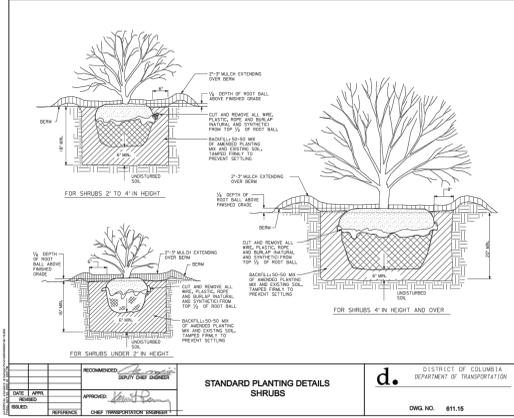
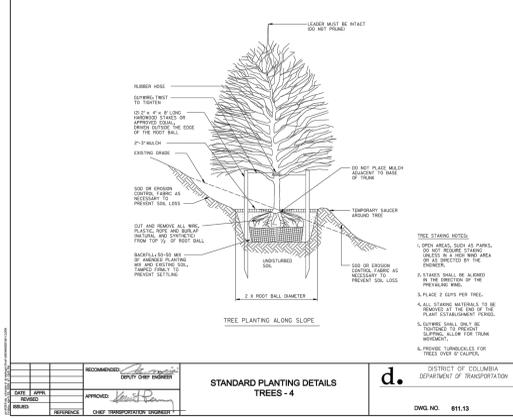


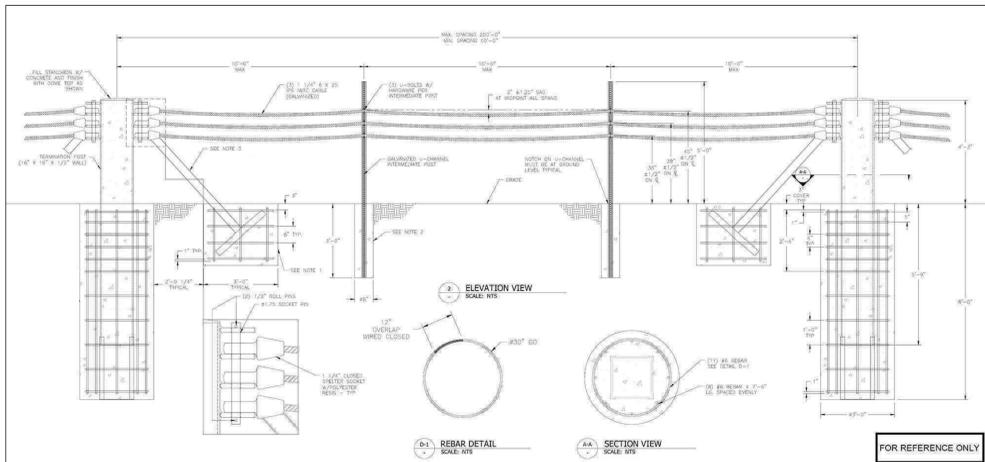
01 GROUND COVER & VINES DETAIL
SCALE: N.T.S.



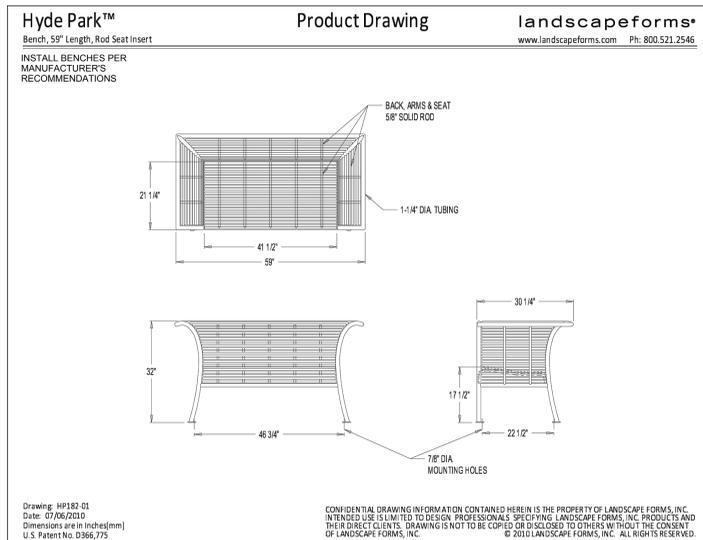
02 SHRUB DETAIL
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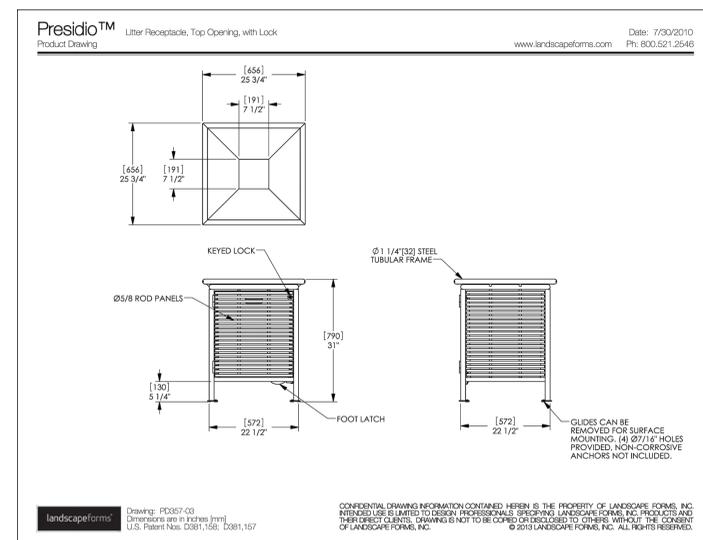
03 TREES-4 DETAIL
SCALE: N.T.S.



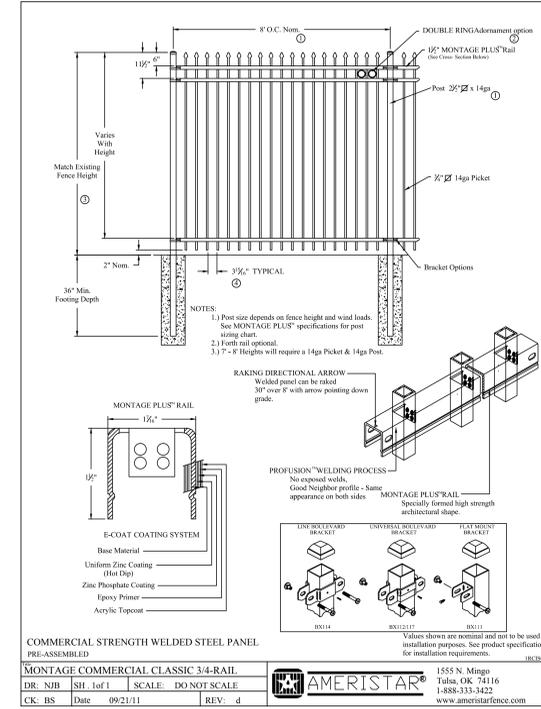
04 BOLLARD AND CABLE DETAIL - PARKING LOT INSTALLATION
SCALE: N.T.S.



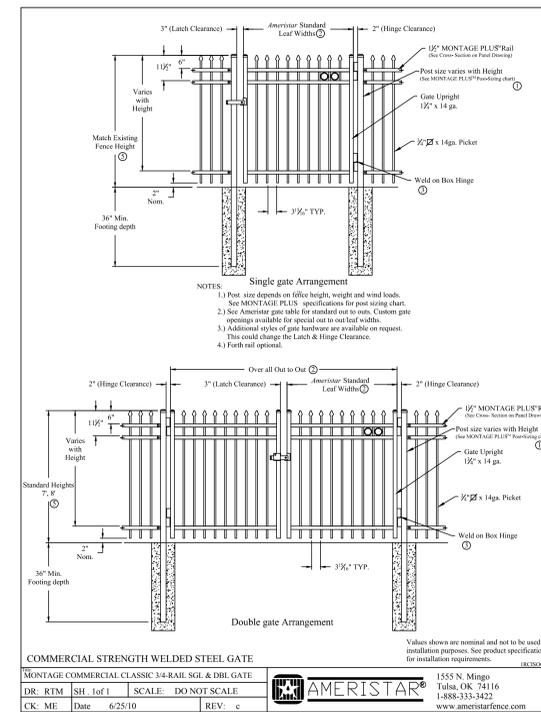
07 6' BENCH DETAIL
SCALE: N.T.S.



08 TRASH RECEPTACLE DETAIL
SCALE: N.T.S.



05 FENCE DETAIL
SCALE: N.T.S.



06 GATE DETAIL
SCALE: N.T.S.

DEDUCT ALTERNATES (A.L.T.)

DEDUCT ALT. #1 - PERFORATED METAL SCREEN WALLS
BASE: Perforated metal screen with accent lighting as shown on the drawings.
DEDUCT: Delete the sawcut joint and sandblasted concrete structure as shown on Drawings (05A2.1, 02A2.4 and associated details on A2.4 and A5.2. Delete accent lighting as shown on Drawings (01A2.4, 02A2.4, 08A2.2 and 02E.1.4. Add barrier cables at openings as shown on Drawings) 06A2.4.

DEDUCT ALT. #2 - ELEVATOR LOBBY UPGRADES
BASE: Elevator lobby finishes as shown on the drawings.
DEDUCT: Delete the sawcut joint and sandblasted concrete fields at the floors in the Lobby as shown in Drawings) A3.1 and A3.2. Provide towel finish (similar to Lobby floor finishes in the existing sections of the Garage). Delete suspended metal ceilings as shown on Drawings) A4.1 and A4.2 and associated details on A5.2. Provide substitute light fixtures as shown on fixture schedule E0.0.

DEDUCT ALT. #3 - CIVIL SITE IMPROVEMENTS
BASE: All work shown on the drawings.
DEDUCT: Delete all site improvements except:
a. The erosion and sediment control measures as shown on Drawings) C06.0, C06.1 and C06.2.
b. Temporary construction fence as shown on Drawings) C01.0, C03.0, C03.1 and C06.0.
c. Site fence and double swing gates as shown on Drawing (A) C03.0, C03.1, LPT.0 and associated details on LPT.1.
d. Pavement milling, re-paving, and stripping as shown on Drawing) C01.1 and C03.1.
e. Bollards shown on Drawings) C03.0, C03.1 and associated details on C03.2.
f. Bollard/cable system as shown on Drawings) C03.0, C03.1 and associated details on LPT.1.

DEDUCT ALT. #4 - LANDSCAPE AND SITE FURNISHINGS
BASE: All landscape work and site furnishings as shown on the drawings.
DEDUCT: Delete all landscape work and site furnishings as shown on Drawings) 02LPT.0 and associated plantings/details/furnishings on LPT.1.

DEDUCT ALT. #5 - AUTOMATIC DOOR OPENING DEVICES
BASE: All automatic door opening devices as shown on the drawings and hardware schedule.
DEDUCT: Delete all automatic door opening devices. Provide manual door closers as specified in Spec Sections) 08100. Delete electrical feeds as shown on Drawings) 01E2.1, 01E2.4 and 02E2.4.

DEDUCT ALT. #6 - CARD READERS
BASE: All card readers as shown on the drawings and hardware schedule.
DEDUCT: Delete all card readers. Provide manual door lock/latches as specified in Spec Sections) 08100. Delete electrical feeds as shown on Drawings) 02E2.2, 01E2.4 and 02E3.2.

DEDUCT ALT. #7 - BARRIER CABLE SYSTEM
BASE: Barrier cable system as shown on the drawings.
DEDUCT: Delete barrier cables at exterior openings as detailed on Drawing) 06A2.4 and as shown on three (3) elevations of the Garage. Provide a separate deduct for the barrier cables included in Deduct Alternate #1.

DEDUCT ALT. #8 - BOLLARD/CABLE CRASH BARRIER SYSTEM
BASE: Bollard/cable system as shown on the drawings.
DEDUCT: Delete all bollard/cable crash barriers as shown on Drawing) 01C03.0, 04LPT.1 and 05LPT.1.

DEDUCT ALT. #9 - SITE FENCING
BASE: All site fencing as shown on the drawings.
DEDUCT: Delete all site fencing as shown on Drawings) 01C03.0 and 08LPT.1.

DEDUCT ALT. #10 - INTERIOR GARAGE BARRIER FENCING
BASE: All cable type barrier fencing as shown on the drawings.
DEDUCT: Delete all interior garage barrier fencing as shown on Drawing) S2.1 and 06S3.3.

DEDUCT ALT. #11 - SECURITY CAMERAS
BASE: Security cameras as shown on the drawings.
DEDUCT: Delete security cameras and appurtenances (cords, junction boxes, and power) shown on Drawings) E3.3, E3.4 and 02E3.5.

DEDUCT ALT. #12 - LED LIGHTING
BASE: LED lighting as shown on the drawings.
DEDUCT: Provide substitute light fixtures as shown on fixture schedule E0.0 and as shown on Drawings) E1.3, E1.4, E1.5 and E1.6.

DEDUCT ALT. #13 - VIEWING BOOTH
BASE: Viewing booth as shown on the drawings.
DEDUCT: Delete viewing booth and appurtenances as shown on Drawings) A4.3, 02E.4, 03E2.2 and 01E2.2.

DEDUCT ALT. #14 - PARKING TIERS
BASE: 2/12 new parking tiers as shown on the drawings.
DEDUCT: Delete the structural precast tees to column line 6 and move the new closure spanned panel to column line 6 (All other columns and spans remain). Stop the stair and elevator in Elevator/Stair Tower 2 at the Third Tier. Relocate the storefront to the Third Tier Lobby and provide precast wall panels at the Fourth Tier exactly as indicated for the Fourth Tier of Elevator/Stair Tower 1. Reference the work shown on Drawings) 02A1.2, 02A1.6, 02A2.2, 06A2.3, 08A2.3, 04A3.3, 04A3.3, 01S1.5, 04S1.6, S1.9, 02M1.3, 02P1.3, 03P1.3, 02E1.6, 02E2.4 and 02E3.4.

Revisions	Date
7	08/22/17
6	100% Submission
5	95% Submission
4	100% Submission
3	95% Submission
2	65% Submission
1	35% Submission

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Drawing Title	
LANDSCAPE NOTES AND DETAILS	
Approved Project Director	

Project Title	
VA MEDICAL CENTER EXPAND VISITOR/PATIENT PARKING GARAGE - PHASE 1	
Location 50 IRVING ST. N.W. WASHINGTON, D.C.	
Date 08/22/17	Checked R.L.B.
Drawing Number LP7.1	
Project Number 688-345	
Building Number 15	
Drawing Number LP7.1	
Dwg. 12 of 89	

Office of
Construction
and Facilities
Management

Department of
Veterans Affairs

three inches = one foot
one and one half inches = one foot
one inch = one foot
three quarters inch = one foot
one half inch = one foot
three eighths inch = one foot
one quarter inch = one foot
one eighth inch = one foot
one sixteenth inch = one foot