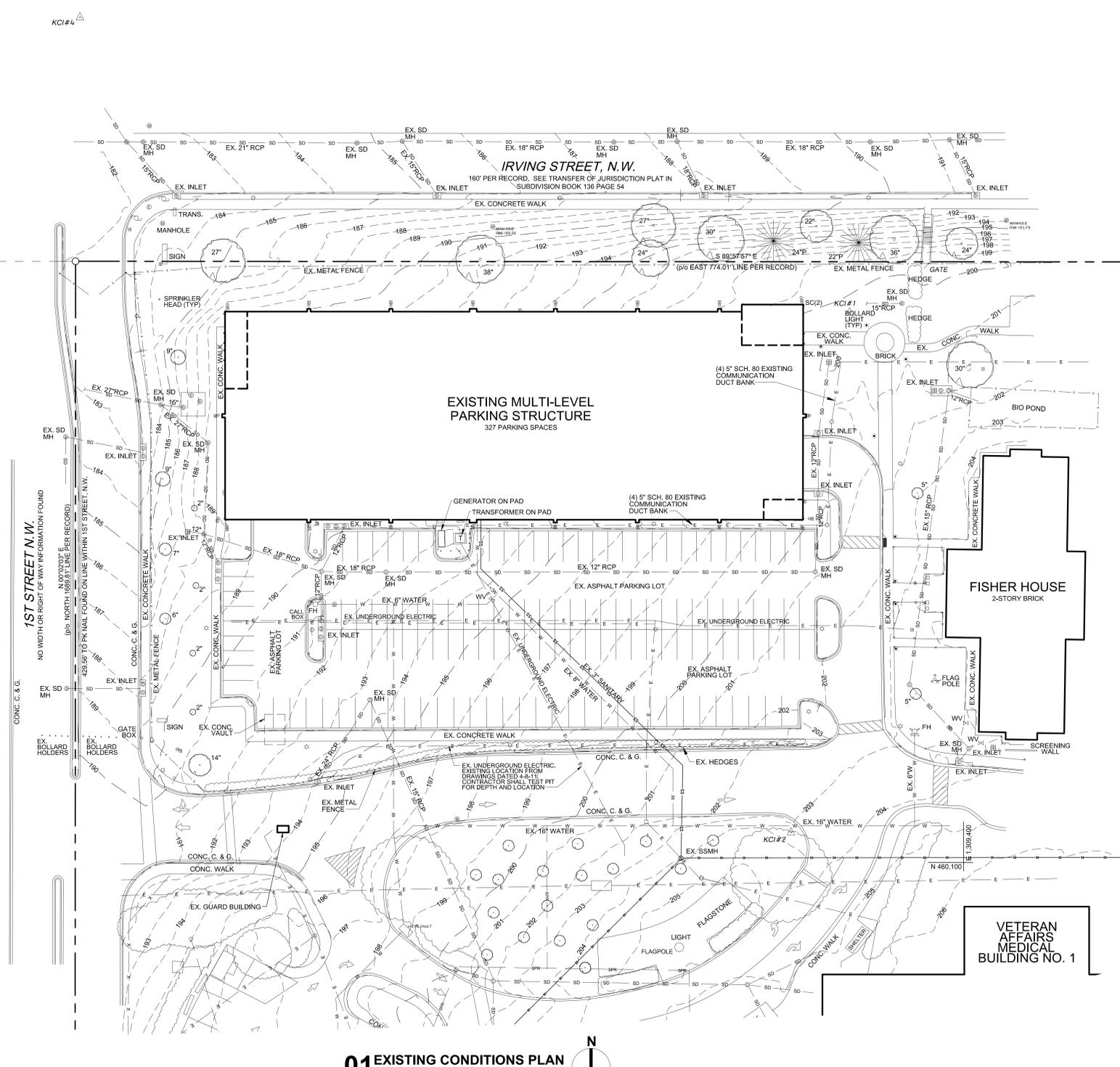


GENERAL NOTES

- THE SITE SHOWN HEREON IS PART OF PARCEL 121/27 AS SHOWN ON ASSESSMENT AND TAXATION PLAT #3457-X RECORDED AMONG THE RECORDS OF OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA
- BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL DISTRICT RECORDS AND VERIFIED IN THE FIELD IN SO FAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CORRECTION BY THE OFFICE OF THE SURVEYOR. A FULL BOUNDARY SURVEY FOR THE TRACT LINES OF PARCEL 121/27 WAS NOT PERFORMED.
- HORIZONTAL DATUM FOR THIS SURVEY, INCLUDING COORDINATES AND BEARINGS THAT MAY BE SHOWN, IS REFERENCED TO THE GRID MERIDIAN ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM NAD83(2011) AND OBTAINED FROM GPS SURVEY REFERENCED TO THE LEICA SMARTNET (RTK/RTN) NETWORK.
- ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED IN THE NORTH AMERICAN DATUM OF 1988 (NAV88) AS ESTABLISHED BY GPS SURVEY AND VERIFIED IN THE FIELD (WITH APPROPRIATE CONVERSIONS) TO DC BENCHMARKS AND OTHER ON-SITE CONTROL BY OTHERS FOUND.
- INDICATIONS OF UTILITY SERVICES SHOWN HEREON ARE ABOVE GROUND EVIDENCE ONLY. NO UNDERGROUND DESIGNATION WAS PERFORMED FOR THIS SURVEY. PROVIDED PLANS WERE USED TO CONNECT SOME STORM AND SANITARY SEWER SYSTEMS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY UNCOVER EASEMENTS OR OTHER RESTRICTIONS OF RECORD AFFECTING THE SUBJECT SITE.
- NO INFORMATION FOR AN ESTABLISHED RIGHT OF WAY FOR 1ST STREET ALONG THE WESTERN BOUNDARY WAS FOUND.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" 1-800-257-7777 AT LEAST FIVE WORKING DAYS PRIOR TO STARTING ANY WORK.
- OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. KCI TECHNOLOGIES, INC. DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY BRING IT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING ANY WORK.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE CONTRACT TO THE PROPOSED GRADES AS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AT ALL TIMES.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AND ACCESSORIES NOT REMOVED BY LOCAL UTILITY COMPANIES, OR SPECIFIED TO BE REMOVED BY OWNER.
- CONTRACTOR SHALL INSTALL SEDIMENT CONTROLS PRIOR TO BEGINNING ANY WORK AND MAINTAIN SEDIMENT CONTROLS THROUGHOUT THE ENTIRE DURATION OF DEMOLITION AND CONSTRUCTION ACTIVITIES.
- ALL EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
- CONTRACTOR SHALL INSTALL A TEMPORARY CONSTRUCTION FENCE AROUND THE CONSTRUCTION AREA WHILE MAINTAINING ACCESS TO THE ADJACENT PUBLIC SIDEWALKS AND DRIVEWAYS.
- CONTRACTOR SHALL SECURE THE CONSTRUCTION AREA AT THE END OF EACH WORKING DAY AND WILL INSPECT THE SECURITY FENCING TO INSURE ITS INTEGRITY.
- ALL CONSTRUCTION DEBRIS WILL BE REMOVED FROM THE SITE AND TAKEN TO AN APPROVED, PERMITTED DISPOSAL FACILITY. NO RUBBLE IS TO BE LEFT ON SITE.
- CONTRACTOR SHALL INSPECT AND TAKE PICTURES OF ADJACENT BUILDING WALLS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ON THE SITE. EXISTING WALL CRACKS (IF ANY) WILL BE NOTED.
- CONTRACTOR SHALL CONTINUALLY MONITOR THE WALLS OF THE ADJACENT BUILDINGS FOR ANY SIGNS OF STRUCTURAL DISTRESS. IF ANY DISTRESS IS NOTED, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.
- CONTRACTOR SHALL NOT EXPOSE, UNDERMINE, OR IMPACT THE ZONE OF INFLUENCE FOR FOOTINGS AND FOUNDATIONS OF ADJACENT BUILDINGS. CONTRACTOR WILL BE RESPONSIBLE FOR THE COST TO REPAIR ADJACENT BUILDINGS THAT ARE DAMAGED DUE TO HIS OPERATION.
- CONTRACTOR SHALL PROVIDE THE NECESSARY MEANS TO CONTROL DUST AND MAINTAIN DISTRICT OF COLUMBIA AIR QUALITY STANDARDS DURING THE DEMOLITION AND REMOVAL OF BUILDING DEBRIS AND THE NEW CONSTRUCTION.
- CONTRACTOR SHALL SAWCUT EXISTING PAVING TO MINIMIZE DAMAGE TO EXISTING PAVING REMAINING.
- CONTRACTOR SHALL REMOVE EXISTING CURBS & CONCRETE WALKS TO THE NEAREST JOINT. NO PATCHING WILL BE PERMITTED.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
- TEMPORARY CONSTRUCTION FENCING SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF THE PROJECT.

SURVEY CONTROL			
PT #	NORTHING	EASTING	DESCRIPTION
1	460424.64	1309333.41	200.44 REBAR W/CAP
2	460117.73	1309299.14	204.16 REBAR W/CAP
3	460162.27	1308832.35	189.71 REBAR W/CAP
4	460598.98	1308883.33	182.49 REBAR W/CAP

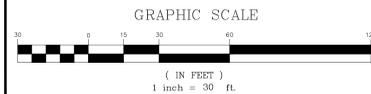
- DEDUCT ALTERNATES (ALT.)
- DEDUCT ALT. #1 - PERFORATED METAL SCREEN WALLS**
 BASE: Perforated metal screen with accent lighting as shown on the drawings.
 DEDUCT: Delete perforated metal screen and supporting structure as shown on Drawings(1) 05A2.1, 02A2.4 and associated details on A2.4 and A5.2. Delete accent lighting as shown on Drawings(1) 01A2.4, 02A2.4, 08A2.2 and 02E1.4. Add barrier cables at openings as shown on Drawings(1) 06A2.4.
- DEDUCT ALT. #2 - ELEVATOR LOBBY UPGRADES**
 BASE: Elevator lobby finishes as shown on the drawings.
 DEDUCT: Delete the gravel joint and sandblasted concrete fields at the floors in the Lobby as shown on Drawings(1) A3.1 and A3.2. Provide trowel finish (similar to Lobby floor finishes in the existing sections of the Garage). Delete suspended metal ceilings as shown on Drawings(1) A4.1 and A4.2 and associated details on A5.2. Provide substitute light fixtures as shown on future schedule E0.0.
- DEDUCT ALT. #3 - CIVIL SITE IMPROVEMENTS**
 BASE: All work shown on the drawings.
 DEDUCT: Delete all site improvements except:
 a. The erosion and sediment control measures as shown on Drawings(1) C06.0, C06.1 and C06.2.
 b. Temporary construction fence as shown on Drawings(1) C01.0, C03.0, C03.1 and C06.0.
 c. Site fence and double swing gates as shown on Drawing(1) C03.0, C03.1, LPT.0 and associated details on LPT.1.
 d. Pavement milling, re-paving, and stripping as shown on Drawing(1) C01.1 and C03.1.
 e. Bollards shown on Drawings(1) C03.0, C03.1 and associated details on C03.2.
 f. Bollard/cable system as shown on Drawings(1) C03.0, C03.1 and associated details on LPT.1.
- DEDUCT ALT. #4 - LANDSCAPE AND SITE FURNISHINGS**
 BASE: All landscape work and site furnishings as shown on the drawings.
 DEDUCT: Delete all landscape work and site furnishings as shown on Drawings(1) 02P.0 and associated plantings/details/furnishings on LPT.1.
- DEDUCT ALT. #5 - AUTOMATIC DOOR OPENING DEVICES**
 BASE: All automatic door opening devices as shown on the drawings and hardware schedule.
 DEDUCT: Delete all automatic door opening devices. Provide manual door closers as specified in Spec Sections(1) 0810.0. Delete electrical feeds as shown on Drawings(1) 01E2.1, 01E2.4 and 02E2.4.
- DEDUCT ALT. #6 - CARD READERS**
 BASE: All card readers as shown on the drawings and hardware schedule.
 DEDUCT: Delete all card readers. Provide manual door lock/interlocks as specified in Spec Sections(1) 0810.0. Delete electrical feeds as shown on Drawings(1) 02E2.2, 01E2.4 and 02E3.2.
- DEDUCT ALT. #7 - BARRIER CABLE SYSTEM**
 BASE: Barrier cable system as shown on the drawings.
 DEDUCT: Delete barrier cables at exterior openings as detailed on Drawing(1) 06A2.4 and as shown on three (3) elevations of the Garage. Provide a separate deduct for the barrier cables included in Deduct Alternate #1.
- DEDUCT ALT. #8 - BOLLARD/CABLE CRASH BARRIER SYSTEM**
 BASE: Bollard/cable system as shown on the drawings.
 DEDUCT: Delete all bollard/cable crash barriers as shown on Drawings(1) 01C03.0, 04LP7.1 and 05LP7.1.
- DEDUCT ALT. #9 - SITE FENCING**
 BASE: All site fencing as shown on the drawings.
 DEDUCT: Delete all site fencing as shown on Drawings(1) 01C03.0 and 08LP7.1.
- DEDUCT ALT. #10 - INTERIOR GARAGE BARRIER FENCING**
 BASE: All cable type barrier fencing as shown on the drawings.
 DEDUCT: Provide chain link barrier fencing as shown on Drawings(1) S2.1 and 06S3.3.
- DEDUCT ALT. #11 - SECURITY CAMERAS**
 BASE: Security cameras as shown on the drawings.
 DEDUCT: Delete security cameras and appurtenances (cable, junction boxes, and power) shown on Drawings(1) E3.3, E3.4 and 02E3.5.
- DEDUCT ALT. #12 - LED LIGHTING**
 BASE: LED lighting as shown on the drawings.
 DEDUCT: Provide substitute light fixtures as shown on future schedule E0.0 and as shown on Drawings(1) E1.3, E1.4, E1.5 and E1.6.
- DEDUCT ALT. #13 - VIEWING BOOTH**
 BASE: Viewing booth as shown on the drawings.
 DEDUCT: Delete viewing booth and appurtenances as shown on Drawings(1) A4.3, 02E1.4, 02E2.2 and 01E2.3.
- DEDUCT ALT. #14 - PARKING TIERS**
 BASE: 2/12 new parking tiers as shown on the drawings.
 DEDUCT: Delete the structural precast tees to column line 6 and move the new closure spandrel panel to column line 6 (All other columns and spandrels remain). Stop the stair and elevator in Elevator/Stair Tower 2 at the Third Tier. Relocate the storefront to the Third Tier Lobby and provide precast wall panels at the Fourth Tier stairs as indicated for the Fourth Tier of Elevator/Stair Tower 1. Reference the work shown on Drawings(1) 02A1.2, 02A1.5, 02A2.2, 06A2.3, 08A2.3, 04A3.3, 01E1.5, 04E1.5, S1.3, 02M1.3, 02P1.3, 03P1.3, 02E1.6, 02E2.4 and 02E3.4.



01 EXISTING CONDITIONS PLAN
 SCALE: 1" = 30'

LEGEND

	EX SURVEY CONTROL
	EX SECURITY CAMERA
	EX ROOF DRAIN
	EX BOLLARD
	EX SPRINKLER HEAD
	EX BOLLARD LIGHT
	EX CIRCLED LIGHT
	EX FIRE HYDRANT
	EX WATER MANHOLE
	EX DROP INLET
	EX CATCH BASIN
	EX STORM MANHOLE
	EX UTILITY POLE
	EX LIGHT POLE
	EX ELECTRIC MANHOLE
	EX HANDHOLE
	EX TELEPHONE PED
	EX TRANSFORMER
	EX ELEC BOX
	EX POWER POLE
	EX SEWER MANHOLE
	EX WATER VALVE
	EX DROP INLET
	EX CATCH BASIN
	EX STORM MANHOLE
	EX LIGHT POLE
	TREE SYMBOLS (TYP.)
	PROPERTY LINE
	EX SEWER
	EX STORM
	EX WATER
	EX UNDERGROUND ELECTRIC



Revisions	Date
7 Addendum #1	08/22/17
6 100% Submission	04/30/17
5 95% Submission	03/31/17
4 100% Submission	02/16/15
3 95% Submission	08/28/14
2 65% Submission	08/17/14
1 35% Submission	04/15/14

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Drawing Title
 EXISTING CONDITIONS PLAN

Approved Project Director

Project Title
 VA MEDICAL CENTER
 EXPAND VISITOR/PATIENT
 PARKING GARAGE - PHASE 1

Location
 50 IRVING ST. N.W. WASHINGTON, D.C.

Date
 08/22/17

Checked
 R.L.B.

Drawn
 C.T.B.

Project Number
 688-345

Building Number
 15

Drawing Number
 CD1.0

Dwg. 02 of 89

Office of Construction and Facilities Management

Department of Veterans Affairs