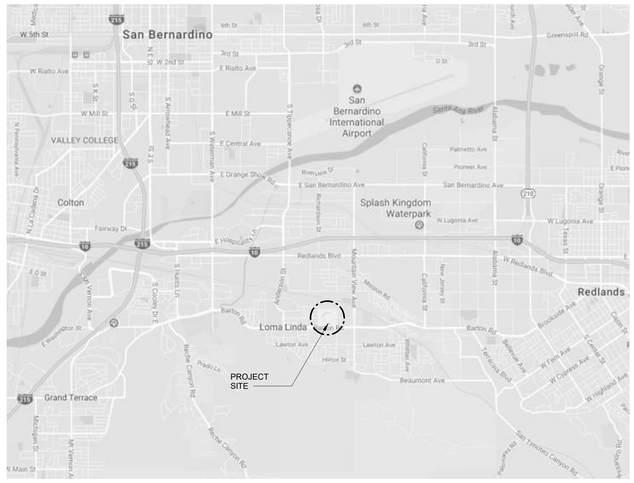
DEPARTMENT OF VETERANS AFFAIRS

VA Loma Linda Healthcare System

11201 Benton St, Loma Linda, CA 92357
VA Project No. 605-17-414 | Perimeter Fence II

VICINITY MAP



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PROJECT TEAM

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PROJECT DESCRIPTION

INSTALL NEW PERIMETER SECURITY FENCING ALONG EASTERN PROPERTY LINE (APPROX. 1,050 LINEAR FEET); INSTALL NEW CONCRETE STAGING PAD FOR ROLL-OFF DUMPSTERS AT SOUTH-EAST CORNER OF PROSPECT AVENUE ENTRANC, INSTALL NEW CONCRETE STAGING PAD FOR ROLL-OFF DUMPSTERS AT NORTH-EAST CORNER OF PROSPECT AVENUE ENTRANCE; CONSTRUCT NEW RETAINING WALL TO ENLARGE (E) SERVICE YARD, MODIFY NORTH-WEST ACCESS POINT TO BE RIGHT TURN EXIT ONLY; INSTALL NEW PERIMETER SECURITY FENCING ALONG WESTERN PROPERTY LINE (APPROX. 250 LINEAR FEET)

DEDUCTIVE ALTERNATES

1.NORTHWEST EXIT

2. DUMPSTER PAD #2

3. DUMPSTER PAD #1

Revisions:

Rev.	Date	Description
	08.04.2017	95% Submittal

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08/04/2017
STATE OF CALIFORNIA

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title: COVER SHEET
Phase: 95% Submittal
Project Title: PERIMETER FENCE II
Project Number: 605-17-414
Building Number: -
Approved:
N/A
Location: 11201 Benton St, Loma Linda, CA 92357
Issue Date: 08.04.2017
Checked: SMc
Drawn: MA Arch
Drawing Number: G-100

VA FORM 08 - 6231

ABBREVIATIONS

A

AB	ANCHOR BOLT
ACT	ACOUSTICAL CEILING TILE
ACP	ACOUSTICAL CEILING PANEL
ACS PNL	ACCESS PANEL
AD	AREA DRAIN
ADDL	ADDITIONAL
ADH	ADHESIVE
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
AFS	ABOVE FINISH SLAB
AGGR	AGGREGATE
ALUM	ALUMINUM
ALT	ALTERNATE
ANOD	ANODIZED
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECT(URAL)
ASPH	ASPHALT
AVG	AVERAGE

B

BB	BULLETIN BOARD
BD	BOARD
BTWN	BETWEEN
BITUM	BITUMINOUS
BLDG	BUILDING
BM	BENCHMARK
BOT	BOTTOM
BOS	BOTTOM OF STEEL
BRG	BEARING
BSMT	BASEMENT
BUR	BUILT UP ROOFING SYSTEM

C

CAB	CABINET
CB	CATCH BASIN
CCR	CARD CONTROL READER
CCT	CUBICLE CURTAIN TRACK
CCTV	CLOSED CIRCUIT TELEVISION
CG	CORNER GUARD
CEM	CEMENT, CEMENTITIOUS
CER	CERAMIC
CH BD	CHALKBOARD
CI	CAST IRON
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
COL	COLUMN
CONC	CONCRETE
CONF	CONFERENCE
CONN	CONNECTION
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRUGATED
CPT	CARPET
CSK	COUNTERSUNK
CSP	COMBINATION STANDPIPE
CSWK	CASEWORK
CT	CERAMIC TILE
CU	CUBIC
CW	COLD WATER

D

D	DEPTH
DBL	DOUBLE
DBL ACT	DOUBLE ACTING
DEG	DEGREE
DEMO	DEMOLISH
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIFF	DIFFUSER
DIM	DIMENSION
DIM PT	DIMENSION POINT
DISP	DISPENSER
DIST	DISTANCE
DN	DOWN
DR	DRAIN
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DT	DRAPERY TRACK
DWG	DRAWING
DWGS	DRAWINGS

E

(E)	EXISTING
EA	EACH
EDR	EQUIPMENT DRAWING
EG	EDGE GUARD
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EL	ELEVATION
ELAST	ELASTOMERIC
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
ENGR	ENGINEER
EOS	EDGE OF SLAB
EP	ELECTRICAL PANEL
EPB	ELECTRICAL PANEL BOARD
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EQ	EQUAL
EQL SP	EQUALLY SPACED
EQUIP	EQUIPMENT
EQUIV	EQUIVALENT
ESCAL	ESCALATOR
EST	ESTIMATE(D)
EWC	ELECTRIC WATER COOLER
EXC	EXCAVATED
EXH	EXHAUST
EXP	EXPANSION
EXP JT	EXPANSION JOINT
EXT	EXTERIOR

F

F/F	FACE TO FACE
FA	FIRE ALARM
FAS	FIRE ALARM STATION
FB	FLAT BAR
FCU	FAN COIL UNIT
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDN	FOUNDATION
FEC	FIRE EXTINGUISHER CABINET
FE	FIRE EXTINGUISHER
FF	FINISH FACE
FHC	FIRE HOSE CABINET
FHMS	FLAT HEAD MACHINE SCREW
FHWS	FLAT HEAD WOOD SCREW
FHY	FIRE HYDRANT
FLAM	FLAMMABLE
FLASH	FLASHING
FLEX	FLEXIBLE
FLUOR	FLUORESCENT
FO	FACE OF
FOF	FACE OF FINISH
FSB	FOLDING SHOWER BENCH
FSTNR	FASTENER
FT	FOOT, FEET
FURN	FURNITURE
FXTR	FIXTURE

G

G	GAS
GA	GAUGE, GAGE
GAL	GALLON
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GFRC	GLASS FIBER REINFORCED CONCRETE
GFRG	GLASS FIBER REINFORCED GYPSUM
GL	GLASS
GLU LAM	GLUE LAMINATED
GLZ	GLAZING
GR	GRADE OR GRADING
GVL	GRAVEL
GYP	GYPSUM
GYP BD	GYPSUM BOARD
GYP PLAS	GYPSUM PLASTER

H

H	HIGH
HB	HOSE BIBB
HC	HOLLOW CORE
HD	HEAD
HDBD	HARDBOARD
HDW	HARDWARE
HDWD	HARDWOOD
HGT	HEIGHT
HM	HOLLOW METAL
HNDRL	HANDRAIL
HORIZ	HORIZONTAL
HPT	HIGH POINT
HR	HOUR
HSS	HOLLOW STRUCTURAL STEEL
HVAC	HEATING-VENTILATION-AIR CONDITIONING
HW	HOT WATER

I

ID	INSIDE DIAMETER
IN	INCH
INCAND	INCANDESCENT
INCL	INCLUDE, INCLUDING
INFO	INFORMATION
INSUL	INSULATION
INTR	INTERIOR
INV	INVERT
IVT	INTRAVENOUS TRACK

J

JAN	JANITOR
JST	JOIST
JT	JOINT

K

KG	KILOGRAM
KIT	KITCHEN
KPL	KICK PLATE
KS	KNEE SPACE

L

L	LENGTH; LONG
LAB	LABORATORY
LAM	LAMINATE, LAMINATION
LAV	LAVATORY
LB	POUND
LED	LIGHT EMITTING DIODE
LF	LINEAR FOOT
LG	LENGTH
LIN	LINEAR
LL	LEAD LINED
LPT	LOW POINT
LT	LIGHT
LT WT	LIGHT WEIGHT
LTG	LIGHTING
LVR	LOUVER

M

M	METERS
MACH	MACHINE
MATL	MATERIAL
MATV	MASTER ANTENNA TELEVISION SYSTEM
MAX	MAXIMUM
MB	MACHINE BOLT
MC	MEDICINE CABINET
MDO	MEDIUM DENSITY OVERLAY
MECH	MECHANICAL
MED	MEDIUM
MEMB	MEMBRANE
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MLDG	MOLDING
MM	MILLIMETERS
MO	MASONRY OPENING
MOD	MODULE, MODULAR
MTD	MOUNTED
MTG	MOUNTING
MVBL	MOVABLE
MULL	MULLION

N

(N)	NEW
NA	NOT APPLICABLE
NAT	NATURAL
NE	NORTHEAST
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NRC	NOICE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
NW	NORTHWEST

O

OC	ON CENTER
OA	OVERALL
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED-CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED-OWNER INSTALLED
OH	OPPOSITE HAND
OPP	OPPOSITE
ORD	OVERFLOW ROOF DRAIN
OVHD	OVERHEAD
OZ	OUNCE

P

PA	PUBLIC ADDRESS
PART	PARTIAL
PBD	PARTICLEBOARD
PBX	PRIVATE TELEPHONE EXCHANGE
PCF	POUNDS PER CUBIC FOOT
PCI	POUNDS PER CUBIC INCH
PERF	PERFORATED
PERIM	PERIMETER
PERM	PERMANENT
PERP	PERPENDICULAR
PI	POINT OF INTERSECTION
PL	PLATE
PLAM	PLASTIC LAMINIATE
PLAS	PLASTER
PLBG	PLUMBING
PLF	POUNDS PER LINEAR FOOT
PLYWD	PLYWOOD
PNEU	PNEUMATIC
PNL	PANEL
PNL BD	PANEL BOARD
PNT	PAINT
PORT	PORTABLE
PP	PUSH PLATE
PPM	PARTS PER MILLION
PR	PAIR
PRCST	PRECAST
PREP	PREPARATION
PREFAB	PREFABRICATION
PRKG	PARKING
PROJ	PROJECT
PROP	PROPERTY
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT
PTN	PARTITION
PTS	PNEUMATIC TUBE STATION
PVC	POLYVINYL CHLORIDE
PVG	PAVING
PVMT	PAVEMENT
PWR	POWER

Q

QT	QUARRY TILE
QTR	QUARTER
QTY	QUANTITY

R

R	RISER
RA	RETURN AIR
RAD	RADIUS
RB	RESILIENT BASE
RCP	REFLECTED CEILING PLAN
RCPT	RECEPTACLE
RD	ROOF DRAIN
RECT	RECTANGULAR
REF	REFERENCE
REFR	REFRIGERATOR
REG	REGISTER
REINF	REINFORCE (D) (ING) (MENT)
REQD	REQUIRED
REQT	REQUIREMENT
RESIL	RESILIENT
RET	RETURN
REV	REVISION
RF	RESILIENT FLOORING
RH	RIGHT HAND
RHMS	ROUND HEAD MACHINE SCREW
RHWS	ROUND HEAD WOOD SCREW
RM	ROOM
RND	ROUND
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RWL	RAIN WATER LEADER

S

S	SOUTH
SA	SUPPLY AIR
SAF	SAFE
SB	SPLASH BLOCK
SC	SOLID CORE
SCHED	SCHEDULE
SCRN	SCREEN
SD	STORM DRAIN
SE	SOUTHEAST
SECT	SECTION
SEG	SEGMENT
SEP	SEPARATION OR SEPARATE
SEP JT	SEPARATION JOINT
SHT	SHEET, SHEETING
SHWR	SHOWER
SHV	SHELVES, SHELVING
SIM	SIMILAR
SK	SINK
SMS	SHEET METAL SCREW
SP	SPACE, SPACED, SPACING
SPEC	SPECIFICATION
SPKLR	SPRINKLER
SPKR	SPEAKER
SQ	SQUARE
SS	SANITARY SEWER
SSK	SERVICE SINK
SST	STAINLESS STEEL
ST	STREET
STA	STATION
STAG	STAGGERED
STC	SOUND TRANSMISSION COEFFICIENT
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
STS	SELF-TAPPING STEEL
SUSP	SUSPENDED
SUSP CLG	SUSPENDED CEILING
SVCE	SERVICE
SW	SOUTHWEST
SYMM	SYMMETRICAL
SYST	SYSTEM

T

T	TREAD
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
TC	TOP OF CONCRETE, TOP OF CURB
TD	TRENCH DRAIN
TEL	TELEPHONE
TEMP	TEMPORARY
THERM	THERMAL
THK	THICK, THICKNESS
THRES	THRESHOLD
THRU	THROUGH
TMPD GL	TEMPERED GLASS
TO	TOP OF
TOR	TOP OF RAILING
TOS	TOP OF STEEL
TOT	TOTAL
TOW	TOP OF WALL
TP	TOP OF PAVEMENT
TTB	TELEPHONE TERMINAL BOARD
TV	TELEVISION
TYP	TYPICAL

U

UC	UNDER COUNTER
UL	UNDERWRITERS LABORATORIES
UON	UNLESS OTHERWISE NOTED
UPS	UNINTERRUPTABLE POWER SUPPLY
UTIL	UTILITY

V

VAC	VACUUM
VB	VALVE BOX
VCT	VINYL COMPOSITION TYLE
VERT	VERTICAL
VEST	VESTIBULE
VIT	VITREOUS
VP	VENT PIPE
VOL	VOLUME
VWC	VINYL WALL COVERING

W

W	WEST
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET OR WALL COVERING
WD	WOOD
WDW	WINDOW
WGL	WIRE GLASS
WCHR	WHEELCHAIR
WM	WIRE MESH
WO	WHERE OCCURS
WPT	WORKING POINT
WR	WATER RESISTANT
WSCT	WAINSCOT
WSP	WET STANDPIPE
WT	WEIGHT
WTHPRF	WEATHERPROOF
WTRPRF	WATERPROOF
WWF	WELDED WIRE FABRIC
WWM	WELDED WIRE MESH

X

XFMR	TRANSFORMER

Y

YD	YARD

SYMBOLS AS ABBREVIATIONS

∠	ANGLE
@	AT
℄	CENTER LINE
Ø	DIAMETER
=	EQUAL
>	GREATER THAN
<	LESS THAN
±	PLUS OR MINUS (TOLERANCE)
#	POUND(S)
'	FOOT OR FEET
"	INCH OR INCHES

APPLICABLE STANDARDS

APPLICABLE STANDARDS:

VA Directives, Design Manuals, Master Specifications, VA National CAD Standard Application Guide, and other Guidance on the Technical Information Library (TIL) (http://www.cfm.va.gov/til/).

International Building Code (IBC) (Only when specifically referenced in VA Design Documents, see notes below)

NFPA 101 Life Safety Code (see notes below)

NFPA National Fire Codes with the exception of NFPA 5000 and NFPA 900

Occupational, Safety and Health Administration (OSHA) Standards.

VA Seismic Design Requirements, H-18-8

National Electrical Code (NEC)

International Plumbing Code (IPC)

Safety Code for Elevators and Escalators, American Society of Mechanical Engineers (ASME) A 17.1.

ASME Boiler and Pressure Vessel Code

ASME Code for Pressure Piping

Architectural Barriers Act Accessibility Standards (ABAAS) including VA supplement, Barrier Free Design Guide (PG-18-13)

Building Code Requirements for Reinforced Concrete, American Concrete Institute and Commentary (ACI 318)

Manual of Steel Construction, Load and Resistance Factor Design Specifications for Structural Steel Buildings, American Institute of Steel Construction (AISC)

Energy policy Act of 2005 (EPAct)

DOE Interim Final Rule: Energy Conservation Standards for New Federal, Commercial and Multi-Family High-Rise Residential Buildings and New Low-Rise Residential Buildings, 10 CFR Parts 433, 434 and 435.

Federal Leadership in High Performance and Sustainable Buildings: Memorandum of Understanding (MOU)

Executive Order 13423: Strengthening Federal Environmental, Energy, and Transportation Management.

The Provisions for Construction and Safety Signs. Stated in the General Requirements Section 01010 of the VA Master Construction Specification.

Ventilation for Acceptable Indoor Air Quality – ASHRAE Standard 62.1- 2004.

Safety Standard for Refrigeration Systems – ASHRAE Standard 15 – 2007.

UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURERS' INSTRUCTIONS, OR REQUIREMENTS OF REGULATORY AGENCIES, SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF PROJECT SUBMISSION UON

PROJECT GENERAL NOTES

GENERAL NOTES:

1. THE FOLLOWING GENERAL NOTES APPLY TO THE ENTIRE SET OF DRAWINGS LISTED BY THE "INDEX OF DRAWINGS".

2. FOR GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS APPLICABLE ONLY TO THE DRAWINGS OF ONE DISCIPLINE, REFER TO THE DRAWINGS OF THAT DISCIPLINE - SEE "INDEX OF DRAWINGS".

3. THE SET OF DRAWINGS, WHEN COMPLETE, CONSISTS OF ALL DRAWINGS LISTED BY THE "INDEX OF DRAWINGS". PARTIAL SETS OF DRAWINGS ARE INCOMPLETE. DO NOT DISTRIBUTE OR UTILIZE PARTIAL SETS OF DRAWINGS. THE WORK DESCRIBED BY THE DRAWINGS OF ANY ONE DISCIPLINE MAY BE AFFECTED BY THE WORK DESCRIBED ON DRAWINGS OF ANOTHER DISCIPLINE OR MANUFACTURE INSTALLATION REQUIREMENTS. SHOULD THEY DISAGREE IN THEMSELVES, OR WITH EACH OTHER, BIDS SHALL BE BASED ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND QUANTITY OF WORK INDICATED. ANY DISCREPANCY BETWEEN THESE DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUBCONTRACTORS, TRADES, AND SUPPLIERS WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION, AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.

CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT, TOOLS AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF ALL WORK SHOWN, DESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING OR PATCHING THAT MAY BE REQUIRED TO COMPLETE WORK OR TO MAKE ITS SEVERAL PARTS FIT TOGETHER.

5. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE ON PROCEDURE, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ALL OF WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

6. APPLICABLE PORTIONS OF THE CODES, REGULATIONS, AND STANDARDS LISTED HERE ARE INCORPORATED BY REFERENCE INTO THE REQUIREMENTS OF THIS CONTRACT AND ESTABLISH MINIMUM REQUIREMENTS WITH WHICH THE WORK MUST COMPLY.

THIS PROJECT AND ALL PARTS OF THE WORK ASSOCIATED WITH THE PROJECT - INCLUDING MATERIALS, METHODS, ASSEMBLIES, ETC - SHALL COMPLY WITH ALL APPLICABLE GOVERNING RULES, CODES, REGULATIONS, ORDINANCES, AND LAWS OF ALL FEDERAL, STATE, DISTRICT, TERRITORIAL, AND LOCAL GOVERNMENT AUTHORITIES HAVING JURISDICTION OVER THE DESIGN, CONSTRUCTION, AND OCCUPANCY OF THE PROJECT, WHETHER LISTED BY THE CONTRACT DOCUMENTS OR NOT. NO PART OF THE CONTRACT DOCUMENTS SHALL BE CONSTRUED TO REQUIRE OR PERMIT WORK CONTRARY TO AN APPLICABLE GOVERNING RULE, CODE, REGULATION, ORDINANCE, OR LAW.

7. IF A CONFLICT EXISTS BETWEEN THE CONTRACT DOCUMENTS AND A REGULATORY REQUIREMENT, THE CONTRACTOR SHALL COMPLY WITH THE ONE ESTABLISHING THE MORE STRINGENT OR RESTRICTIVE REQUIREMENT:

- THE DRAWINGS AND SPECIFICATIONS MAY SET FORTH MORE DETAILED, MORE SPECIFIC, AND/OR MORE RESTRICTIVE REQUIREMENTS THAN THOSE SET FORTH BY THE APPLICABLE REGULATORY REQUIREMENTS. WHERE THE DRAWINGS AND SPECIFICATIONS PROVIDE MORE DETAILED, MORE SPECIFIC, AND/OR MORE RESTRICTIVE REQUIREMENTS, THE CONTRACTOR SHALL COMPLY WITH THOSE REQUIREMENTS.

- WHERE THE APPLICABLE REQUIREMENTS OF THE REFERENCED RULES, CODES, REGULATIONS, ORDINANCES, OR LAWS ARE MORE RESTRICTIVE THAN THAT SET FORTH BY THE DRAWINGS AND SPECIFICATION, THE CONTRACTOR SHALL COMPLY WITH ALL SUCH MORE RESTRICTIVE REQUIREMENTS - ALTHOUGH SUCH REQUIREMENTS MAY NOT BE ILLUSTRATED BY THE DRAWINGS AND SPECIFICATIONS.

8. PROPRIETARY PRODUCTS OR ASSEMBLIES UTILIZED AS "BASIS OF DESIGN":

- ON OCCASION, THE DRAWINGS MAY REFER TO A SINGLE PROPRIETARY PRODUCT OR ASSEMBLY WHILE THE SPECIFICATIONS LIST TWO OR MORE ACCEPTABLE MANUFACTURES AND/OR PRODUCTS, WHEN THIS OCCURS, THE PRODUCT OR ASSEMBLY ILLUSTRATED BY THE DRAWINGS IS THE "BASIS OF DESIGN" PRODUCT OR ASSEMBLY.

- THE DIMENSIONS, MOUNTING HEIGHTS, CLEARANCES, AND ACCESS REQUIREMENTS OF SPECIFIED PRODUCTS AND ASSEMBLIES OTHER THAN THE "BASIS OF DESIGN" MAY VARY FROM THAT SHOWN BY THE DRAWINGS.

- THE CONTRACTOR MAY UTILIZE ANY OTHER SPECIFIED PRODUCT OR ASSEMBLY IN LIEU OF THE "BASIS OF DESIGN" PRODUCT OR ASSEMBLY, AS APPROVED BY RESIDENT ENGINEER, HOWEVER, THE CONTRACTOR IS RESPONSIBLE (AT NO ADDITIONAL EXPENSE TO THE OWNER) FOR ALL COORDINATION AND REVISIONS TO DIMENSIONS AND/OR DETAILS NECESSARY TO ACHIEVE THE SAME FUNCTIONAL AND AESTHETIC DESIGN INTENT AS ILLUSTRATED BY THE "BASIS OF DESIGN" SHOWN BY THE CONTRACT DOCUMENTS.

9. SCHEDULE CONSTRUCTION WORK HOURS TO ACCOMODATE THE OPERATION OF THE HOSPITAL / CLINIC

10. CONTRACTOR SHALL MAINTAIN RECORD DOCUMENTS OF CONSTRUCTION CHANGES ("AS-BUILT DRAWINGS") AND SHALL PROVIDE SAID DOCUMENTATION TO THE ARCHITECT UPON COMPLETION OF CONSTRUCTION IN BOTH DIGITAL AND HARD COPY FORMATS. RECORD DOCUMENTS SHALL ARTICULATE WHERE ACTUAL INSTALLATION OF WORK, PRODUCTS, AND/OR SYSTEMS VARY FROM THE DESIGN INTENT EXPRESSED/SPECIFIED IN THE CONTRACT DOCUMENTS. **NO EXCEPTION ALLOWED**

11. ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DRAWINGS, CODE REQUIREMENTS OR MANUFACTURE REQUIREMENTS WITHOUT THE PRIOR APPROVAL OF THE OWNER AND THE ARCHITECT SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL PROMPTLY CORRECT ALL WORK REJECTED BY THE ARCHITECT AS DEFECTIVE OR AS FAILING TO CONFORM TO THE CONTRACT DOCUMENTS WHETHER OBSERVED BEFORE OR AFTER SUBSTANTIAL COMPLETION AND WHETHER OR NOT FABRICATED, INSTALLED OR COMPLETED. THE CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTING SUCH REJECTED WORK, NOT TO BE REIMBURSED, INCLUDING COMPENSATION FOR THE ARCHITECT'S ADDITIONAL SERVICES MADE NECESSARY THEREBY.

12. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR THAT WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE. THE CONTRACTOR SHALL SUBMIT CONFIRMATIONS OF DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT HAVING LONG LEAD TIMES.

13. PROJECT SPECIFICATIONS ARE AN INTEGRAL PART OF THESE PLANS; SUBSTITUTIONS FOR SPECIFIED MATERIALS REQUIRE THE WRITTEN APPROVAL FROM THE ARCHITECT AND OWNER. ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING AND WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A MORE ADVANTAGEOUS DELIVERY DATE, OR A LOWER PRICE WITH CREDIT TO THE OWNER / TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE, AND FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.

14. PROVIDE CONTINUOUS INSPECTIONS AS SET FORTH IN STATE AND LOCAL CODES AND PER CONTRACT DOCUMENTS AS NEEDED.

Revisions:

Rev.	Date	Description
	08.04.2017	95% Submittal

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Issue Date	Checked	Drawn
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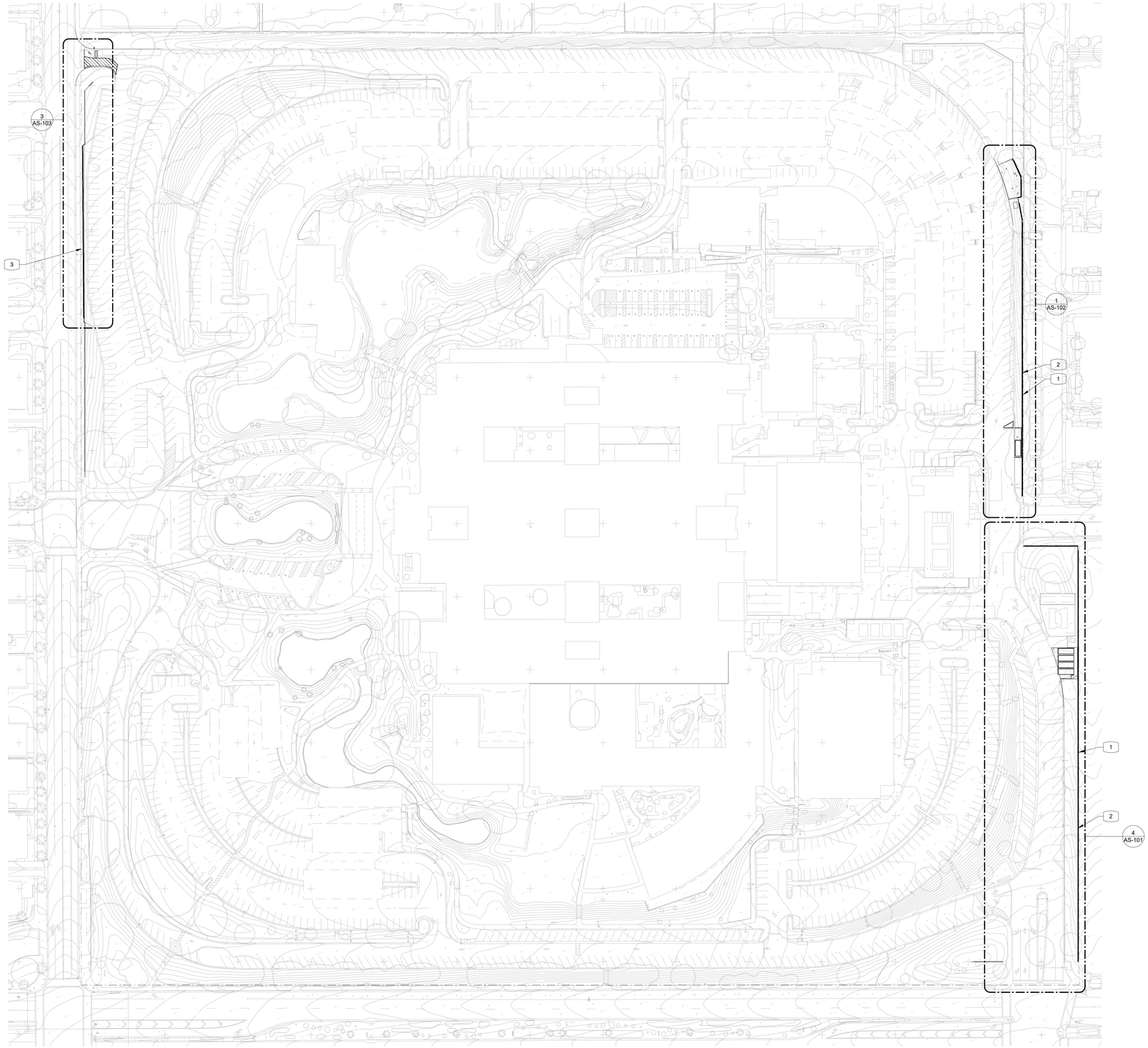

1 Reference Site Plan
1" = 60'-0"

Key Notes

1 (E) PROPERTY LINE TO BE VERIFIED BY CONTRACTOR.

2 NEW 8'-0" HIGH PERIMETER SECURITY FENCE TO MATCH EXISTING (AMERISTRAR: IMPASSE II - GAUNTLET; 3 RAIL); OFFSET FROM PROPERTY LINE 18".

3 NEW 8'-0" HIGH PERIMETER SECURITY FENCE TO MATCH EXISTING (AMERISTRAR: IMPASSE II - GAUNTLET; 3 RAIL) TO BE PLACED STREET SIDE OF EXISTING BLOCK RETAINING WALL. TRIM BACK EXISTING VEGETATION AS NEEDED FOR INSTALLATION OF NEW FENCE; COORIDINATE INSTALLATION OF FOOTINGS AS TO NOT DISTURB VEGETATION ROOT SYSTEM.

Revisions:		
Rev.	Date	Description
	08.04.2017	95% Submittal

CONSULTANT

ARCHITECT / ENGINEER OF RECORD

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Stamp: LICENSED ARCHITECT — STEVEN A. McCASLIN — C-32377 — 08/31/2017 — 08/04/2017 — STATE OF CALIFORNIA

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title	OVERALL SITE PLAN
Approved:	
Phase	95% Submittal
	N/A
Project Title	PERIMETER FENCE II
Location	11201 Benton St, Loma Linda, CA 92357
Issue Date	08.04.2017
Checked	SMc
Drawn	Author
Project Number	605-17-414
Building Number	-
Drawing Number	AS-100

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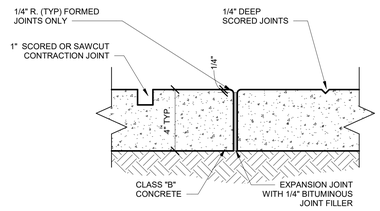
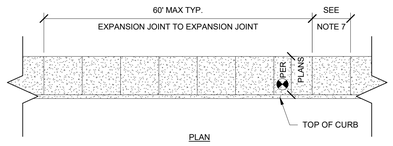


EXPANSION AND SCORED JOINT DETAIL

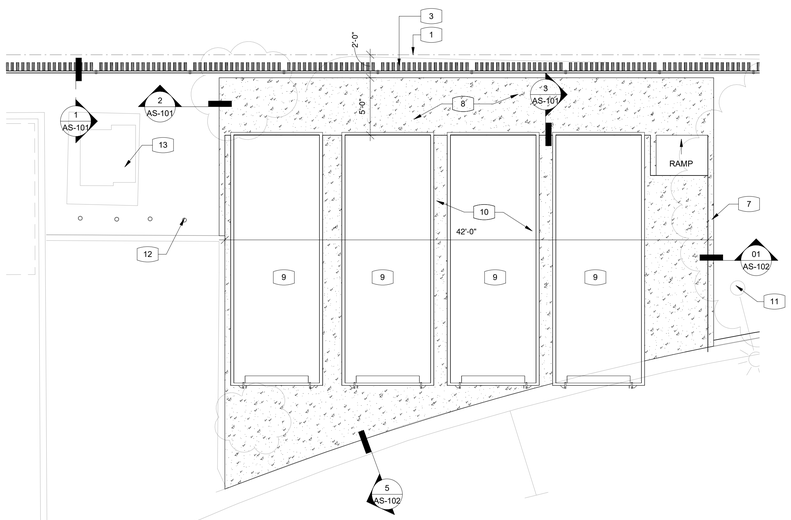


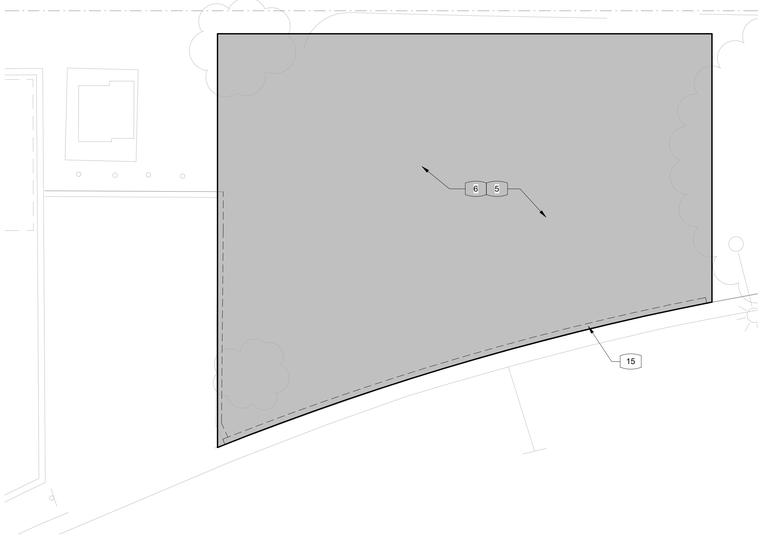
PLAN

NOTES:

1. EXPANSION JOINTS SHALL BE LOCATED WHERE WALKWAY ABUTS CONCRETE DRIVEWAYS, CURB OR OTHER ADJACENT STRUCTURES.
2. ONE-HALF INCH BITUMINOUS JOINT FILLER SHALL BE INSTALLED AT EXPANSION JOINT LOCATIONS AND SHALL EXTEND THE FULL DEPTH OF THE CONCRETE.
3. CONTROL JOINTS SHALL BE PLACED AT THE SPACING INDICATED FOR THE WIDTH OF WALKWAY AND IN A 6'X6' PATTERN.
4. 1" DEEP CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF APPROXIMATELY 15' OR AT A SPACING THAT MATCHES THE ADJACENT CURB.
5. FORMED CONTRACTION JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4" RADIUS.
6. SCORED JOINTS SHALL BE 1/4" DEEP AND PLACED AT THE SPACING INDICATED FOR THE WIDTH OF SIDEWALK OR MATCH SCORED JOINTS OF ADJACENT CURB.
7. CONCRETE SHALL NOT BE TINTED AND SHALL BE FINISHED BY MEANS OF A FLOAT, STEEL TROWELLED AND BROOMED WITH A FINE BRUSH IN A TRANSVERSE DIRECTION.
8. 1/4" DEEP SCORED JOINTS (TYP) SPACED AT 6' OR EQUAL TO SIDEWALK WIDTH.

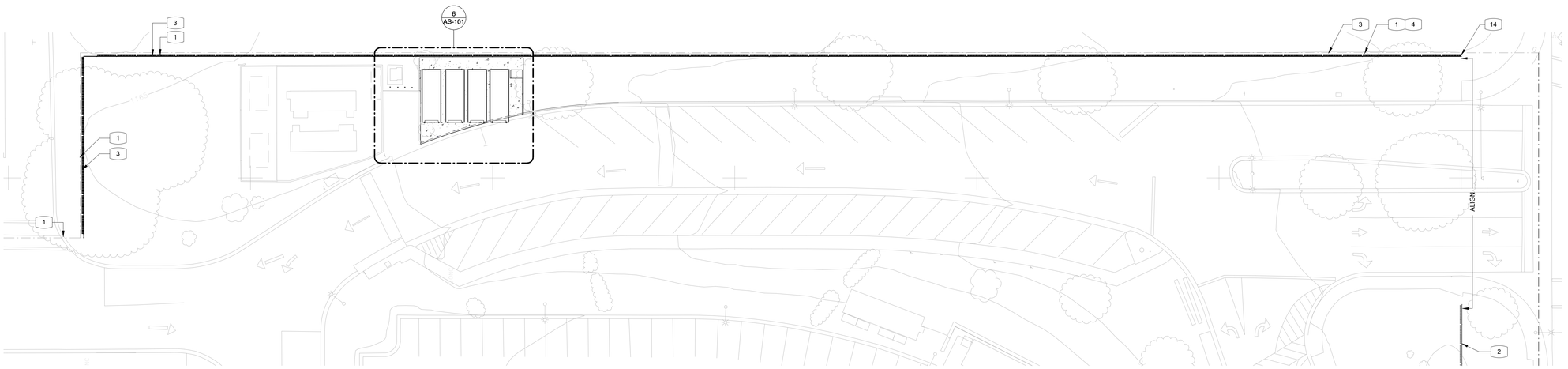
7 TYP. CONC. SIDEWALK
3" = 1'-0"





6 Dumpster Pad #1
3/16" = 1'-0"

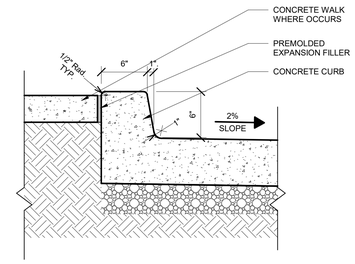
5 Dumpster Pad #1 (Demo)
3/16" = 1'-0"



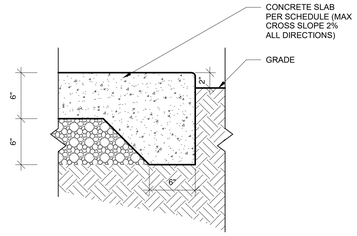
4 Southeast Perimeter Area
1" = 20'-0"

Key Notes

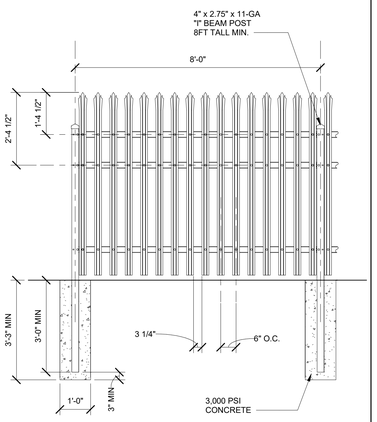
1. (E) PROPERTY LINE TO BE VERIFIED BY CONTRACTOR.
2. (E) PERIMETER SECURITY FENCE TO REMAIN.
3. NEW 8'-O" HIGH PERIMETER SECURITY FENCE TO MATCH EXISTING (AMERISTRAR: IMPASSE II - GAUNTLET; 3 RAIL); OFFSET FROM PROPERTY LINE 18".
4. VERIFY ANY EXISTING UTILITY CONFLICTS BY GROUND PENETRATING RADAR PRIOR TO EXCAVATION FOR FOUNDATION WORK (TYPICAL).
5. PROTECT (E) IRRIGATION SYSTEM IN PLACE WHERE OCCURS (TYPICAL FOR ENTIRE AREA IMPACTED).
6. CLEAR & GRUB AREA FOR PLACEMENT OF NEW PROPOSED WORK; COMPACT EXISTING GRADE TO 90%.
7. NEW 6" CONCRETE CURB (REFER TO DETAILS).
8. NEW 4" CONCRETE WALKWAY SLAB w/ #4 REBAR @ 18" O.C. EACH WAY o/ 2" SAND BED o/ COMPACTED GRADE.
9. ROLL OFF DUMPSTERS TO BE PROVIDED BY FACILITY.
10. NEW 6" CONCRETE SLAB w/ #4 REBAR @ 18" O.C. EACH WAY o/ 2" SAND BED o/ COMPACTED GRADE. SLOPE 2% TOWARDS EXISTING ROADWAY GUTTER.
11. (E) LIGHT STANDARD TO REMAIN (PROTECT IN PLACE DURING CONSTRUCTION ACTIVITIES).
12. (E) PIPE BOLLARDS TO REMAIN.
13. (E) UTILITY TRANSFORMER TO REMAIN.
14. TERMINATE SECURITY FENCE RUN PERPINDICULAR TO EXISTING PERIMETER SECURITY FENCE LINE.
15. COORDINATE REMOVAL OF CURB SECTION AS NEEDED WITH NEW PROPOSED WORK.



3 TYP. REJECT CURB
1 1/2" = 1'-0"



2 TYP. WALKWAY @ GRADE
1 1/2" = 1'-0"



1 SECURITY FENCE DETAIL
1/2" = 1'-0"

Revisions: Rev. / Date / Description	CONSULTANT	ARCHITECT / ENGINEER OF RECORD	Stamp	Office of Construction and Facilities Management	Drawing Title	Phase	Project Title	Project Number
		MA Architects, Inc. 21515 Hawthorne Blvd –Suite 200, Torrance, CA 90503 www.ma-architects.net	LICENSED ARCHITECT STEVEN A. McCASLIN C-32377 EXP. 07.31.2017 08/04/2017 STATE OF CALIFORNIA	VA | U.S. Department of Veterans Affairs	ENLARGED PLANS Approved:	95% Submittal N/A	PERIMETER FENCE II Location: 11201 Benton St, Loma Linda, CA 92357	605-17-414 Building Number: - Drawing Number: AS-101

Issue Date	Checked	Drawn
08.04.2017	SMc	Author

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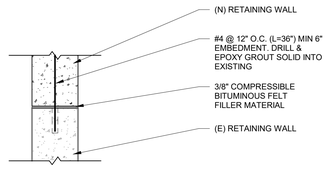
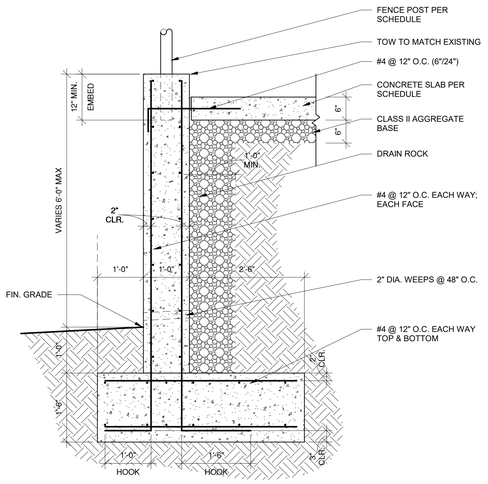
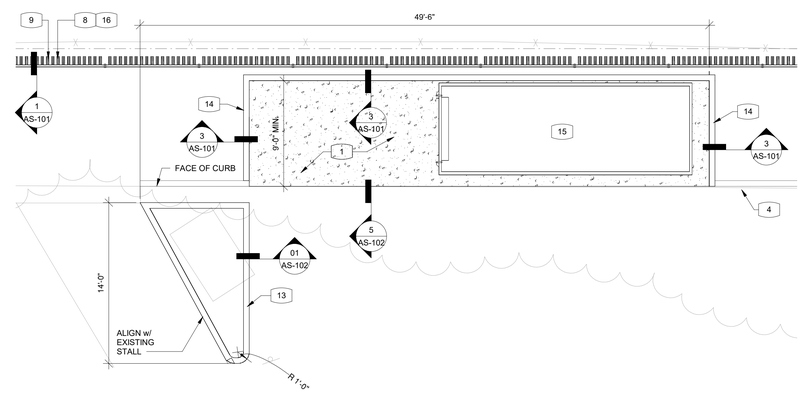


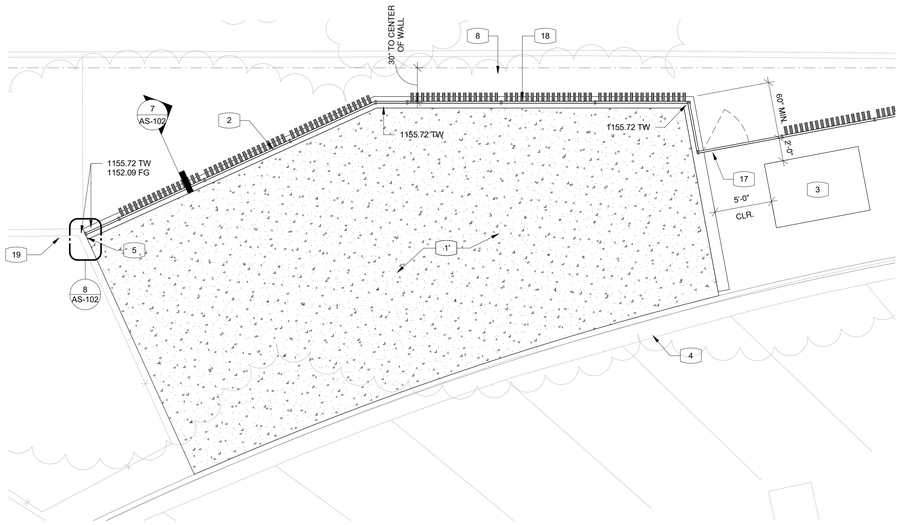
8 RETAINING WALL TIE-IN
3/4" = 1'-0"



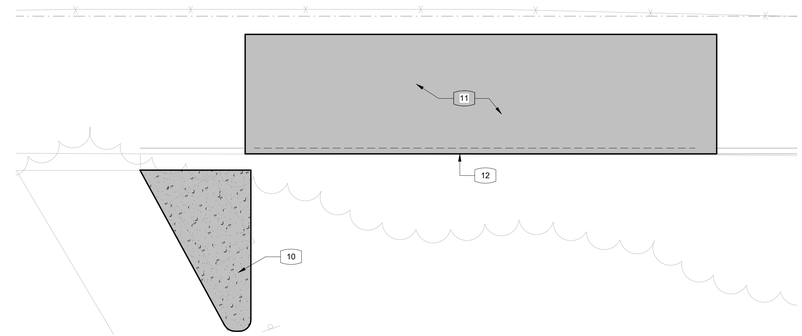
7 CONCRETE RETAINING WALL
3/4" = 1'-0"



3 Dumpster Pad #2
3/16" = 1'-0"



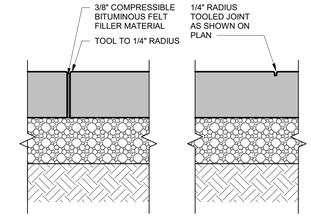
4 Retaining Wall & Pad Extension
3/16" = 1'-0"



2 Dumpster Pad #2 (Demo)
3/16" = 1'-0"

Key Notes

1 NEW 6" CONCRETE SLAB w/ #4 REBAR @ 18" O.C. EACH WAY o/ 2" SAND BED o/ COMPACTED GRADE. SLOPE 2% TOWARDS EXISTING ROADWAY GUTTER.
2 NEW 12" THICK CONCRETE RETAINING WALL w/ SECURITY FENCE TO MATCH EXISTING ADJACENT CONSTRUCTION; MATCH EXSTING TOP OF WALL ELEVATIONS FROM ADJACENT CONSTRUCTION.
3 EXISTING PV TRANSFORMER ENCLOSURE TO REMAIN.
4 EXISTING CURB & GUTTER TO REMAIN.
5 CONNECT NEW RETAINING WALL TO EXISTING.
6 CLEAR & GRUB ENTIRE SHADED AREA; REMOVE ALL TREES w/ A TRUNK DIAMETER MEASUREING 10" or LESS AT AN ELEVATION OF 48" ABOVE GRADE.
7 PROTECT (E) IRRIGATION SYSTEM IN PLACE WHERE OCCURS (TYPICAL FOR ENTIRE AREA IMPACTED).
8 (E) PROPERTY LINE TO BE VERIFIED BY CONTRACTOR.
9 NEW 8'-O" HIGH PERIMETER SECURITY FENCE TO MATCH EXISTING (AMERISTRAR: IMPASSE II - GAUNTLET; 3 RAIL); OFFSET FROM PROPERTY LINE 18".
10 COORDINATE ASPHALT REMOVAL FOR NEW ISLAND CURB.
11 CLEAR & GRUB AREA FOR PLACEMENT OF NEW PROPOSED WORK; COMPACT EXISTING GRADE TO 90%.
12 COORDINATE REMOVAL OF CURB SECTION AS NEEDED WITH NEW PROPOSED WORK.
13 NEW 6" ISLAND CURB (REFER TO DETAILS). INFILL WITH SOIL FOR NEW PLANTING PER VA.
14 NEW 6" CONCRETE CURB (REFER TO DETAILS).
15 ROLL OFF DUMPSTERS TO BE PROVIDED BY FACILITY.
16 VERIFY ANY EXISTING UTILITY CONFLICTS BY GROUND PENETRATING RADAR PRIOR TO EXCAVATION FOR FOUNDATION WORK (TYPICAL).
17 PROVIDE MANUFACTURE'S STANDARD 48" WIDE PERSONNEL GATE AND ACCESSORIES.
18 NEW 8'-O" HIGH PERIMETER SECURITY FENCE TO MATCH EXISTING (AMERISTRAR: IMPASSE II - GAUNTLET; 3 RAIL); OFFSET FROM PROPERTY LINE 30".
19 EXISTING SERVICE YARD RETAINING WALL.



6 TYP. CONCRETE JOINTS
1 1/2" = 1'-0"

5 TYP. DRIVE APPROACH
1 1/2" = 1'-0"

1 Northeast Permiter Area
1" = 20'-0"

01 TYP. VERTICAL CURB
1 1/2" = 1'-0"

Revisions:	CONSULTANT	ARCHITECT / ENGINEER OF RECORD	Stamp	Office of Construction and Facilities Management	Drawing Title	Phase	Project Title	Project Number
Rev. Date Description		MA Architects, Inc. 21515 Hawthorne Blvd –Suite 200, Torrance, CA 90503 www.ma-architects.net	LICENSED ARCHITECT STEVEN A. McCASLIN C-32377 EXP. 07.31.2017 STATE OF CALIFORNIA 08/04/2017	VA U.S. Department of Veterans Affairs	ENLARGED PLANS Approved:	95% Submittal N/A	PERIMETER FENCE II Location: 11201 Benton St, Loma Linda, CA 92357	605-17-414 Building Number: - Drawing Number: AS-102

Issue Date	Checked	Drawn
08.04.2017	SMc	Author

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Key Notes

1 NEW 8'-0" HIGH PERIMETER SECURITY FENCE TO MATCH EXISTING (AMERISTRAR: IMPASSE II - GAUNTLET; 3 RAIL) TO BE PLACED STREET SIDE OF EXISTING BLOCK RETAINING WALL. TRIM BACK EXISTING VEGETATION AS NEEDED FOR INSTALLATION OF NEW FENCE; COORIDINATE INSTALLATION OF FOOTINGS AS TO NOT DISTURB VEGETATION ROOT SYSTEM.

2 POLE MOUNTED SIGNAGE: "STOP" (R1-1) & "RIGHT TURN ONLY" (R3-5R) / ASSOCIATED TRAFFIC PAVEMENT MARKINGS.

3 ASSOCIATED TRAFFIC PAVEMENT MARKINGS FOR "STOP" PER CALTRANS STANDARDS FIG 6-36.

4 CONNECT NEW & EXISTING PERIMETER SECURTY FENCE PER MANUFACTURE'S STANDARD INSTALLATION REQUIREMENTS.

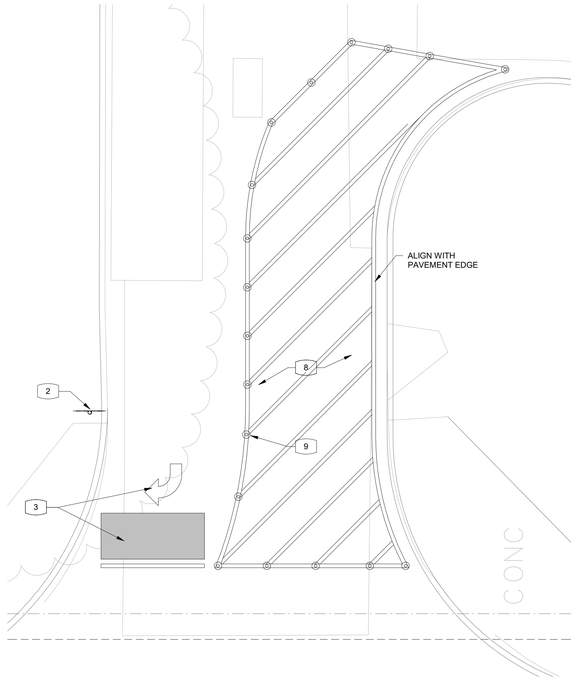
5 (E) PROPERTY LINE TO BE VERIFIED BY CONTRACTOR.

6 PROTECT (E) IRRIGATION SYSTEM IN PLACE WHERE OCCURS (TYPICAL FOR ENTIRE AREA IMPACTED).

7 (E) PERIMETER SECURITY FENCE TO REMAIN.

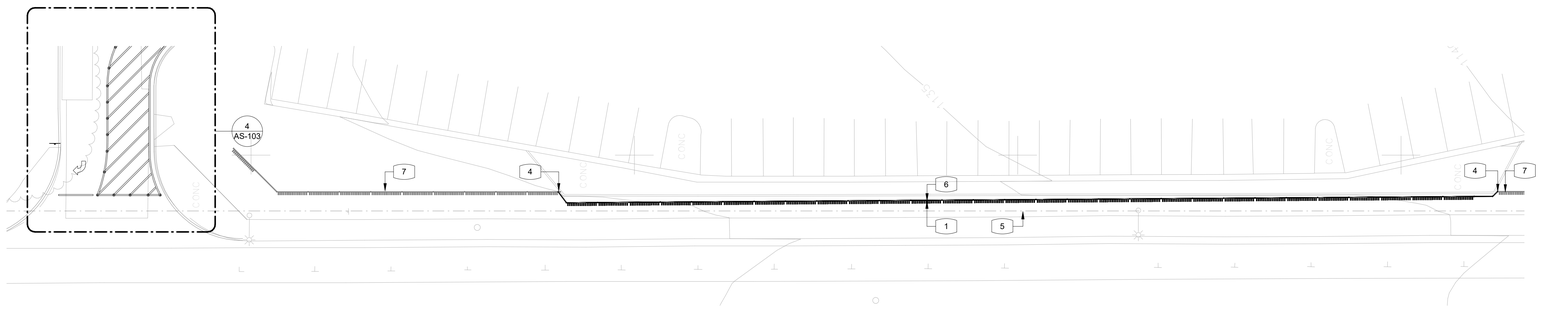
8 YELLOW PAVEMENT MARKINGS; 4" WIDE BORDER W/ HATCHED LINES @ 36" O.C.; COORIDINATE SPECIFIC LAYOUT WITH VA ENGINEERING.

9 SURFACE MOUNTED FLEXIBLE POST TRAFFIC DELINEATOR SPACE 36" OC @ PERIMETER OF PAVEMENT MARKING. MATCH EXISTING VA CAMPUS STANDARDS (BASIS OF DESIGN - SAFE-HIT: SH342SMA--WS).

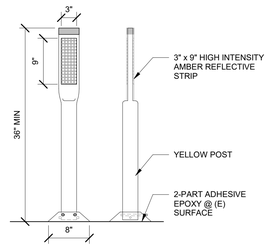


4 Northwest Exit
3/16" = 1'-0"

2 POLE SIGNAGE
3/8" = 1'-0"



3 West Perimeter Area
1/16" = 1'-0"



1 FLEXIBLE POST DELINEATOR
1" = 1'-0"

Revisions: Rev. Date Description	**CONSULTANT**	**ARCHITECT / ENGINEER OF RECORD** MA Architects, Inc. 21515 Hawthorne Blvd –Suite 200, Torrance, CA 90503 www.ma-architects.net	**Stamp** LICENSED ARCHITECT STEVEN A. McCASLIN C-32377 EXP. 07.31.2017 08/04/2017 STATE OF CALIFORNIA	Office of Construction and Facilities Management VA U.S. Department of Veterans Affairs	**Drawing Title** ENLARGED PLAN **Approved:**	**Phase** 95% Submittal N/A	**Project Title** PERIMETER FENCE II **Location** 11201 Benton St, Loma Linda, CA 92357 **Issue Date** 08.04.2017 **Checked** SMc **Drawn** Author	**Project Number** 605-17-414 **Building Number** - **Drawing Number** AS-103

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