

This is a "Sources Sought Notice" for Market Research Only.  
This sources sought notice is for Vacant and Underutilized Buildings located at 4100 W.  
Third Street Dayton, OH 45428

- No award will be made from this notice.
- No solicitation, specifications, or drawings are available.
- Do not request a copy of a solicitation.
- Respondents will NOT be notified of the results of this notice.
- No reimbursement will be made for any costs associated with providing information in response to this "Sources Sought Notice" or any follow-up information requested.
- This is not a solicitation but rather a Sources Sought to determine potential sources for information and planning purposes only.
- The purpose of this Sources Sought is to conduct market research to determine if responsible sources exist. The Government will use this information to determine the best acquisition strategy for this procurement. The government requests all interested Business respond to this notice if applicable and identify their business status.
- All Businesses are encouraged to participate in this Market Research.
- The government will not reimburse participants for any expenses associated with their participation in this survey.
- Respondents are advised that the Government assumes no responsibility to award an Enhanced Use Lease (EUL), Historic Reuse Program (HRP) out lease or exchange based upon responses to this advertisement.
- The Government cannot provide any warranty, expressed or implied, as to the accuracy, reliability or completeness of the information contained in this Notice; and will not be responding to any inquiries regarding this advertisement.

### **Project Description:**

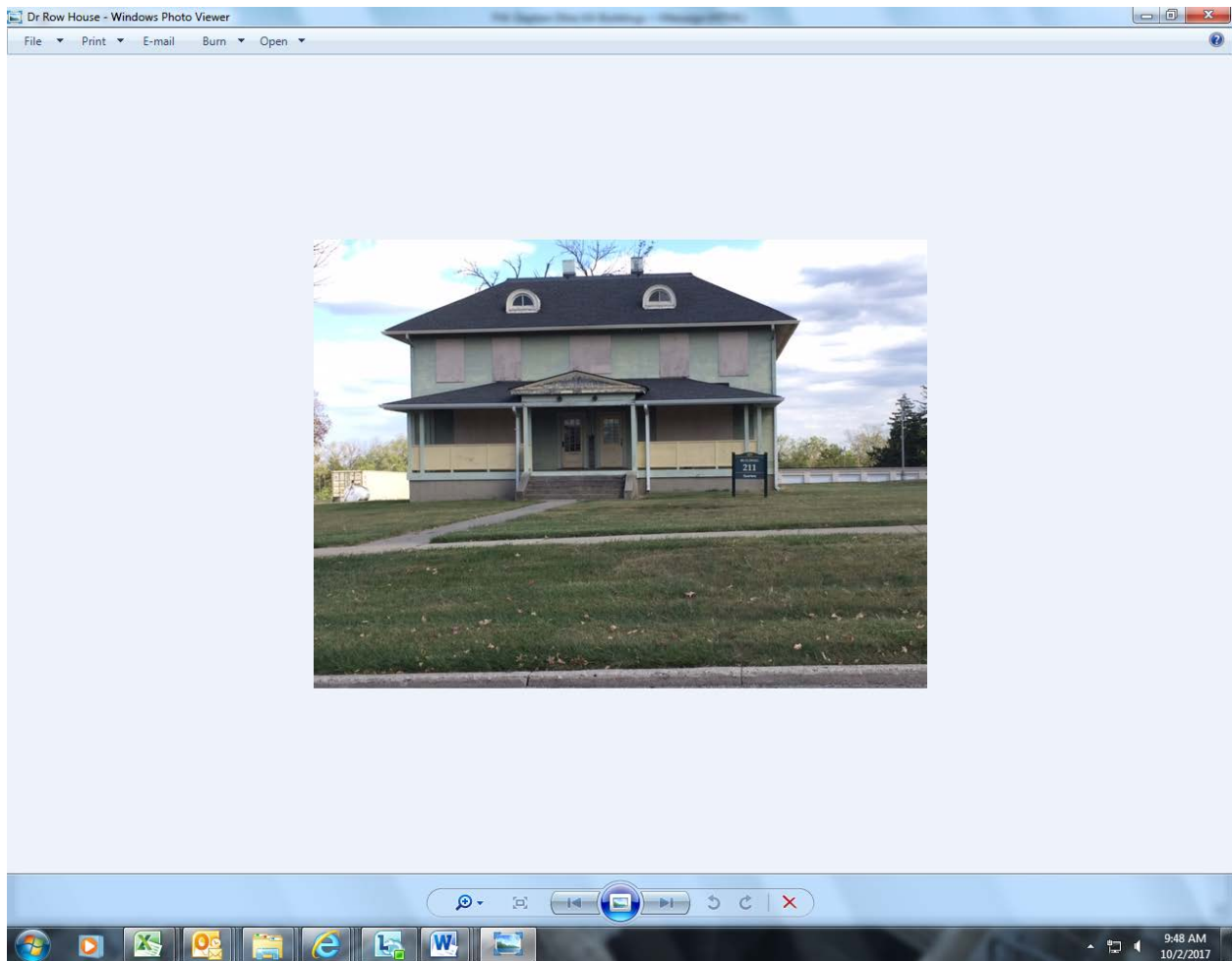
#### **I. Scope and Objectives:**

This Sources Sought notice is for the Department of Veterans Affairs (VA) Vacant and Underutilized Buildings located at 4100 W. Third Street Dayton, OH 45428. These buildings are available for outlease under the EUL or Historic Reuse Program (HRP). The EUL and or HRP projects are to be a longterm outlease or exchange. The historic reuse authority is derived from Title 54 United States Code Sections 306121-306122 (formerly Section 111) that allows the U.S. Department of Veterans Affairs (VA) to manage, outlease, or exchange historic facilities (available land, buildings, and other resources) to in a manner consistent with VA's obligation to maintain historic assets. VA's implementation of this authority is known as the Historic Reuse Program or HRP. An HRP agreement can be either a long-term outlease (up to 99 years) of facilities under VA's jurisdiction of control to the public or private sector or an exchange of historic properties. This program is administrated by the Real Property Strategic Utilization service (RPSU) within the Office of Construction and Facilities Management's Office of Real Property (ORP).

The Enhanced-Use Lease Authority, Title 38 United States Code Sections 8161-8169, allows the U.S. Department of Veterans Affairs (VA) to outlease facilities (available land, buildings, and other resources) to provide supportive housing that engages tenants in on-site and community-based support services for Veterans or their families who are at risk of homelessness or are homeless. Enhanced-Use Leases are long-term leases (up to 75 years) of facilities under VA's jurisdiction of control to the public or private sector. This program is administrated by VA's Office of Asset Enterprise Management (OAEM).

The available vacant historic buildings are listed as:

**Buildings 210, 211, 212, 213, 214** (Dr Row House). The buildings are identical and the photo is typical. The buildings are duplex houses, approximately 5,760 square feet each. They were constructed approximately 1922.



**Building 209.** This building is a multi-unit garage that was used by Bldgs 210 – 214 when they were residences.



**Buildings 225 & 226** were constructed in the 1870's. Most recently, they were used as administrative office space. Bldg 225 is 5,400 sf and Bldg 226 is 9,425 sf





Buildings 227 and 228 are storage units/garages associated with Bldgs 225 and 226. Bldg 227 was constructed in 1936. Bldg 228 was constructed in 1870.



Buildings 222 and 223 were garages constructed near some houses that have been demolished. They were constructed in 1936. Bldg 222 is 660 sf and Bldg 223 is 820 sf.



The National Historic Preservation Act (NHPA), specifically Title 54 of the United States Code Section 306121-306122, authorizes Federal agencies to outlease or exchange unneeded historic properties and retain the proceeds to fund preservation activities. As VA seeks to actively engage the private sector in strengthening utilization of its real property portfolio, the Department has created a nationwide Historic Reuse Program (HRP) to implement historic outlease and exchanges of underutilized real estate. The HRP is administered by VA's Real Property Strategic Utilization (RPSU) group within the Office of Construction and Facility Management.

The objective of this development opportunity includes but is not limited to:

- To provide an innovative solution within current authority to preserve a VA-owned, historic property;
- To enable a productive use of these properties that do not involve VA capital dollars and benefits all stakeholders; and
- To meet VA's obligations under Section 110 of the National Historic Preservation Act (NHPA) to better preserve and protect the property.

To maximize achievement of these objectives VA may execute its authority to lease the Subject Property for cash or historic preservation services, or exchange the Subject Property for other comparable historic real property, or any combination thereof.

## **II. Building Offered As Part Of This Advertisement:**

The current condition makes them an excellent candidate for redevelopment and may be eligible for Historic Tax Credit. These buildings are all recognized as historic properties and some are listed on the National Register of Historic Places (NRHP).

## **III. Sources Sought Response Requirements:**

VA is seeking qualified Respondents that have interest in any or all of the buildings. Respondents may either be sole entities or under other acceptable teaming arrangements.

**If your organization is interested IN ANY or all OF THE above Buildings and is capable of executing all aspects of the project, please EMAIL Maina Gakure at [maina.gakure@va.gov](mailto:maina.gakure@va.gov) before October 31, 2017. Any and all questions regarding the contents of this advertisement should be submitted to Maina Gakure at [maina.gakure@va.gov](mailto:maina.gakure@va.gov)**