

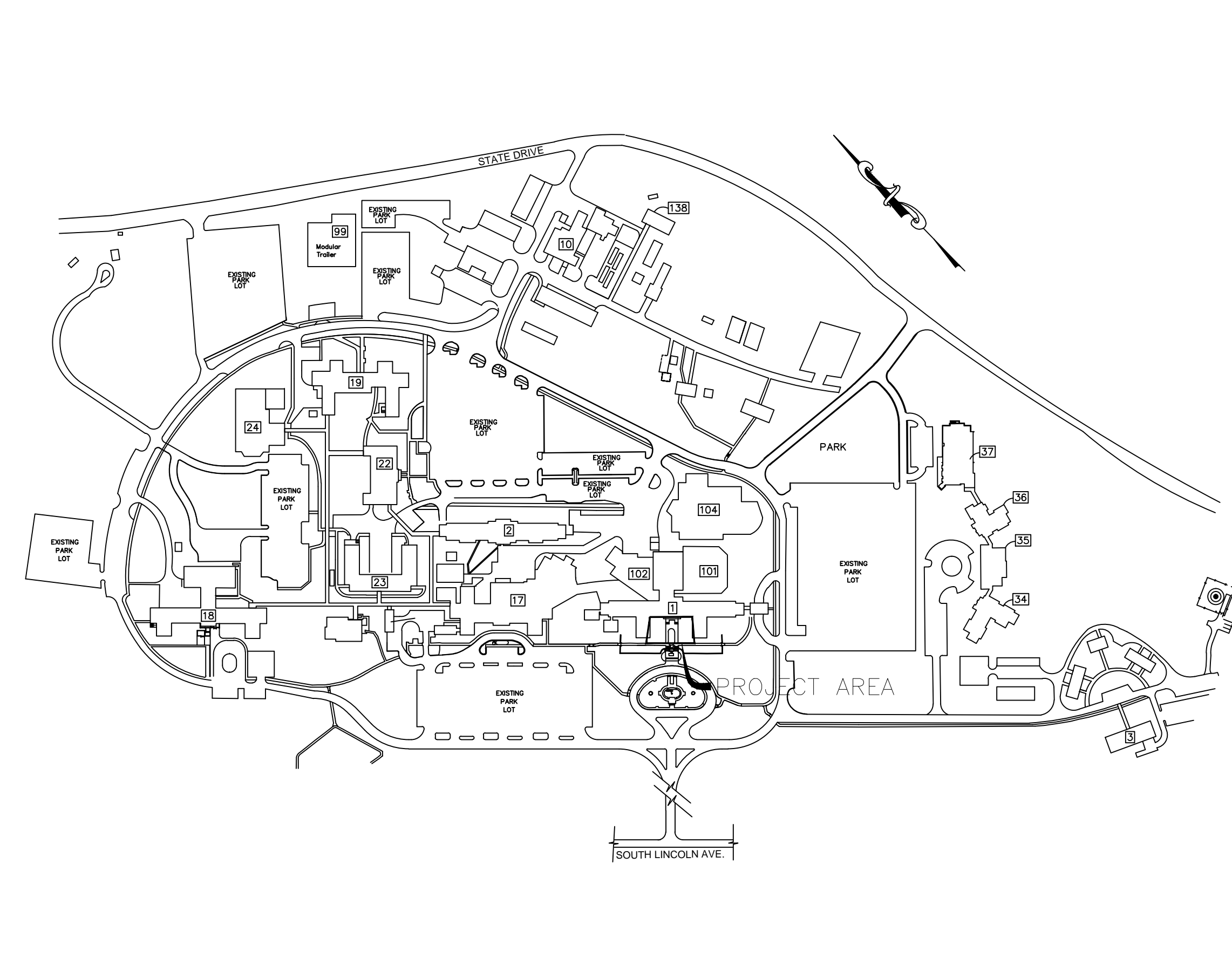


**1700 S. LINCOLN AVE.**

**PROJECT # 595-18-900**

# PROTECT FOUNDATION BUILDING 1

**SIGNATURE BLOCK**



DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

[illegible]

three inches = one foot  
one and one half inches = one foot  
one inch = one foot  
three quarters inch = one foot  
one half inch = one foot  
three eighths inch = one foot  
one quarter inch = one foot  
one eighth inch = one foot

DRAWING INDEX

- 1 G-001 COVER PAGE  
2 N1 NOTES  
3 E-001 EXISTING CONDITIONS

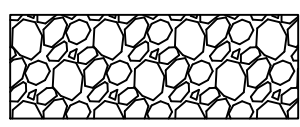
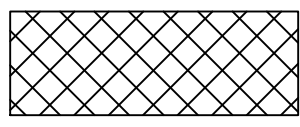
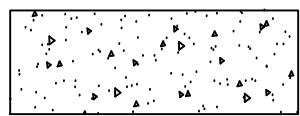
PROPOSED LINETYPES

BENCH	_____
BOLLARD	_____
CENTERLINE	_____
COLUMN	_____
CONTOUR	_____
INDEX CONTOUR	_____
CURB	_____
DIMENSION	_____
DOOR	_____
GRASS	_____
LIGHT	_____
PAVEMENT	_____
SHRUB	_____
SIDEWALK	_____
TEXT	_____
TREE	_____
WALL - RETAINING	_____
WALL - RETAINING VENEER	_____
WALL - BUILDING	_____
WINDOW	_____

EXISTING LINETYPES

BENCH	_____
BOLLARD	_____
CENTERLINE	_____
COLUMN	_____
CONTOUR	_____
CURB	_____
DIMENSION	_____
DOOR	_____
GRASS	_____
LIGHT	_____
MISCELLANEOUS	_____
PAVEMENT	_____
PLUMBING FIXTURES	_____
SHRUB	_____
SIDEWALK	_____
STAIRS	_____
TEXT	_____
TREE	_____
WALL - BUILDING	_____
WALL HATCH	_____
WALL - INTERIOR	_____
WALL - RETAINING	_____
WINDOW FRAME	_____
WINDOW GLASS	_____

HATCHES

	RIVER ROCK BORDER
	MULCH
	CONCRETE

GENERAL PLAN NOTES

- ALL WORK, MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN STRICT ACCORDANCE WITH, AND SHALL CONFORM WITH, ALL APPLICABLE BUILDING CODES AND REGULATIONS AND PAYING FOR AND OBTAINING ALL NECESSARY AND REQUIRED INSPECTIONS, APPROVALS AND PERMITS, NECESSARY TO PERFORM ALL WORK AND SERVICES HEREIN NOTED OR INDICATED ON THE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES AND REGULATIONS AND PAYING FOR AND OBTAINING ALL NECESSARY AND REQUIRED INSPECTIONS, APPROVALS AND PERMITS, NECESSARY TO PERFORM ALL WORK AND SERVICES HEREIN NOTED OR INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE AND SHALL REPORT, ANY DISCREPANCIES TO THE GOVERNMENT PRIOR TO STARTING CONSTRUCTION. COMMENCEMENT OF THE WORK BY THE CONTRACTOR SHALL IMPLY HIS ACCEPTANCE OF ALL EXISTING CONDITIONS. DIMENSIONS SHOWN ON FLOOR PLANS ARE TO THE FINISH TO FINISH UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
- ALL WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE NOISE, DUST, OR DISTURBANCE TO OCCUPANTS, ADJACENT SITES OR BUILDINGS.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE GENERAL PUBLIC AND CONSTRUCTION WORKERS IN AND AROUND THE CONSTRUCTION SITE. ADEQUATE BARRIERS SHALL BE PROVIDED TO EXERCISE CONTROL OF SAFE INGRESS AND EGRESS OF PREMISES. FIRE EXITS SHALL AT NO TIME BE BLOCKED.
- DETAILS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYP." IMPLY ALL CONDITIONS TREATED SIMILARLY.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
- THE CONTRACTOR MUST FULLY FAMILIARIZE HIMSELF OF THE CONDITIONS RELATING TO THE CONSTRUCTION AND LABOR UNDER WHICH THE WORK WILL BE PERFORMED AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH THE WORK IN PLACE. FAILURE TO DO SO WILL NOT RELIEVE CONTRACTOR OF HIS OBLIGATION TO FURNISH ALL LABOR AND MATERIAL NECESSARY TO CARRY OUT THE PROVISIONS OF THE CONTRACT DOCUMENTS AND TO COMPLETE THE CONTEMPLATED WORK FOR THE CONSIDERATION SET FORTH IN HIS BID. EACH CONTRACTOR, IN THE CARRYING OUT OF HIS WORK, SHALL EMPLOY SUCH CONSTRUCTION METHODS OR MEANS THAT WILL NOT CAUSE ANY INTERRUPTIONS OR INTERFERENCE WITHIN THE WORK OF ANY OTHER TRADES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING WATERTIGHT INTEGRITY OF THE BUILDING AT ALL TIMES. ALL WATER DAMAGE SHALL BE REPAIRED AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE GOVERNMENT.
- THE BUILDING SHALL REMAIN ACCESSIBLE TO THE GOVERNMENT AT ALL TIMES.
- THE CONSTRUCTION AREA SHALL BE THOROUGHLY CLEANED PRIOR, DURING AND AFTER THE CONSTRUCTION.
- THE REVIEW AND APPROVAL OF SUBMITTALS BY THE CONTRACTING OFFICER SHALL NOT BE CONSTRUED AS A COMPLETE CHECK, ONLY FOR CONFORMANCE WITH THE INFORMATION GIVEN AND THE DESIGN CONCEPT OF THE PROJECT. APPROVAL WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR ANY ERROR, WHICH MAY EXIST, AS THE CONTRACTOR UNDER THE CONTRACT QUALITY CONTROL REQUIREMENTS OF THIS CONTRACT, IS RESPONSIBLE FOR THE DIMENSIONS AND DESIGN OF ADEQUATE CONNECTIONS, DETAILS AND SATISFACTORY CONSTRUCTION OF ALL WORK.
- SUBMITTALS SHALL BE IN COMPLIANCE WITH CONTRACT REQUIREMENTS AND ACTUAL FIELD CONDITIONS. INCOMPLETE SUBMITTALS SHALL NOT BE REVIEWED BY THE GOVERNMENT AND RETURNED TO THE CONTRACTOR.
- FIELD VERIFY CONSTRUCTION AND INSTALLATION REQUIREMENTS.
- REPRODUCED CONTRACT DRAWINGS WILL NOT BE ACCEPTED AS SHOP DRAWINGS.
- COORDINATE LOCATION OF STORAGE AREA WITH CONTRACTING OFFICER. ALL CONSTRUCTION AND OTHER MATERIALS SHALL BE STORED AT THE DESIGNATED STORAGE AREA AS SHOWN ON THE DRAWINGS AND ON COMPLETION OF WORK OR AS DEEMED NECESSARY ALL SURPLUS/ REFUSE/ DEBRIS MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF BASE AT NO ADDITIONAL COST TO THE GOVERNMENT.
- SHOULD ANY CONFLICT ARISE BETWEEN THE CONTRACT DRAWINGS AND THE SPECIFICATIONS, THE SPECIFICATIONS ALONG WITH ANY APPLICABLE CODES SHALL OVERRULE THE CONTRACT DRAWINGS.
- SUBMIT PRODUCT DATA FOR ALL ITEMS SPECIFIED ON THE DRAWINGS INCLUDING MSDS SHEETS.
- ALL WORK/ITEMS SHOWN ON THE DRAWINGS IS/ARE NEW UNLESS NOTED OTHERWISE AS EXISTING.
- FOR THE PURPOSE OF PHASING, CONSTRUCTION WILL NOT BEGIN UNTIL ALL MATERIALS ARE ON SITE.
- THE CONTRACTOR IS REQUIRED TO SUBMIT "RED LINE" "AS BUILT" DOCUMENTS AT THE END OF THE PROJECT.
- ALL PERMITS, PLANS, FEES, INSPECTIONS, TESTS AS REQUIRED BY REGULATORY AGENCIES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES, INCLUDING, BUT NOT LIMITED TO, STEAM AND CONDENSATE LINES, WATER LINES, SEWERS, DRAINS, AND ELECTRICAL AND COMMUNICATIONS CONDUITS HAVE BEEN INDICATED BASED ON THE BEST AVAILABLE INFORMATION PROVIDED BY THE GOVERNMENT. IT IS POSSIBLE THAT THE ACTUAL SUBSURFACE UTILITIES AND PIPING MAY VARY FROM THAT INDICATED. THEREFORE, PRIOR TO STARTING WORK IN ANY AREA, THE CONTRACTOR SHALL OBTAIN THE SERVICES ON THE UNDERGROUND UTILITY LOCATING SUB CONTRACTOR TO TAKE THE NECESSARY STEPS TO DETERMINE THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UNDERGROUND PIPING, CONDUITS, AND STRUCTURES. THE CONTRACTOR SHALL CARRY OUT THE OPERATIONS IN SUCH A MANNER AS TO PREVENT INTERFERENCE WITH LINES WHICH ARE TO REMAIN UNDISTURBED. ANY SUCH PIPE OR CONDUIT DISTURBED IN THE COURSE OF THIS CONTRACT SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO EXTRA COST TO THE GOVERNMENT.
- PROTECT ALL UTILITIES AND OTHER STRUCTURES DURING EXCAVATION AND BACKFILL OPERATIONS. ANY DAMAGE TO ANY EXISTING UTILITIES AND STRUCTURES CAUSED BY THE CONTRACTOR'S WORK SHALL BE IMMEDIATELY REPORTED TO THE CONTRACTING OFFICER'S REPRESENTATIVE AND REPAIRED TO THEIR ORIGINAL CONDITION BY QUALIFIED PERSONNEL AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOT INTERFERE WITH, OR INTERRUPT, ANY UTILITY MAIN OR SERVICE CONNECTION WITHOUT PRIOR APPROVAL FROM THE CONTRACTING OFFICER'S REPRESENTATIVE.

INFECTION CONTROL NOTES

FOR THE PURPOSE OF THE RENOVATION, THE CONSTRUCTION WORK IS CONSIDERED LOW RISK. THE DUST CONTROL PLAN SHALL BE DISTRIBUTED AND REVIEWED BY ALL CONTRACTORS PERFORMING WORK ON THIS CONSTRUCTION PROJECT.

- A. EXTERNAL DEMOLITION AND CONSTRUCTION ACTIVITIES
- DETERMINE IF THE IMPACTED AREAS OF THE FACILITY CAN OPERATE TEMPORARILY ON RETICULATED AIR; IF FEASIBLE SEAL OFF ADJACENT AIR INTAKES.
  - IF THIS IS NOT POSSIBLE OR PRACTICAL, CHECK THE LOW-EFFICIENCY FILTER BANKS FREQUENTLY AND REPLACE AS NEEDED TO AVOID BUILDUP OF PARTICULATE.
  - SEAL WINDOWS AND REDUCE WHEREVER POSSIBLE OTHER SOURCES OF OUTSIDE AIR INTRUSION (OPEN DOORS IN STAIRWELLS AND CORRIDORS) ESPECIALLY IN PROTECTIVE ENVIRONMENT (PE) AREAS.
- B. INTERNAL DEMOLITION AND CONSTRUCTION ACTIVITIES DUST AND DEBRIS CONTROL
- BARRIER SYSTEMS: THE AREA SHOULD BE ISOLATED AS THE PROJECT REQUIRES. PROJECTS THAT PRODUCE MODERATE TO HIGH LEVELS OF DUST REQUIRE RIGID, DUST-PROOF, AND FIRE-RATED BARRIER WALLS (E.G., DRYWALL) WITH CAULKED SEAMS FOR A TIGHT SEAL EXTENDING FLOOR TO CEILING. SEAL OFF AND BLOCK RETURN AIR VENTS IF RIGID BARRIERS ARE USED FOR CONTAINMENT. LARGE DUSTY PROJECTS NEED AN ENTRY VESTIBULE FOR CLOTHING CHANGES AND TOOL STORAGE AND TIGHT SEALS SHOULD BE MAINTAINED AT THE FULL PERIMETER OF WALLS AND WALL PENETRATIONS. AN INTERIM PLASTIC DUST BARRIER (MINIMUM 6-MIL) MAY BE REQUIRED TO PROTECT THE AREA WHILE THE RIGID IMPERVIOUS BARRIER IS BEING CONSTRUCTED. ANY DUST SHALL BE IMMEDIATELY CLEANED IF TRACKED OUTSIDE OF THE CONSTRUCTION BARRIER. UPON COMPLETION OF THE CONSTRUCTION PROJECT, DUST BARRIERS SHALL BE REMOVED CAREFULLY TO MINIMIZE SPREADING OF DUST AND CONTRACTOR SHALL HAVE TEMPORARY DUST PROTECTION IN PLACE BEFORE REMOVAL OF A PERMANENT BARRIER. CONTRACTOR PERSONNEL SHALL MONITOR AND PERFORM BARRIER MAINTENANCE AND BE EDUCATED TO NOTICE SIMPLE CLUES SUCH AS ACCUMULATIONS OF VISIBLE DUST EVIDENCED BY FOOTPRINTS, OPENED WINDOWS/DOORS OR EVIDENCE BY PRESENCE OF INSECTS AND FLIES, WET CEILING TILES, ETC.
  - TRAFFIC CONTROL: DESIGNATED ENTRY AND EXIT PROCEDURES SHALL BE DEFINED. EGRESS PATHS SHOULD BE FREE OF DEBRIS; DESIGNATED ELEVATORS SHOULD BE USED DURING SCHEDULED TIMES; AND ONLY AUTHORIZED PERSONNEL SHOULD BE ALLOWED TO ENTER THE CONSTRUCTION ZONE. SIGNAGE SHOULD DIRECT PEDESTRIAN TRAFFIC AWAY FROM THE CONSTRUCTION AREA AND MATERIALS.
  - DEMOLITION DEBRIS: DEBRIS SHOULD BE REMOVED IN CARTS WITH TIGHTLY FITTED COVERS, USING DESIGNATED TRAFFIC ROUTES. EFFORTS SHOULD BE MADE TO MINIMIZE USE OF ELEVATORS WITH AN EMPHASIS ON TRANSPORT DURING THE LOWEST PERIOD OF ACTIVITY. DEBRIS SHOULD BE REMOVED DAILY AND AT TIMES SPECIFIED BY THE VAMC. IN CHUTES ARE USED TO DIRECT DEBRIS OUTSIDE, HIGH EFFICIENCY PARTICULATE AIR (HEPA) FILTERED NEGATIVE AIR MACHINES SHOULD BE USED, AND THE CHUTE OPENING SHOULD BE SEALED WHEN NOT IN USE. FILTERS SHOULD BE BAGGED AND

DEMOLITION PLAN NOTES

- CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH ALL TRADES FOR ITEMS SHOWN TO BE REMOVED ON THIS PLAN. GENERAL CONTRACTOR SHALL ALSO COORDINATE WITH ALL TRADES, THE REMOVAL REINSTALLATION AND/OR REWORKING OF THE EXISTING FINISHES AS REQUIRED FOR THE ROUTING OF EXISTING/NEW SERVICES INTO THE PROJECT AREA.
- PRIOR TO THE START OF DEMOLITION, CONTRACTOR SHALL WALK THE SPACE WITH THE ENGINEER AND C.O.R. TO IDENTIFY ANY ITEMS TO BE TURNED OVER TO THE GOVERNMENT.
- ANY ITEMS DAMAGED BY THE CONTRACTOR OR BY PERSONS UNDER THE SUPERVISION OF THE CONTRACTOR THAT ARE NOT INDICATED TO BE REMOVED OR DEMOLISHED SHALL BE REPAIRED/REPLACED TO LIKE NEW CONDITION AT THE CONTRACTORS EXPENSE.
- SEE CEILING DEMOLITION PLANS AND MEP DRAWINGS FOR ADDITIONAL INFORMATION
- CONTRACTOR SHALL PROVIDE NEGATIVE AIR PRESSURE IN THE AREA BEING MODIFIED TO PREVENT THE SPREAD OF AIRBORNE DUST/PARTICLES TO OTHER OCCUPIED AREAS OF THE MEDICAL CENTER, SEE SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL PROVIDE CONSTRUCTION AND WARNING SIGNS AS PER THE SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN THE EXISTING BUILDING IN A WATERTIGHT STATE THROUGHOUT CONSTRUCTION. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO BE LINE NEW AND SHALL MATCH NEW CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A FULLY SEALED ENTRY POINT TO THE ROOM AND/OR AREAS BEING RENOVATED. ROOMS MUST BE SEALED TO PREVENT THE TRANSFER OF DUST AND DEBRIS TO ADJACENT SPACES.
- GENERAL CONTRACTOR SHALL MAINTAIN WALK-OFF (STICKY) MATS ON BOTH SIDES OF THE ENTRY POINTS TO THE ROOMS AND/OR AREAS BEING RENOVATED. CHANGE MATS DAILY AND AS DIRECTED BY THE VA INFECTION CONTROL STAFF TO PREVENT THE TRANSFER OF FOOT TRAFFIC DUST AND DEBRIS.
- EXISTING SPRINKLER SYSTEM SHALL REMAIN LIVE AND FUNCTIONAL DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL TAKE GREAT CARE TO NOT DAMAGE ANY EXISTING HEADS OR PIPING, UNLESS OTHERWISE INDICATION ON THE FIRE PROTECTION DRAWINGS.
- ADJACENT BUILDING ROOFS ARE NOT TO BE USED FOR STORAGE OR BUILDING ACCESS
- THE EXISTING INTERSTITIAL AREA MAY HAVE EXISTING CONSTRUCTION AT THE START OF THIS CONSTRUCTION. ACCESS TO THE EXISTING STAIRWELL SHALL BE KEPT CLEAR AT ALL TIMES.
- WHEN REMOVING ANY PLUMBING, ALL SUPPLIES AND DRAINS MUST BE REMOVED IN ACCORDANCE WITH THE VA PLUMBING DESIGN MANUAL, SPECIFICALLY SECTION 4.4.2(a) IN REGARDS TO DEAD END PIPES.

- SEALED BEFORE BEING TRANSPORTED OUT OF THE CONSTRUCTION AREA. THE CONTRACTOR SHALL NOT HAUL DEBRIS THROUGH PATIENT-CARE AREAS WITHOUT PRIOR APPROVAL OF THE VAMC.
- EXTERIOR WINDOWS: WINDOWS SHOULD BE SEALED TO MINIMIZE INFILTRATION FROM ANY ADJACENT EXCITATION DEBRIS.
- C. VENTILATION AND ENVIRONMENTAL CONTROLS
- AIR SYSTEM FLOW: DETERMINE WHETHER THE CONSTRUCTION AREA USES FRESH/OUTSIDE OR RE-CIRCULATED AIR; FILTERS SHOULD BE ADDED OR RETURNED VENTS COVERED AS NEEDED WITH FILTER MATERIAL OR PLASTIC. AIR MUST FLOW FROM CLEAN TO DIRTY AREAS.
  - NEGATIVE AIR PRESSURE: THE AIR WITHIN THE CONSTRUCTION AREA MUST BE NEGATIVE WITH RESPECT TO SURROUNDING AREAS AND WITH NO DISRUPTION OF AIR SYSTEMS OF ADJACENT AREAS. USE OF THE NEGATIVE AIR PRESSURE SYSTEM WITHIN THE ENCLOSURE TO REMOVE DUST SHOULD PASS THROUGH AN INDUSTRIAL GRADE, PORTABLE HEPA FILTER CAPABLE OF FILTRATION RATES OF 300-800 CUBIC FEET PER MINUTE (FT3/MIN), OR EXHAUST AIR DIRECTLY TO THE OUTSIDE IF APPROVED BY VAMC.
  - ADJACENT AREAS: THE STATUS OF SEALED PENETRATIONS AND INTACT CEILING SHOULD BE VERIFIED DAILY.
  - AIR EXCHANGE RATES AND PRESSURE RELATIONSHIPS: VAMC AND CONTRACTOR WILL VERIFY AND MAINTAIN PROPER RATES IN CRITICAL AREAS NEAR CONSTRUCTION ACTIVITY AND ENSURE AIR IS NOT BEING RE-CIRCULATED WITHOUT PROPER FILTRATION FROM THE CONSTRUCTION AREA ELSEWHERE. VAMC WILL MAKE DETERMINATION ON PROVIDING FOR THE ACCOUNTABILITY AND FREQUENCY OF TESTING AIR PRESSURE THROUGHOUT THE PROJECT.
- D. CONTAMINATION FO PATIENT ROOMS, SUPPLIES, EQUIPMENT AND RELATED AREAS.
- WORKSITE CLOTHING: CONTRACTOR PERSONNEL CLOTHING SHOULD BE FREE OF LOOSE SOIL AND DEBRIS BEFORE LEAVING THE CONSTRUCTION AREA. IF PROTECTIVE APPAREL IS NOT WORN (E.G., COVERALLS, FOOTGEAR AND HEADGEAR), A HEPA-FILTERED VACUUM SHOULD BE USED TO REMOVE DUST FROM CLOTHING BEFORE LEAVING THE BARRICADE. IF PROTECTIVE APPAREL IS UTILIZED, THE CONTRACTOR SHALL CONSTRUCT A SPACE OR ANTEROOM FOR CHANGING CLOTHING AND STORING EQUIPMENT (DESIGNATED AREA). ALL EQUIPMENT, TOOLS, TOOL CARTS, MATERIALS, ETC. TRANSPORTED THROUGH OCCUPIED AREAS SHALL BE MADE FREE FROM DUST AND MOISTURE BY VACUUMING AND WET WIPING BEFORE THEIR REMOVAL FROM THE CONSTRUCTION ZONE OR WORK AREA.
  - CONTRACTOR CLEANING: THE CONSTRUCTION ZONE SHOULD BE MAINTAINED IN A CLEAN MANNER BY CONTRACTORS AND SWEEP OR HEPA-VACUUMED DAILY OR MORE FREQUENTLY AS NEEDED TO MINIMIZE DUST. ADJACENT AREAS THAT MAY BE IMPACTED BY THE CONSTRUCTION SHOULD BE DAMP MOPPED DAILY OR MORE FREQUENTLY AS NEEDED. WALK-OFF MATS WITH TACKY OR ADHESIVE SURFACES SHOULD BE UTILIZED TO MINIMIZE TRACKING OF HEAVY DIRT AND DUST FROM CONSTRUCTION AREAS.

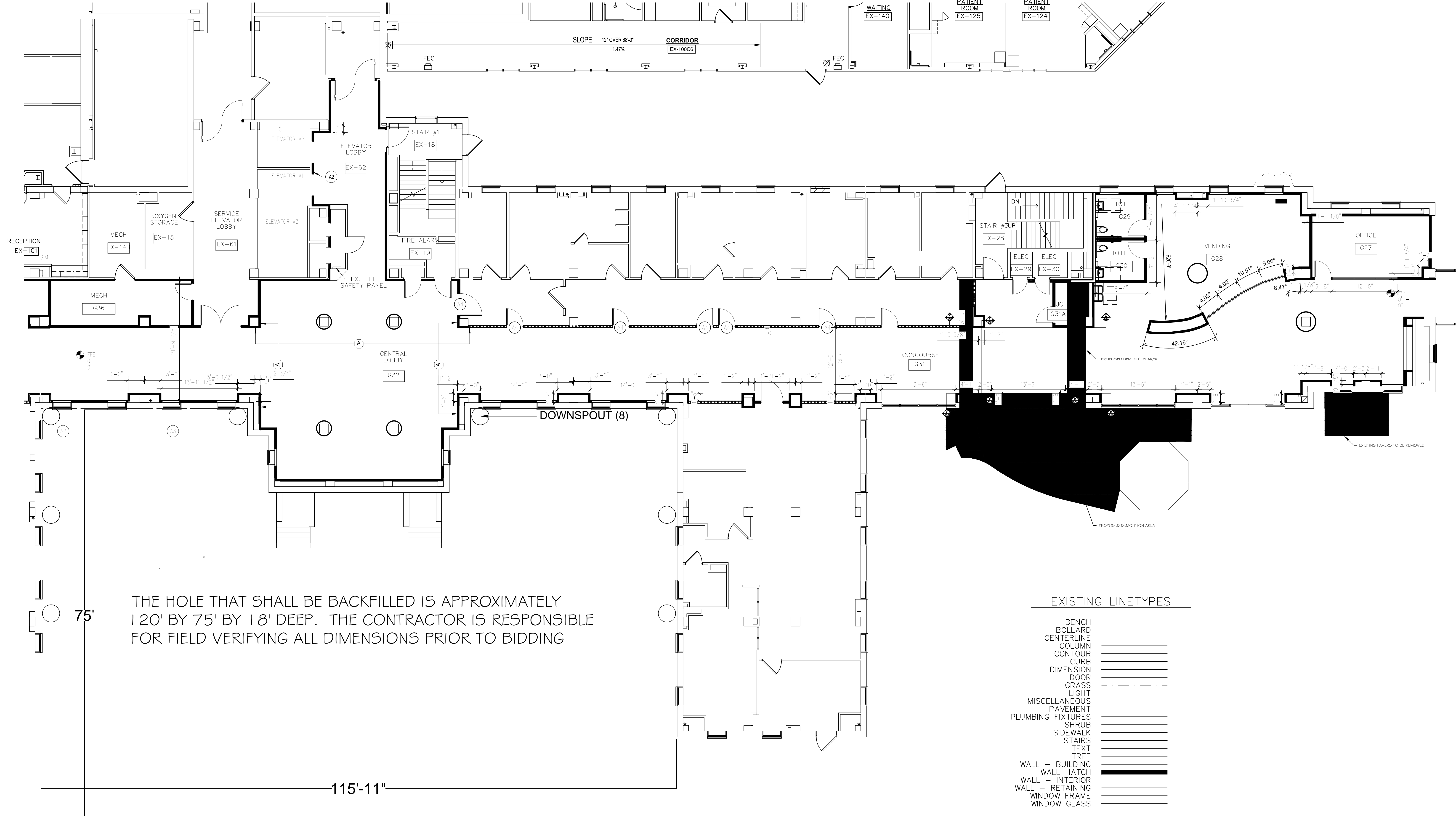
WANDER GARDEN NOTES

- THE LANDSCAPING SHOWN ON THE EXISTING CONDITIONS PLAN IS NOT AN EXACT AS-BUILT OR SURVEY DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LANDSCAPING PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL RESTORE ANY DUSTURBED MULCH, ROCK OR GRASS AREAS TO THEIR ORIGINAL CONDITION UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO REPLACE EACH TREE OR SHRUB REMOVED WITH 1 EQUIVALENT TREE OR SHRUB DURING FINAL LANDSCAPING.
- DUE TO THE HEAVY TRAFFIC DURING PEAK HOURS IN THE WANDER GARDEN AREA, THE CONTRACTOR MUST ENSURE ALL WORK AREAS ARE SECURED FROM PATIENT ACCESS AT ALL TIMES.

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

<div>Revisions</div> <div>Date</div>		CONSULTANTS:	ARCHITECT/ENGINEERS:	<div>Drawing Title</div> NOTES PAGE	<div>Project Title</div> PROTECT FOUNDATION BUILDING 1	<div>Project Number</div> 595-18-900	<div>Office of Construction and Facilities Management</div> <div>DEPARTMENT OF VETERANS AFFAIRS</div>
				<div>Approved: Project Director</div> THADDIUS KOCUBA CHIEF ENGINEER VAPAHCS PLANNING AND ENGINEERING	<div>Location</div> LEBANON VAMC	<div>Building Number</div> 001	
					<div>LEBANON, PA</div>	<div>Drawing Number</div> N1	
					<div>Date</div> AUGUST 8, 2017	<div>Checked</div> DCS	
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- EXISTING LINETYPES
- BENCH
  - BOLLARD
  - CENTERLINE
  - COLUMN
  - CONTOUR
  - CURB
  - DIMENSION
  - DOOR
  - GRASS
  - LIGHT
  - MISCELLANEOUS
  - PAVEMENT
  - PLUMBING FIXTURES
  - SHRUB
  - SIDEWALK
  - STAIRS
  - TEXT
  - TREE
  - WALL - BUILDING
  - WALL HATCH
  - WALL - INTERIOR
  - WALL - RETAINING
  - WINDOW FRAME
  - WINDOW GLASS
- HATCHES
- RIVER ROCK BORDER
  - MULCH
  - CONCRETE
  - DEMOLITION AREA

SCALE: 1/8" = 1'

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

		CONSULTANTS:		ARCHITECT/ENGINEERS:		Drawing Title	Project Number	Office of Construction and Facilities Management		
						EXISTING CONDITIONS	595-18-900			
							Building Number			
							001			
							Drawing Number			
							E-001			
						Approved: Project Director	Location	DEPARTMENT OF VETERANS AFFAIRS		
						THADDIUS KOCUBA	LEBANON VAMC		LEBANON, PA	
						CHIEF ENGINEER	Date			Checked
						VAPAFCS PLANNING AND ENGINEERING	AUGUST 8, 2017	DCS	MPT	Dwg. 3 of 3
Revisions:	Date									