manufacturer and brand, ASTM or Federal Specification Number (if any) and such additional information as may be required by specifications for particular item being furnished. In addition, catalogs shall be marked to indicate specific items submitted for approval.
 - iii. A copy of letter must be enclosed with items, and any items received without identification letter will be considered "unclaimed goods" and held for a limited time only.
 - iv. Each sample, certificate, manufacturers' literature and data shall be labeled to indicate the name and location of the Medical Center, name of Contractor, manufacturer, brand, contract number and ASTM or Federal Specification Number as applicable and location(s) on project.

5. Procedures:

- A. Required certificates shall be signed by an authorized representative of manufacturer or supplier of material, and by Contractor.
- B. In addition to complying with the applicable requirements specified in preceding Article 1.9, samples which are required to have Laboratory Tests (those preceded by symbol "LT" under the separate sections of the specification shall be tested, at the expense of Contractor, in a commercial laboratory approved by Contracting Officer.
- C. Laboratory shall furnish Contracting Officer with a certificate stating that it is fully equipped and qualified to perform intended work, is fully acquainted with specification requirements and intended use of materials and is an independent establishment in no

- way connected with organization of Contractor or with manufacturer or supplier of materials to be tested.
- D. Certificates shall also set forth a list of comparable projects upon which laboratory has performed similar functions during past five years.
 - E. Samples and laboratory tests shall be sent directly to approved commercial testing laboratory.
 - F. Contractor shall send a copy of transmittal letter to both Resident Engineer and to Architect-Engineer simultaneously with submission of material to a commercial testing laboratory.
 - G. Laboratory test reports shall be sent directly to Resident Engineer for appropriate action.
 - H. Laboratory reports shall list contract specification test requirements and a comparative list of the laboratory test results. When tests show that the material meets specification requirements, the laboratory shall so certify on test report.
 - I. Laboratory test reports shall also include a recommendation for approval or disapproval of tested item.
6. If submittal samples have been disapproved, resubmit new samples as soon as possible after notification of disapproval. Such new samples shall be marked "Resubmitted Sample" in addition to containing other previously specified information required on label and in transmittal letter.
- A. Approved samples will be kept on file by the Resident Engineer at the site until completion of contract, at which time such samples will be delivered to Contractor as Contractor's property. Where noted in technical sections of specifications, approved samples in good condition may be used in their proper locations in contract work. At completion of contract, samples that are not approved will be returned to Contractor only upon request and at Contractor's expense. Such request should be made prior to completion of the contract. Disapproved samples that are not requested for return by Contractor will be discarded after completion of contract.
 - B. Submittal drawings (shop, erection or setting drawings) and schedules, required for work of various trades, shall be checked before submission by technically qualified employees of Contractor for accuracy, completeness and compliance with contract requirements. These drawings and schedules shall be stamped and signed by Contractor certifying to such check.
 - C. For each drawing required, submit one legible photographic paper or vellum reproducible.
 - i. Reproducible shall be full size.

- ii. Each drawing shall have marked thereon, proper descriptive title, including Medical Center location, project number, manufacturer's number, reference to contract drawing number, detail Section Number, and Specification Section Number.
 - iii. A space 120 mm by 125 mm (4-3/4 by 5 inches) shall be reserved on each drawing to accommodate approval or disapproval stamp.
 - iv. Submit drawings, ROLLED WITHIN A MAILING TUBE, fully protected for shipment.
 - v. One reproducible print of approved or disapproved shop drawings will be forwarded to Contractor.
7. When work is directly related and involves more than one trade, shop drawings shall be submitted to Architect-Engineer under one cover.
- A. Samples, shop drawings, test reports, certificates and manufacturers' literature and data, shall be submitted for approval to:
 - Monte Ten Kley
 - 21 Delta Engineers
 - 3824 North 108th Street
 - Omaha, NE 68124.
 - AND
 - Steve Long, COR
 - Central Iowa Health Care System
 - Des Moines Division
 - 3600 30th Street
 - Des Moines, IA 50310
 - B. At the time of transmittal to the Architect-Engineer, the Contractor shall also send a copy of the complete submittal directly to the Resident Engineer.

- - - E N D - - -