DEMOLITION NOTES

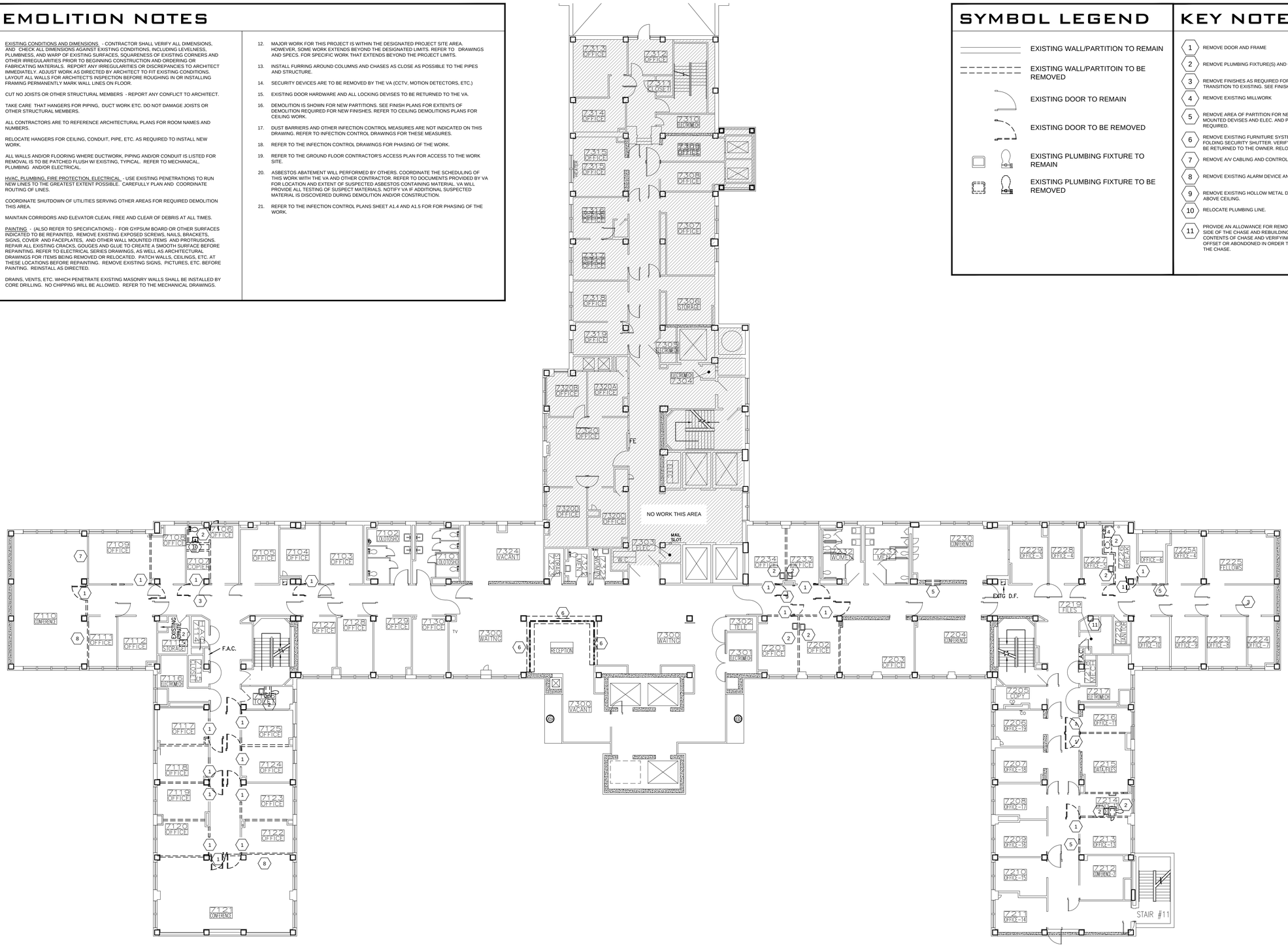
1. EXISTING CONDITIONS AND DIMENSIONS - CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND CHECK ALL DIMENSIONS AGAINST EXISTING CONDITIONS, INCLUDING LEVELNESS, PLUMBNESS, AND WARP OF EXISTING SURFACES, SQUARENESS OF EXISTING CORNERS AND OTHER IRREGULARITIES PRIOR TO BEGINNING CONSTRUCTION AND ORDERING OR FABRICATING MATERIALS. REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ARCHITECT IMMEDIATELY. ADJUST WORK AS DIRECTED BY ARCHITECT TO FIT EXISTING CONDITIONS. LAYOUT ALL WALLS FOR ARCHITECT'S INSPECTION BEFORE ROUGHING IN OR INSTALLING FRAMING PERMANENTLY MARK WALL LINES ON FLOOR.
2. CUT NO JOISTS OR OTHER STRUCTURAL MEMBERS - REPORT ANY CONFLICT TO ARCHITECT.
3. TAKE CARE THAT HANGERS FOR PIPING, DUCT WORK ETC. DO NOT DAMAGE JOISTS OR OTHER STRUCTURAL MEMBERS.
4. ALL CONTRACTORS ARE TO REFERENCE ARCHITECTURAL PLANS FOR ROOM NAMES AND NUMBERS.
5. RELOCATE HANGERS FOR CEILING, CONDUIT, PIPE, ETC. AS REQUIRED TO INSTALL NEW WORK.
6. ALL WALLS AND/OR FLOORING WHERE DUCTWORK, PIPING AND/OR CONDUIT IS LISTED FOR REMOVAL IS TO BE PATCHED FLUSH W/ EXISTING, TYPICAL. REFER TO MECHANICAL, PLUMBING AND/OR ELECTRICAL.
7. HVAC, PLUMBING, FIRE PROTECTION, ELECTRICAL - USE EXISTING PENETRATIONS TO RUN NEW LINES TO THE GREATEST EXTENT POSSIBLE. CAREFULLY PLAN AND COORDINATE ROUTING OF LINES.
8. COORDINATE SHUTDOWN OF UTILITIES SERVING OTHER AREAS FOR REQUIRED DEMOLITION THIS AREA.
9. MAINTAIN CORRIDORS AND ELEVATOR CLEAN, FREE AND CLEAR OF DEBRIS AT ALL TIMES.
10. PAINTING - (ALSO REFER TO SPECIFICATIONS) - FOR GYPSUM BOARD OR OTHER SURFACES INDICATED TO BE REPAINTED, REMOVE EXISTING EXPOSED SCREWS, NAILS, BRACKETS, SIGNS, COVER AND FACEPLATES, AND OTHER WALL MOUNTED ITEMS AND PROTRUSIONS. REPAIR ALL EXISTING CRACKS, GOUGES AND GLUE TO CREATE A SMOOTH SURFACE BEFORE REPAINTING. REFER TO ELECTRICAL SERIES DRAWINGS, AS WELL AS ARCHITECTURAL DRAWINGS FOR ITEMS BEING REMOVED OR RELOCATED. PATCH WALLS, CEILINGS, ETC. AT THESE LOCATIONS BEFORE REPAINTING. REMOVE EXISTING SIGNS, PICTURES, ETC. BEFORE PAINTING. REINSTALL AS DIRECTED.
11. DRAINS, VENTS, ETC. WHICH PENETRATE EXISTING MASONRY WALLS SHALL BE INSTALLED BY CORE DRILLING. NO CHIPPING WILL BE ALLOWED. REFER TO THE MECHANICAL DRAWINGS.
12. MAJOR WORK FOR THIS PROJECT IS WITHIN THE DESIGNATED PROJECT SITE AREA. HOWEVER, SOME WORK EXTENDS BEYOND THE DESIGNATED LIMITS. REFER TO DRAWINGS AND SPECS. FOR SPECIFIC WORK THAT EXTENDS BEYOND THE PROJECT LIMITS.
13. INSTALL FURRING AROUND COLUMNS AND CHASES AS CLOSE AS POSSIBLE TO THE PIPES AND STRUCTURE.
14. SECURITY DEVICES ARE TO BE REMOVED BY THE VA (CCTV, MOTION DETECTORS, ETC.)
15. EXISTING DOOR HARDWARE AND ALL LOCKING DEVISES TO BE RETURNED TO THE VA.
16. DEMOLITION IS SHOWN FOR NEW PARTITIONS. SEE FINISH PLANS FOR EXTENTS OF DEMOLITION REQUIRED FOR NEW FINISHES. REFER TO CEILING DEMOLITIONS PLANS FOR CEILING WORK.
17. DUST BARRIERS AND OTHER INFECTION CONTROL MEASURES ARE NOT INDICATED ON THIS DRAWING. REFER TO INFECTION CONTROL DRAWINGS FOR THESE MEASURES.
18. REFER TO THE INFECTION CONTROL DRAWINGS FOR PHASING OF THE WORK.
19. REFER TO THE GROUND FLOOR CONTRACTOR'S ACCESS PLAN FOR ACCESS TO THE WORK SITE.
20. ASBESTOS ABATEMENT WILL PERFORMED BY OTHERS. COORDINATE THE SCHEDULING OF THIS WORK WITH THE VA AND OTHER CONTRACTOR. REFER TO DOCUMENTS PROVIDED BY VA FOR LOCATION AND EXTENT OF SUSPECTED ASBESTOS CONTAINING MATERIAL. VA WILL PROVIDE ALL TESTING OF SUSPECT MATERIALS. NOTIFY VA IF ADDITIONAL SUSPECTED MATERIAL IS DISCOVERED DURING DEMOLITION AND/OR CONSTRUCTION.
21. REFER TO THE INFECTION CONTROL PLANS SHEET A1.4 AND A1.5 FOR FOR PHASING OF THE WORK.

SYMBOL LEGEND

- EXISTING WALL/PARTITION TO REMAIN
- EXISTING WALL/PARTITOIN TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING PLUMBING FIXTURE TO REMAIN
- EXISTING PLUMBING FIXTURE TO BE REMOVED

KEY NOTES

1. REMOVE DOOR AND FRAME
2. REMOVE PLUMBING FIXTURE(S) AND CAP PLUMBING
3. REMOVE FINISHES AS REQUIRED FOR NEW WORK TO MAKE SMOOTH TRANSITION TO EXISTING. SEE FINISH TRANSITION STRIP DETAILS.
4. REMOVE EXISTING MILLWORK
5. REMOVE AREA OF PARTITION FOR NEW OPENING. RELOCATE WALL MOUNTED DEVISES AND ELEC. AND PLUMBING WITHIN PARTITION AS REQUIRED.
6. REMOVE EXISTING FURNITURE SYSTEM, MILLWORK, COUNTERS AND FOLDING SECURITY SHUTTER. VERIFY WITH THE VA WHICH ITEMS ARE TO BE RETURNED TO THE OWNER. RELOCATE REMOTE DOOR RELEASE.
7. REMOVE A/V CABLING AND CONTROLS THIS WALL.
8. REMOVE EXISTING ALARM DEVICE AND ASSOCIATED CABLING.
9. REMOVE EXISTING HOLLOW METAL DOOR FRAME AND PARTITION UP TO 6" ABOVE CEILING.
10. RELOCATE PLUMBING LINE.
11. PROVIDE AN ALLOWANCE FOR REMOVAL OF WALLS ON THE FILE ROOM SIDE OF THE CHASE AND REBUILDING. CONTRACTOR TO VERIFY CONTENTS OF CHASE AND VERIFYING IF CHASE CONTENTS CAN BE OFFSET OR ABONDONED IN ORDER TO ELIMINATE OR REDUCE SIZE OF THE CHASE.



1 7TH FLOOR DEMOLITION PLAN

SCALE: 3/32"=1'-0"

FINAL SUBMITTAL

Revisions	Date

BIRCHFIELD PENUEL & ASSOCIATES, ARCHITECTS
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Department of Veterans Affairs
MEDICAL CENTER
BIRMINGHAM, ALABAMA

Drawing Title: 7th FLOOR DEMOLITION PLAN

Project Title: RENOVATE SPACE FOR REHAB AND PHYSICAL MEDICINE

Date: 08-02-11
VA Project No. 521-10-101
CAD File No. 10709A2.1.dwg

Building Numbers | Checked | Drawn

Location: VA MEDICAL CENTER BIRMINGHAM, ALABAMA

DRAWING NO. A2.1
Dwg. of

Veterans Administration