

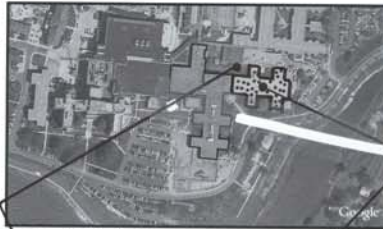
# ROOF REPLACEMENT BLDG 137 B PSYC.

HAMPTON VA MEDICAL CENTER  
100 EMANCIPATION DRIVE  
HAMPTON, VIRGINIA 23667-0001



DEPARTMENT OF  
VETERANS AFFAIRS

"POTENTIAL"  
CONTRACTOR  
STAGING  
AREA,  
COORD. WITH  
THE C.O.R.  
AND  
PRODUCE  
LAYOUT  
PLAN.

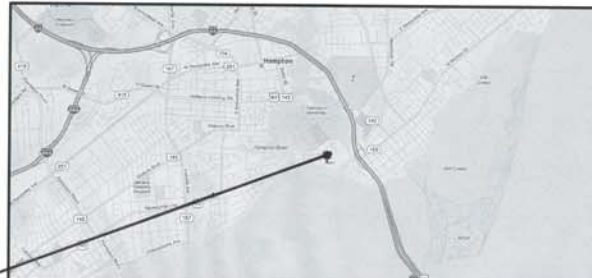


AERIAL VIEW



CURRENT SITE MAP

LOCATION  
OF  
WORK



AREA MAP, HAMPTON, VA 23667-0001



AREA MAP, HAMPTON, VA 23667-0001

The following SOPREMA roofing system was submitted and approved on a previous project and will be considered as equal to the specifications:

Primer: Elastocool 500

Vapor Barrier: (heat welded) on of Elastophene SP 3.0 heat welded

Lightweight insulating concrete (LWIC): New Celcore Cellular Lightweight Concrete minimum 2.5 inch top pour and minimum 250 PSI compressive strength, installed to meet the LWIC manufacturers published requirements. For non-venting structures LWIC, venting to include span aluminum one-way vents with minimum 4 inch flange, installed 30 ft. on centers and no more than one vent per 1000 sq. ft. area.

SOPRATX Base Ply (mechanically fastened): One ply of SOPRATX Base 622 mechanically fastened with SOPREMA Tri-Fix fasteners and membrane seam plates. Install fasteners along the center line of the 5 inch heat welded side laps. SOPREMA detail US-FP D6.05.

SBS Modified Bitumen Cap Sheet (cold adhesive applied): One ply of SOPRATX SANDED adhered with COULPY Modified adhesive with heat welded laps.

Flashings, Penetrations and Drains:

- SBS Modified Bitumen Base Ply (heat welded): One ply of ELASTOPHENE SP 3.0 heat welded to the primed substrate.
- ALSAN RS Flash System: Apply ALSAN RS 230 Flash liquid resin that has been catalyzed using ALSAN RS catalyst powder. Fully reinforce using ALSAN RS fleece and apply to the clean, dry and prepared substrate.

Wind Uplift Resistance and Fire Classification

- ANSI/TM 4474
- Roofing maximum design pressure of 45.0 psf. Equivalent to the FM rating of 3-90. Refer to Florida Evaluation Report FL3915-B-18, System Number LWIC-SS for review and acceptance.
- The roofing system shall meet UL 790 Class A. Refer to UL TGFU R14135.

## Legend

	CURBED PENETRATION		ROOF HATCH
	SIPHON VENT		CONCRETE DECK LOCATION
	VENT PIPE		EXPANSION JOINT
	PITCH POCKET		DEMOLITION NOTE
	POWER VENTILATOR		CONSTRUCTION NOTE
	ROOF DRAIN		SLEEPERS
	OVERFLOW ROOF DRAIN		DETAIL NUMBER
	THROUGH-EDGE SOUPPER		SHEET WHERE DRAWN

## Abbreviations

ABL	ANCHOR BOLT	L	LENGTH
AC	AIR CONDITIONING	MAX	MAXIMUM
A.F.F. ACT.	ABOVE FINISH FLOOR ADJUTICAL CEILING TILE	MCH	MECHANICAL
BLDG.	BUILDING	MIL	MIL
BO.	BOWL	MFRS	MANUFACTURERS
BUILD.	BUILDING	MTD	MOUNTING
CA	CONTROL JOINT	MTL	METAL
C.C.	CEILING	N.C.	NOT IN CONTRACT
CONC.	CONCRETE	OF/CI	OWNER FURNISHED CONTRACTOR INSTALLED
CONT.	CONTINUOUS	OF/CI	OWNER FURNISHED OWNER INSTALLED
COORD.	COORDINATE	OF/CI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED
COTR.	CONTRACTING OFFICERS	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
CPR.	CONCRETE	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
DFT.	DEMOLITION	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
DTLS.	DETAILS	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
ELEV.	ELEVATION	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
ELEC.	ELECTRICAL	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
EQ.	EQUAL	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
EQUIP.	EQUIPMENT	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
EXTR.	EXTERIOR	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
FDN.	FOUNDATION	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
FIN.	FINISHED	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
FLS.	FLOOR	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
GALV.	GALVANIZED	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
GWS.	GYP-SUM WALL BOARD	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
HRT.	HOUR	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
HT.	HEIGHT	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
INT.	INTERIOR	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED
INCRP.	INCORPORATION	OF/CI	CONTRACTOR FURNISHED OWNER INSTALLED

## Index of Drawings

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A-1	CONSTRUCTION PLAN
A-2	TAPED INSULATION PLAN
A-3	CONSTRUCTION DETAILS
A-4	CONSTRUCTION DETAILS

## Project Notes:

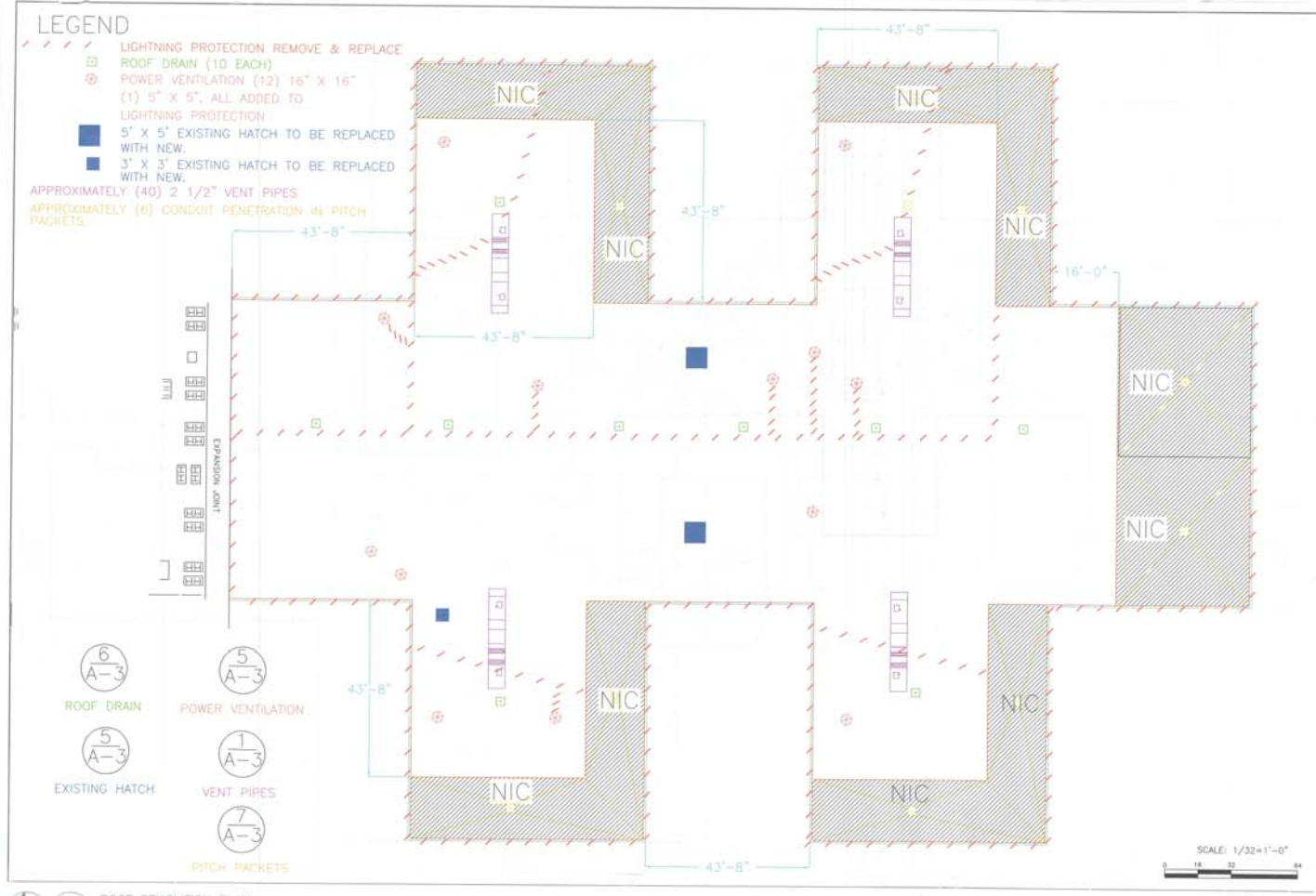
1. ROOF SQUARE FOOTAGES AND DIMENSIONS ARE APPROXIMATE AND NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL ROOF SQUARE FOOTAGES AND FIELD MEASUREMENTS, AND EQUIPMENT, CURB AND DRAIN LOCATION MEASUREMENTS.

PRE CONSTRUCTION RISK ASSESSMENT/EVALUATION		
	PROJECT NAME	ROOF REPLACEMENT BUILDING 137
	EXPECTED IMPACTS	POTENTIAL MEASURES TO AVOID IMPACTS
UTILITY/STRUCTURAL/HAZARDOUS MATERIALS	Lightening Arrester Protection System shall not be removed and used for service for the duration of project.  Normal alterations during demolition and existing ceiling system can be expected.	Demographic (including noise, vibrations and air pollutants) beyond the limits of construction and required, by general note, to be minimized and prevented by the owner's architect engineer. By general note, the right to require interpretation of solutions to be performed outside normal facility work hours.  Demographic (including noise, vibrations and air pollutants) beyond the limits of construction and required, by general note, to be minimized and prevented by the owner's architect engineer. By general note, the right to require interpretation of solutions to be performed outside normal facility work hours.
VIBRATIONS	Normal alterations during demolition and existing ceiling system can be expected.	Demographic (including noise, vibrations and air pollutants) beyond the limits of construction and required, by general note, to be minimized and prevented by the owner's architect engineer. By general note, the right to require interpretation of solutions to be performed outside normal facility work hours.
SOOT (DUST) EMISSION/CONTAMINANT/QUALITY	None expected during construction	Demographic (including noise, vibrations and air pollutants) beyond the limits of construction and required, by general note, to be minimized and prevented by the owner's architect engineer. By general note, the right to require interpretation of solutions to be performed outside normal facility work hours.
NOISE	Normal noise during demolition and construction to be expected.	Demographic (including noise, vibrations and air pollutants) beyond the limits of construction and required, by general note, to be minimized and prevented by the owner's architect engineer. By general note, the right to require interpretation of solutions to be performed outside normal facility work hours.
CREATION OF DUST OR SPREAD OF CONTAMINANTS	None expected during construction	Demographic (including noise, vibrations and air pollutants) beyond the limits of construction and required, by general note, to be minimized and prevented by the owner's architect engineer. By general note, the right to require interpretation of solutions to be performed outside normal facility work hours.
TRAFFIC FLOW, PARKING, VEHICLES, PEAK, CONTRACTS	Normal and brief disruptions of visitor access (vehicles) will be expected. Some ceiling work (interior) may create some traffic congestion can be expected.	Demographic (including noise, vibrations and air pollutants) beyond the limits of construction and required, by general note, to be minimized and prevented by the owner's architect engineer. By general note, the right to require interpretation of solutions to be performed outside normal facility work hours.
SMALLS OF CONSTRUCTION, HAZARDOUS MATERIAL	All open construction project types, including general staging area subject to the Design and Construction Management Plan, shall be coordinated with a construction notice and all other safety to be observed.	Demographic (including noise, vibrations and air pollutants) beyond the limits of construction and required, by general note, to be minimized and prevented by the owner's architect engineer. By general note, the right to require interpretation of solutions to be performed outside normal facility work hours.

VA Project Number	590-17-107
Date	April 28, 2017
Drawn by	AA
Checked by	WM
<b>Set</b>	



Project Title	ROOF REPLACEMENT BUILDING 137 B PSYC.
Project Number	590-17-107
Project Location	HAMPTON, VIRGINIA
Project Date	April 28, 2017
Project Status	COMPLETED
Project Manager	AA
Project Engineer	WM
Project Designer	AA
Project Checker	WM
Project Approver	AA
Project Reviewer	WM
Project Auditor	AA
Project Signer	WM



**DEMOLITION NOTES**

D1. CONTRACTOR SHALL REMOVE ALL ROOFING, INSULATION MATERIAL, EDGE, FASCOA AND CAP METALS, FASTENERS, PITCH POCKETS, AND ASSOCIATED ROOFING MATERIALS. ALL ROOFING RELATED MATERIALS SHALL BE PROPERLY DISPOSED OF ONLY. CONTRACTOR SHALL CLEAR AND REPAIR ROOF DECK AREAS PRIOR TO ROOFING SYSTEM INSTALLATION.

D2. REMOVE EXISTING ROOF SURFACE MOUNTED HVAC AND SATURATED ROOF PADS AND REPAIR FOR INSTALLATION OF NEW SLEEPS CURED PER NEW WORK PLANS AND SPECS.

D3. THE CONTRACTOR SHALL PROVIDE ALL ELECTRICAL AND MECHANICAL DISCONNECTS AND RECONNECTS AS REQUIRED. REMOVAL CONTRACTOR SHALL LEAVE ALL MECHANICAL EQUIPMENT ON NEW SPAN SUPPORT CURB/ELECTRIC WHERE NECESSARY PER NOTE C-18 AND DETAIL A-3 - TO PROVIDE MINIMUM FLYING HEIGHT OF 6' ABOVE THE FINISHED ROOF.

D4. CONTRACTOR TO DISCONNECT, REMOVE, AND STORE ALL EXISTING LIGHTNING ARRESTING SYSTEM EQUIPMENT FOR REINSTALLATION UPON COMPLETION OF THE NEW ROOF WORK. SEE NOTE C-18/A-1.

**GENERAL NOTES**

1. DIMENSIONS ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL FIELD SIZE AND LOCATION MEASUREMENTS FOR ALL EXISTING EQUIPMENT, CURBS, DECK PENETRATIONS, AND DRAINAGE.

2. WHEN RATING EQUIPMENT, ALL MECHANICAL, ELECTRICAL, NATURAL GAS, AND PLUMBING DISCONNECTS AND RECONNECTS SHALL BE PERFORMED BY LICENSED TRADE PROFESSIONALS AS SUPPLIED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

3. ALL WORK TO BE PERFORMED PER SPECIFICATIONS AND DETAILS, AND PER CURRENT BUILDING CODES - IRC 2009 AS ADOPTED BY VA CONSTRUCTION CODE 2009, NATIONAL FIRE CODES 2009, IBC, NFPA LIFE SAFETY CODE 2009, AND ASCE-1.

4. CONTRACTOR SHALL NOT REMOVE ANY WORK ROOFING THAN CAN BE PUT BACK IN ANY GIVEN DAY. PHASE ROOFING IS NOT ACCEPTABLE FOR ANY REASON. ALL HOIST SEALS SHALL BE PERFORMED PER NFPA AND MANUFACTURER'S REQUIREMENTS.

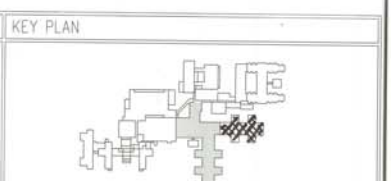
5. CONTRACTOR SHALL DISCONNECT, REMOVE, STORE, AND LATER REINSTALL THE EXISTING PERIMETER MOUNTED LIGHTNING PROTECTION SYSTEM. REATTACHMENT AND CONNECTION TO NEW ROOF SYSTEM SHALL BE PER THE NEW ROOF SYSTEM MANUFACTURER'S REQUIREMENTS.

6. ITEMS TO BE REMOVED ARE DEFINED AS: ITEMS TO BE DETACHED FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.

7. ITEMS TO BE REMOVED AND SALVAGED ARE DEFINED AS: ITEMS TO BE DETACHED FROM EXISTING CONSTRUCTION AND DELIVER THEM TO OWNER.

8. ITEMS TO BE REMOVED AND REINSTALLED ARE DEFINED AS: ITEMS TO BE DETACHED FROM EXISTING CONSTRUCTION, PREPARE THEM FOR REUSE, AND REINSTALL THEM WHERE INDICATED.

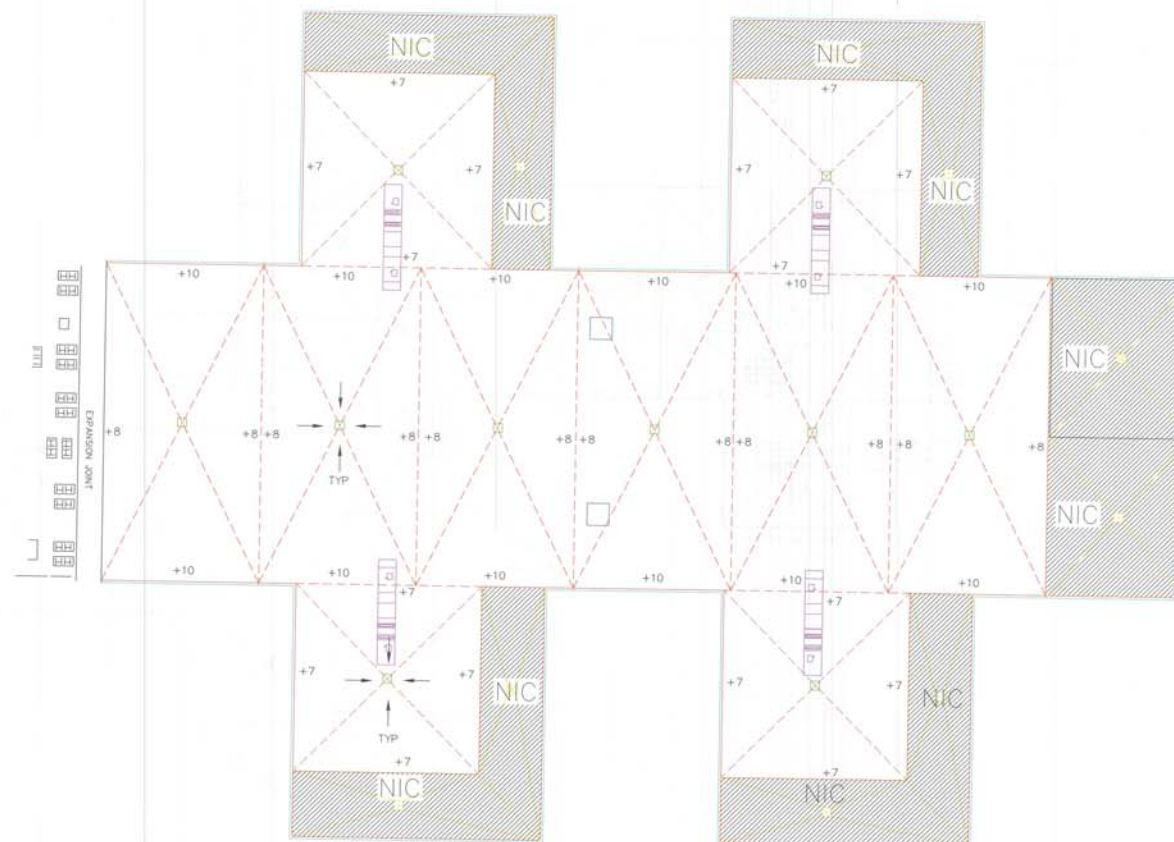
9. ITEMS TO REMAIN ARE DEFINED AS: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.



		<b>DEMOLITION PLAN</b>		<b>ROOF REPLACEMENT BUILDING 137 B PSYC.</b>		Date: April 28, 2017 Project No: 590-17-107	
Revision: _____ Date: _____		Drawing Title: _____		Project Title: _____		Drawing No: D-1	
Project Number: 137		Drawing Title: _____		Project Title: _____		Drawing No: D-1	
Location: HAMPTON, VIRGINIA		Drawing Title: _____		Project Title: _____		Drawing No: D-1	







PLAN LEGEND:	
[Symbol]	CURBED PENETRATION
[Symbol]	VENT PIPE
[Symbol]	PITCH POCKET
[Symbol]	POINCE VENTILATOR
[Symbol]	ROOF DRAIN
[Symbol]	THROUGH-EDGE SCUPPER
[Symbol]	CONSTRUCTION NOTE
[Symbol]	ROOF SECTION L.O.
[Symbol]	DETAIL NUMBER
[Symbol]	SHEET WHERE DRAWN

SCALE: 1/32" = 1'-0"

1  
A-2  
TAPERED INSULATION PLAN

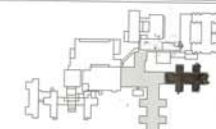
#### CONSTRUCTION NOTES

- EXISTING DRAIN LOCATIONS SHOWN ARE APPROXIMATE. ALL ROOF DRAIN LEADER DISCONNECTS, RECONNECTS, AND INSTALLATIONS SHALL BE PERFORMED BY A LICENSED QUALIFIED PLUMBING CONTRACTOR, PER SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR IS TO PROVIDE AND INSTALL NEW TAPERED INSULATING CONCRETE SYSTEMS AS SPECIFIED. TAPER SHALL BE A MINIMUM OF 1/4" PER 12" WITH 1/2" PER 12" CROCKETS, UNLESS SHOWN OTHERWISE. CONTRACTOR SHALL PROVIDE TAPERED LIGHTWEIGHT INSULATING CONCRETE SYSTEM PLANS FOR REVIEW ONCE ALL FIELD MEASUREMENTS HAVE BEEN VERIFIED BY THE CONTRACTOR. TAPER SHALL BE MINIMUM 1/4" PER 12" CROCKETS, UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW EXISTING ROOF DRAIN LEADER DISCONNECTS, RECONNECTS, AND INSTALLATIONS SHALL BE PERFORMED BY A LICENSED QUALIFIED PLUMBING CONTRACTOR, PER SPECIFICATIONS AND DRAWINGS.
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#### GENERAL INSULATION NOTES

- ALL EXISTING ROOF AREAS SHALL BE TAKEN DOWN TO THE ROOF DECK. ANY AND ALL ROOF DECK REPAIRS OR REPLACEMENTS SHALL BE AUTHORIZED BY THE ARCHITECT OR ROOF CONSULTANT PRIOR TO PERFORMANCE OF ANY AND ALL ROOF DECK REPAIRS BY THE CONTRACTOR.
- ROOF DECKS SHALL BE IN SOUND AND CLEAN CONDITION PRIOR TO BEGINNING ROOF INSULATION APPLICATION.
- ALL ROOF INSULATION SYSTEMS SHALL BE INSTALLED PER SPECIFICATIONS AND DETAIL DRAWINGS.
- ON A CLEAN AND PROPERLY PREPARED CONCRETE ROOF DECK, THE CONTRACTOR SHALL PROVIDE AND INSTALL A NEW SPECIFIED TYPICAL APPLIED ONE MODIFIED BASE SHEET OR A NEW SPECIFIED ONE BASE SHEET APPLIED IN HOT TYPE IV ASPHALT, PRIOR TO THE INSTALLATION OF THE NEW LIGHTWEIGHT INSULATING CONCRETE INSULATION SYSTEM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW TAPERED INSULATING CONCRETE SYSTEMS WITH AN OVERALL SLOPE OF 1/4" PER 12".
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#### KEY PLAN



Project Title  
**TAPERED INSULATION PLAN**

Project Site  
**ROOF REPLACEMENT BUILDING 137 B PSYC.**

Date  
**April 28, 2017**

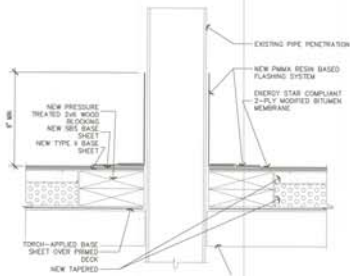
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**137**

Sheet Title  
**WM**

Sheet Number  
**590-17-107**

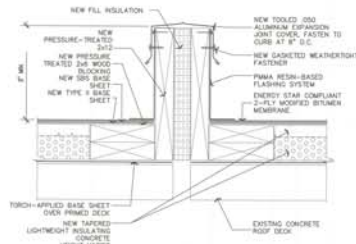
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**A-2**

Department of Veterans Affairs



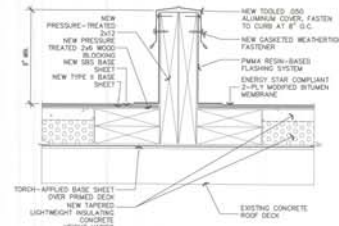
1 VENT PIPE/PENETRATION  
A-3

TYPICAL



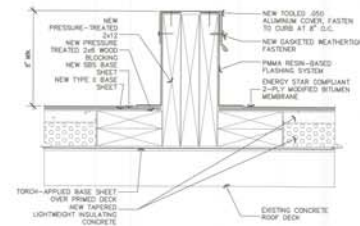
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A-3

NOT TO SCALE



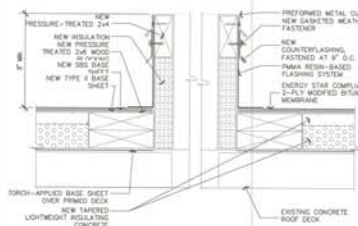
3 RAISED AREA DIVIDER  
A-3

NOT TO SCALE



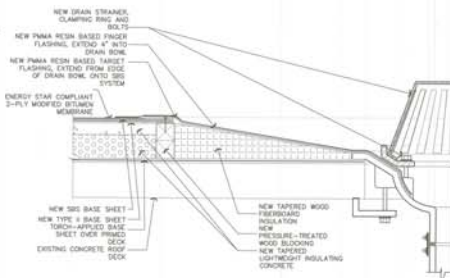
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A-3

NOT TO SCALE



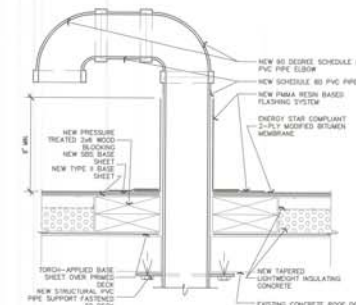
5 CURBED PENETRATION  
A-3

TYPICAL



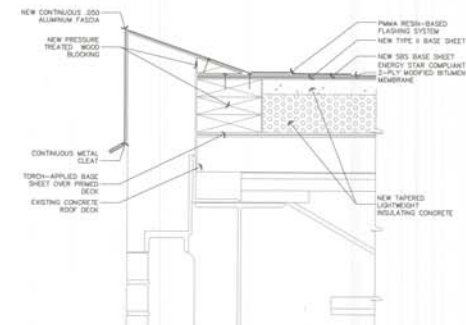
6 ROOF DRAIN  
A-3

NOT TO SCALE



7 CONDUIT PENETRATION  
A-3

NOT TO SCALE



8 METAL FLASHING AT RAISED COPING  
A-3

NOT TO SCALE

SEE SHEETS A-5 THRU A-7 FOR ALL INFORMATION CONCERNING THE DEMOLITION AND NEW WORK RELATED TO THE TWO ROOFTOP CLOSETORY LIGHT UNITS.



CONSTRUCTION  
DETAILS

ROOF REPLACEMENT  
BUILDING 137 B PSYC.

April 28, 2017

590-17-107

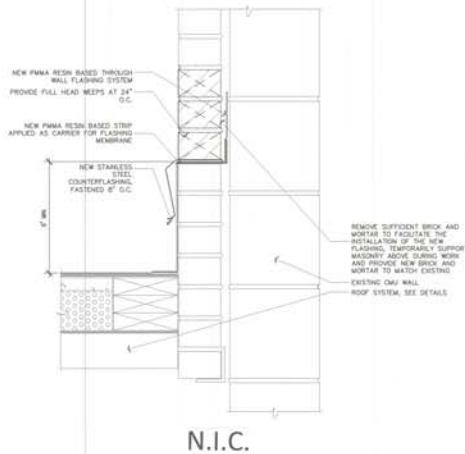
AA

HAFTON, VIRGINIA

A-3



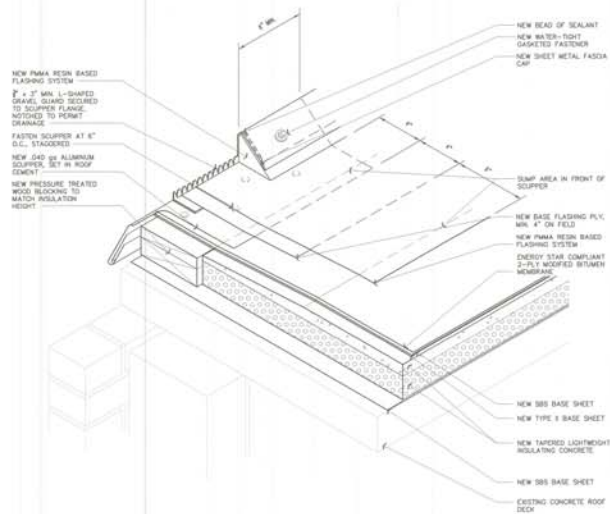




N.I.C.

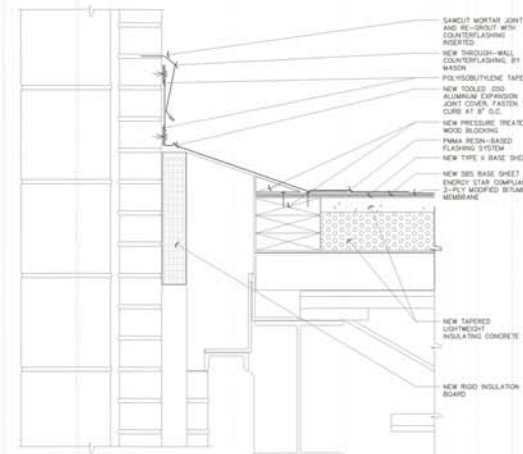
1  
A-4 BRICK REPLACEMENT THROUGH-WALL FLASHING

NOT TO SCALE



3  
A-4 THROUGH-EDGE SCUPPER

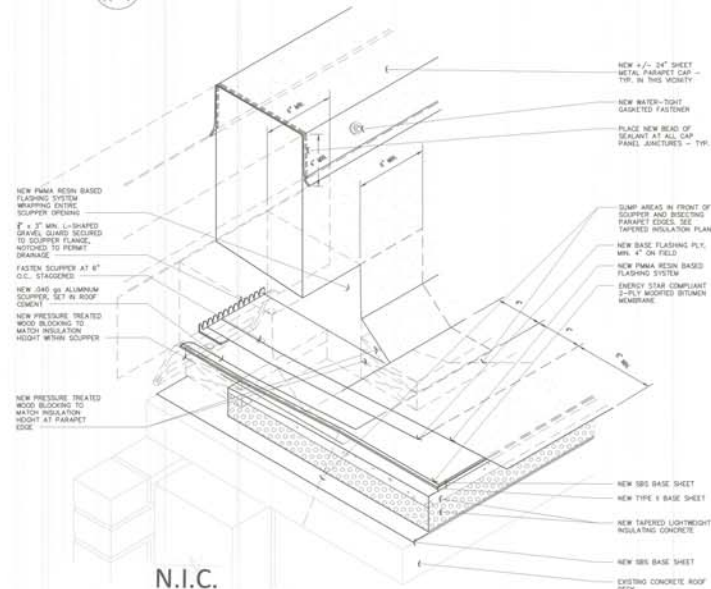
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N.I.C.

2  
A-4 EXPANSION JOINT AT NEW CONSTRUCTION

NOT TO SCALE



N.I.C.

4  
A-4 EXPANSION JOINT AT NEW CONSTRUCTION

NOT TO SCALE

SEE SHEETS A-5 THRU A-7 FOR ALL INFORMATION CONCERNING THE DEMOLITION AND NEW WORK RELATED TO THE TWO ROOF TOP CLIMBING LIGHT UNITS.



CONSTRUCTION  
DETAILS

ROOF REPLACEMENT  
BUILDING 137 B PSYC.

April 28, 2017  
590-17-107

A-4

Department of  
Veterans Affairs