

CLEMENT J. ZABLOCKI VA MEDICAL CENTER

**INSTALL ENVIRONMENTAL MONITORING SYSTEMS
IN STERILE AND CLEAN SUPPLY ROOMS
(REPLACE RTU BUILDING 102)**

PROJECT NO: 695-17-108

100% CONSTRUCTION DOCUMENTS



SHEET LIST

SHEET NUMBER SHEET NAME

GENERAL	
G1000	COVER SHEET
G1011	LIFE SAFETY PLAN
G1012	LIFE SAFETY PLAN
G1013	INFECTION CONTROL/PHASING PLAN
ARCHITECTURAL	
AS101	ARCHITECTURAL SYMBOLS AND ABBREVIATIONS
AS101	FLOOR PLANS
AS102	REFLECTED CEILING PLANS
AS501	DETAILS
MECHANICAL	
M1000	MECHANICAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS
MM100	SECOND FLOOR AND HIGH ROOF PLANS - MECHANICAL
MM500	MECHANICAL DETAILS AND SCHEDULES
MM501	CONTROLS DIAGRAMS
ELECTRICAL	
E5000	ELECTRICAL SYMBOLS, ABBREVIATIONS AND SHEET INDEX
E5010	SITE ELECTRICAL PLAN
ED100	BASEMENT FLOOR PLAN - ELECTRICAL DEMOLITION
ED101	HIGH ROOF PLAN - ELECTRICAL DEMOLITION
ES100	BASEMENT FLOOR PLAN - ELECTRICAL
ES101	FIRST FLOOR PLAN - ELECTRICAL
ES102	SECOND FLOOR PLAN - ELECTRICAL
ES103	HIGH ROOF PLAN - ELECTRICAL
E5400	ONE-LINE SYMBOLS AND ABBREVIATIONS
E5401	ONE-LINE DIAGRAM
E5402	ONE-LINE DIAGRAM
E5500	ELECTRICAL DETAILS
E5501	ELECTRICAL SCHEDULES

PROJECT DESCRIPTION

THE PROJECT SCOPE INCLUDES THE REMOVAL OF THE EXISTING ROOF TOP UNIT FROM THE HIGH ROOF OF BUILDING 102 THAT CURRENTLY SERVES THE SECOND FLOOR RECEIVING AREA. A NEW DX COOLING ROOF TOP UNIT (AHU 135-2) WILL BE INSTALLED ON THE HIGH ROOF THAT WILL PROVIDE BOTH COOLING TO THE SECOND FLOOR RECEIVING AREA, AND ALSO SUPPLEMENT EXISTING UNIT AHU 135-1. THE PROJECT WILL INCLUDE REPLACEMENT OF THE EXISTING BUILDING TRANSFORMER TO ACCOMMODATE THE NEW ELECTRICAL LOADING REQUIREMENTS OF THE NEW ROOF TOP UNIT. THE PROJECT SCOPE INCLUDES ALL ASSOCIATED REPAIR WORK, ROOF TOP UNIT CONTROLS, CONNECTING DUCTWORK, UTILITY CONNECTIONS AND SYSTEM TIE INS TO ACTIVATE THE NEW AHU 135-2.

BUILDING 102

OWNER

CLEMENT J. ZABLOCKI
VA MEDICAL CENTER

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Milwaukee VAMC

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p: 414.384.2000

ARCHITECT

GUIDON DESIGN INC.

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**MECHANICAL,
ELECTRICAL &
PLUMBING**

RING & DUCHATEAU, LLP

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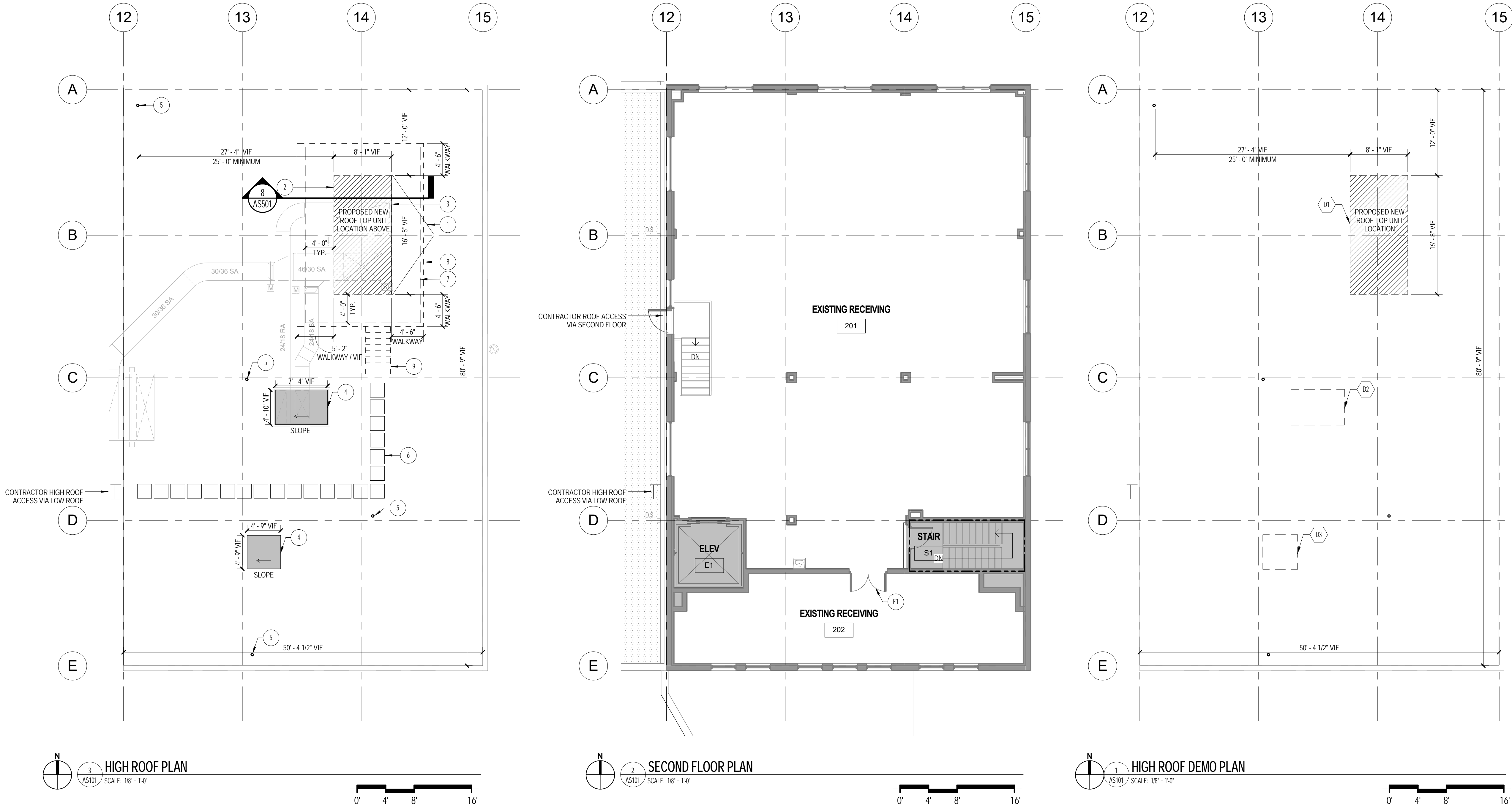
p: 414.778.7414
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NOTE:
IN THE CASE OF CONFLICTS OR DISCREPANCIES
WITHIN OR AMONG THE CONTRACT DRAWINGS, THE
BETTER QUALITY, MORE STRINGENT REQUIREMENTS
OR GREATER QUANTITY OF WORK, AS DETERMINED
BY THE GOVERNMENT, SHALL BE PROVIDED.

		<div>CONSULTANT</div> <div><div><div>Consultant:</div><div>RING & DUCHATEAU LLP 17400 W. CAPITOL DRIVE BROOKFIELD, WI 53045 (414) 778-1700</div><div><div><div></div><div>RING & DUCHATEAU</div></div></div></div></div>	<div>ARCHITECT/ENGINEER OF RECORD</div> <div><div><div>A/E:</div><div>PROJECT LEAD Architect, Structural Engineer, Civil Engineer</div><div><div><div>GUIDON</div><div>DESIGN</div></div><div><div>GUIDON DESIGN INC. 905 N. CAPITOL AVE. SUITE 100 INDIANAPOLIS, IN 46204 317.800.6885 WWW.GUIDONDESIGN.COM SUSTAINABLE ARCHITECTURE + ENGINEERING</div></div></div></div></div>	<div>STAMP</div> <div><div><div><div>WISCONSIN</div><div>PROFESSIONAL ENGINEER</div><div>LUKE J. LEISING 43697-6 INDIANAPOLIS, IN</div></div><div><div></div><div></div></div></div></div>	<div>Office of Construction and Facilities Management</div> <div><div>VA</div><div>U.S. Department of Veterans Affairs</div></div>	<div>Drawing Title</div> <div>ARCHITECTURAL SYMBOLS AND ABBREVIATIONS</div>	<div>Phase</div> <div>100% CONSTRUCTION DOCUMENTS</div>	<div>Project Title</div> <div>INSTALL EMS BUILDING 102</div>	<div>Project Number</div> <div>695-17-108</div>	<div>Building Number</div> <div>BLDG 102</div>	<div>Drawing Number</div> <div>AS001</div>	
Revisions:	Date:					<div>Approved:</div> <div>MILWAUKEE VA</div>	<div>NON-SPRINKLERED</div>	<div>Location</div> <div>MILWAUKEE VAMC</div>	<div>Issue Date</div> <div>24 JULY 2017</div>	<div>Checked</div> <div>ETA</div>	<div>Drawn</div> <div>JP</div>	

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F:\15-1045 - VA Milwaukee - AE DDC-21\Task 06 - AE Install EMS2 Drawing\2 - Architectural\1 - Revit\15_1045-06 MVA ETO Replacement Building 102
P:\15-1045 - VA Milwaukee - AE DDC-21\Task 06 - AE Install EMS2 Drawing\2 - Architectural\1 - Revit\15_1045-06 MVA ETO Replacement Building 102
P:\15-1045 - VA Milwaukee - AE DDC-21\Task 06 - AE Install EMS2 Drawing\2 - Architectural\1 - Revit\15_1045-06 MVA ETO Replacement Building 102
VA FORM 08 - 6231



DEMOLITION GENERAL NOTES	
A.	COORDINATE DEMOLITION WITH NEW CONSTRUCTION. ALL DEMOLITION AND REPAIR NECESSARY TO COMPLETE NEW AND REMODEL CONSTRUCTION SHALL BE PROVIDED. CONTRACTOR SHALL REMOVE EXISTING IMPROVEMENTS WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS TO FACILITATE THE COMPLETION OF ALL REQUIRED WORK. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL QUANTITIES AND ITEMS REQUIRED TO BE REMOVED.
B.	REFER TO ARCHITECTURAL SYMBOLS ON SHEET AS001 FOR DEMOLITION SYSTEMS AND DRAWING NOMENCLATURE.
C.	EXISTING STRUCTURE WITHIN THE PROJECT BOUNDARY SHALL REMAIN UNLESS NOTED OTHERWISE.
D.	SURFACES TO BE CUT AND CONDITIONS UNDER WHICH CUTTING IS TO BE PERFORMED SHALL BE REVIEWED BY CONTRACTOR PRIOR TO CUTTING TO VERIFY NO UNSAFE OF UNSATISFACTORY CONDITIONS EXIST. SUCH CONDITIONS SHALL BE RECTIFIED BEFORE WORK MAY PROCEED.
E.	EXTENTS OF DEMOLITION SHALL BE COORDINATE WITH THE CONSTRUCTION FLOOR PLAN AS101 AND ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
F.	DIMENSIONS SHOWN FOR EXISTING CONSTRUCTION TO BE DEMOLISHED ARE APPROXIMATE AND ARE INTENDED TO GIVE A GENERAL SCOPE OF WORK TO BE REMOVED OR TEMPORARILY REMOVED TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE DEMOLITION WORK WITH DESIGN INTENT OF NEW CONSTRUCTION TO PROVIDE ADEQUATE AREA FOR THIS WORK.
G.	CONTRACTORS SHALL REMOVE INDICATED DEMOLITION OF CONSTRUCTION ASSEMBLIES IN THEIR ENTIRETY, UNLESS OTHERWISE NOTED, TO ACCOMMODATE NEW CONSTRUCTION.
H.	MAKE ALL DEMOLITION CLEAN AND COMPLETE IN A MANNER TO RECEIVE NEW FINISHES. DEMOLITION SHOULD BE PERFORMED IN A MANNER SUCH THAT THE CONTRACTOR CAN SEAMLESSLY PATCH NEW WORK TO BE SMOOTH AND UNDETECTABLE.
I.	THE CONTRACTOR IS RESPONSIBLE TO PROTECT THE EXISTING ROOF FROM ANY RIPS OR TEARS AND MAINTAINING THE INTEGRITY OF THE ROOFING SYSTEM.

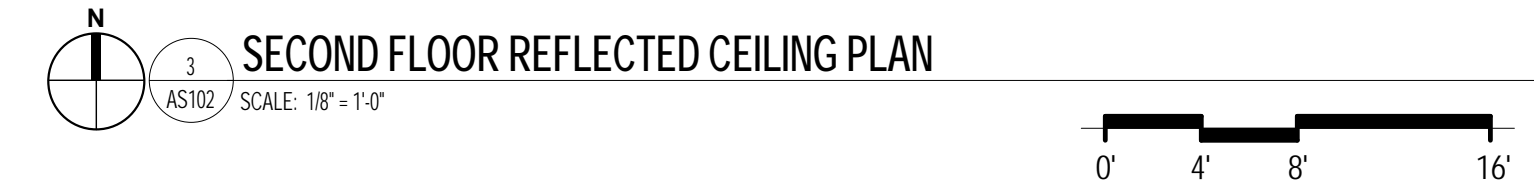
DEMOLITION PLAN NOTES	
D1.	CUT AND PREPARE ROOF FOR NEW ROOF CURB AS INDICATED ON PLAN. COORDINATE WITH MEP DRAWINGS AND WITH MANUFACTURER SIZE OF EQUIPMENT AND REQUIREMENTS.
D2.	COORDINATE WITH MEP DRAWINGS FOR EXISTING ROOF TOP UNIT REMOVAL.
D3.	COORDINATE WITH MEP DRAWINGS FOR EXISTING DAMPER REMOVAL.

FLOOR AND ROOF PLAN GENERAL NOTES	
A.	REFERENCE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL FOR COORDINATION ITEMS. COORDINATE AS REQUIRED INCLUDING NECESSARY FRAMING, BLOCKING, ETC.
B.	VERIFY EXISTING FIELD CONDITIONS PRIOR TO BEGINNING WORK, AND REPORT DISCREPANCIES IMMEDIATELY TO ARCHITECT FOR CLARIFICATION.
C.	THE CONTRACTOR IS RESPONSIBLE TO PROTECT THE EXISTING ROOF FROM ANY RIPS OR TEARS AND MAINTAINING THE INTEGRITY OF THE ROOFING SYSTEM.

ROOF PLAN NOTES	
1.	PROVIDE ROOF CRICKET SLOPED MINIMUM 1/2" : 1' (0' : 24) ALONG THE EAST SIDE OF THE NEW ROOF TOP UNIT. COORDINATE WITH MEP DRAWINGS.
2.	PROVIDE ROOF CURB TO RECEIVE NEW ROOF TOP UNIT AS INDICATED ON 4/AS101 AND DETAIL 4 & 5/AS501. COORDINATE WITH MEP DRAWINGS FOR MORE INFORMATION.
3.	PROVIDE A 30" X 30" ACCESS DOOR AS INDICATED ON 3/AS101 AND DETAIL 3/AS501.
4.	PROVIDE ROOF OPENING COVER AS INDICATED ON 3/AS101 AND DETAIL 1/AS501.
5.	EXISTING VENT TO REMAIN, NOT IN SCOPE. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
6.	PROVIDE PRECAST CONCRETE ROOF PAVERS.
7.	PAINT ROOF WHITE TO EXTEND 4' : 0" OUTWARD FROM NEW ROOF TOP UNIT, AS INDICATED ON PLAN 3/AS101.
8.	PROVIDE ELEVATED ROOF WALKWAY SYSTEM AROUND NEW ROOF TOP UNIT. ELEVATED HEIGHT OF ROOF WALKWAY SYSTEM TO ALIGN WITH HEIGHT OF ROOF TOP UNIT AT TOP OF CURB TO ALLOW MAINTENANCE ACCESS TO UNIT. PROVIDE ALL SUPPORTS AND CONNECTIONS FOR COMPLETE SYSTEM. PROVIDE NEOPRENE RUBBER PADS UNDER EACH SUPPORT TO BEAR ON ROOF ASSEMBLY. COORDINATE LOCATION AND SUPPORTS OF WALKWAY SYSTEM WITH LOCATIONS AND SIZES OF DUCTWORK AND LOCATION AND SIZE OF ROOF TOP UNITS. COORDINATE WIDTH OF WALKWAY SYSTEM WITH ACCESS DOORS OF ROOF TOP UNIT TO ENSURE ACCESSIBILITY TO ROOF TOP UNIT AND MAINTENANCE.
9.	PROVIDE ROOF WALKWAY SYSTEM STAIRWAY TO CONNECT ROOF LEVEL UP TO ROOF WALKWAY SYSTEM. COORDINATE NUMBER OF REQUIRED TREADS AND RISERS BASED ON INSTALLED HEIGHT OF ROOF WALKWAY SYSTEM. STAIRS DESIGNED AND ENGINEERED BY ROOF WALKWAY SYSTEM MANUFACTURER.

FLOOR PLAN NOTES	
F1	PROVIDE A 12" X 12" TRANSFER GRILL IN EACH EXISTING DOOR. MODIFY EXISTING DOOR AS REQUIRED TO ACCOMMODATE TRANSFER GRILL.

		CONSULTANT Consultant: RING & DuCHATEAU LLP 17400 W. CAPITOL DRIVE BROOKFIELD, WI 53045 (414) 778-1700		ARCHITECT/ENGINEER OF RECORD A/E: PROJECT LEAD Architect, Structural Engineer, Civil Engineer GUIDON DESIGN 905 N. CAPITOL AVE. SUITE 100 INDIANAPOLIS, IN 46204 317.800.6388 WWW.GUIDONDESIGN.COM SUSTAINABLE ARCHITECTURE + ENGINEERING		STAMP LUKE J. LEISCH 43897-6 INDIANAPOLIS, IN REGISTERED PROFESSIONAL ARCHITECT STATE OF WISCONSIN		Office of Construction and Facilities Management VA U.S. Department of Veterans Affairs		Drawing Title FLOOR PLANS Approved: MILWAUKEE VA		Phase 100% CONSTRUCTION DOCUMENTS NON-SPRINKLERED		Project Title INSTALL EMS BUILDING 102 Location MILWAUKEE VAMC Issue Date 24 JULY 2017 Checked ETA Drawn JP		Project Number 695-17-108 Building Number BLDG 102 Drawing Number AS101	
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1.	PROVIDE ROOF DETAIL PENETRATION COVER. REFER TO DETAIL 2 & 4A/SSO1 AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
2.	PROVIDE NEW STRUCTURAL MEMBERS TO BE BOLTED TO THE EXISTING STRUCTURE. REFER TO DETAIL 3A/SSO1.
3.	EXISTING CEILING TO REMAIN. PATCH, REPAIR AND REFINISH CEILING WHERE WORK OCCURS TO RETURN TO LIKE NEW CONDITION. PAINT CEILING IN AREA TO MATCH EXISTING PAINT COLOR. PAINT ENTIRE CEILING FOR SEEMLESS COLOR IF COLOR IS NOT AVAILABLE.
4.	EXISTING CEILING TO REMAIN. REMOVE AND PROTECT CEILING TIES DURING CONSTRUCTION AS REQUIRED. REPERFORM WORK. RESTORE CEILINGS AND RETURN TO LIKE NEW CONDITION UPON COMPLETION OF WORK IN THIS AREA.
5.	PAINT ALL NEW WORK IN THIS AREA TO MATCH EXISTING EXPOSED CEILING. PROTECT ALL EXISTING STRUCTURE AND EQUIPMENT DURING WORK.

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A

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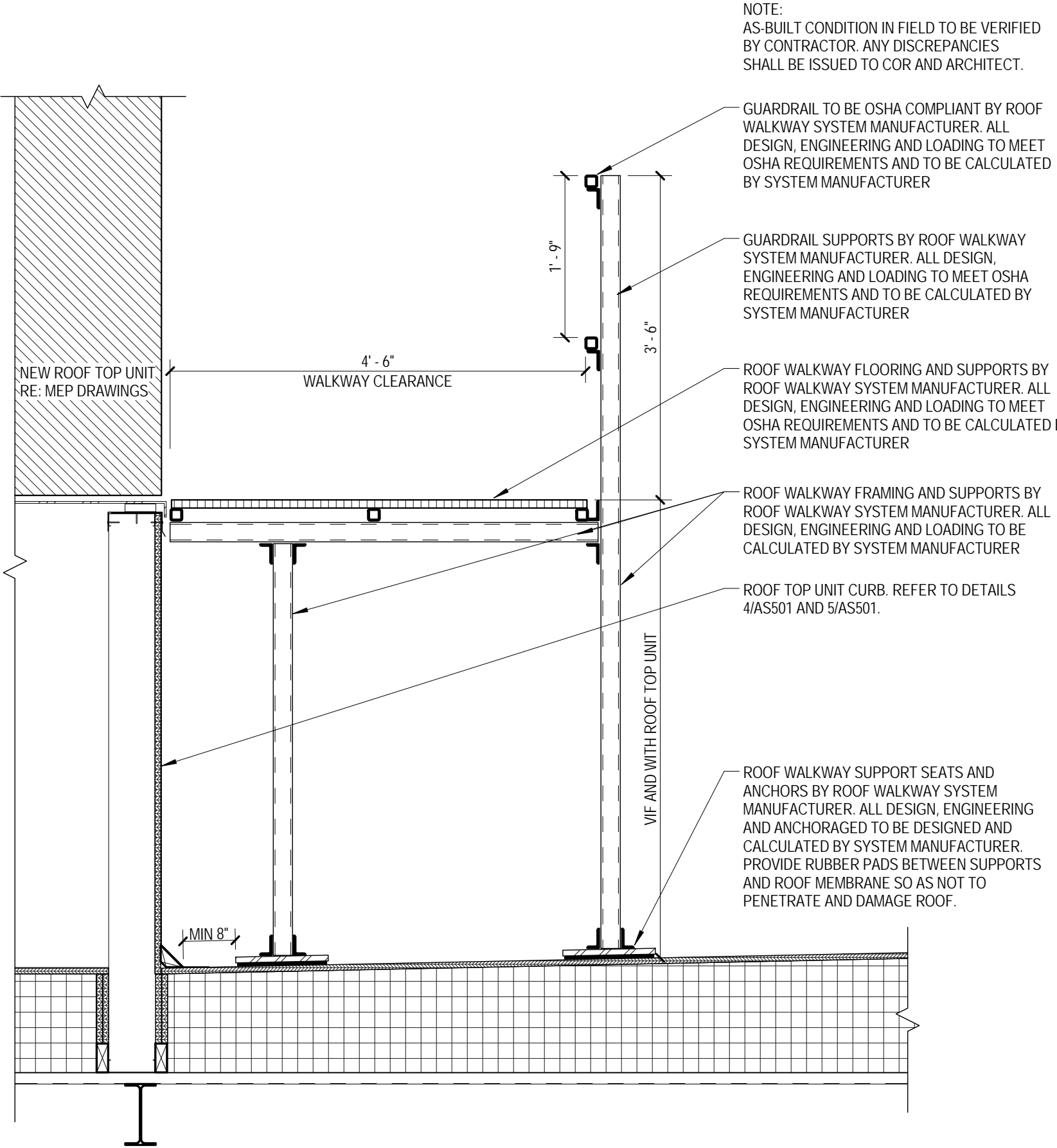
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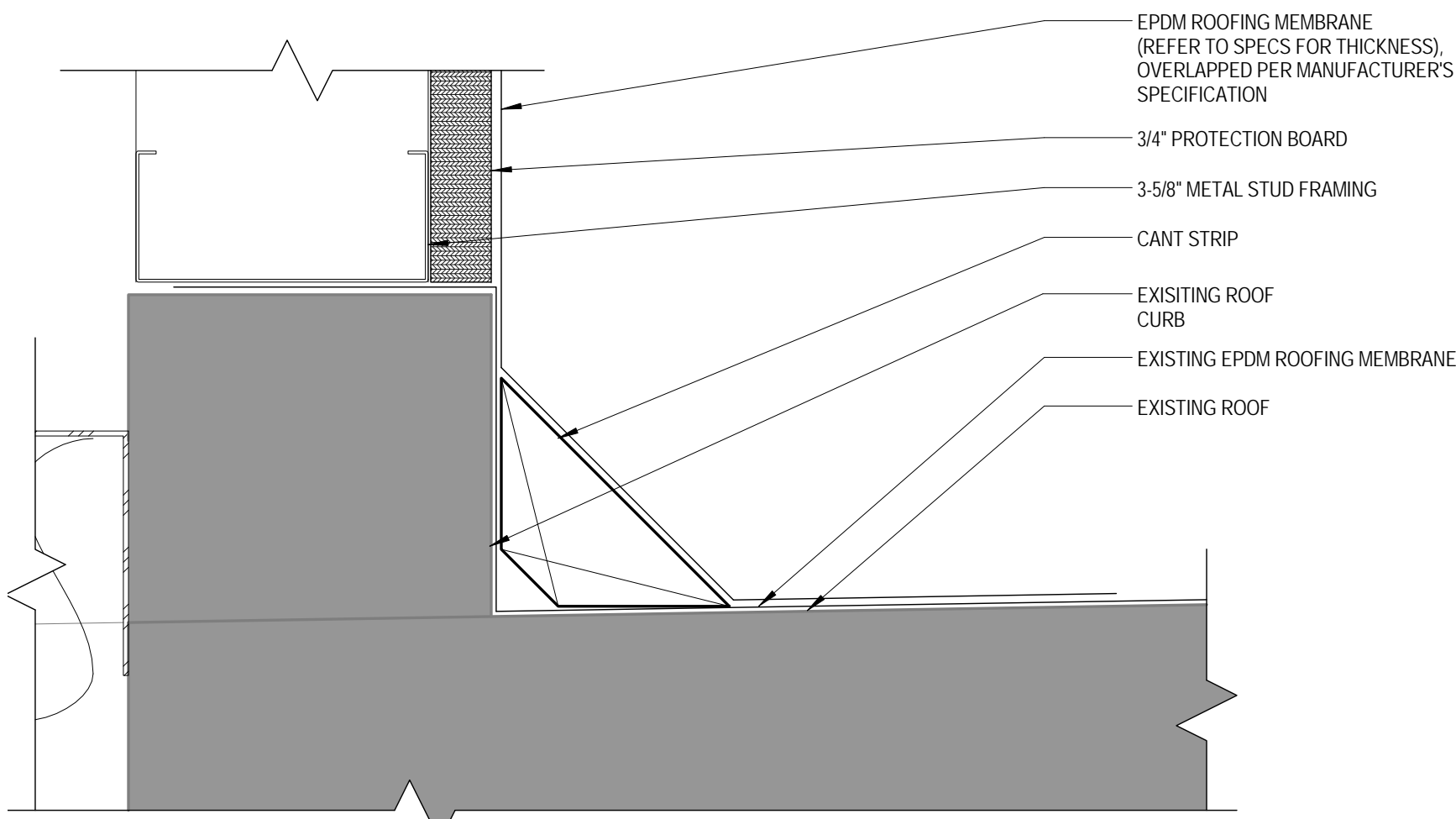
DESIGN INTENT NOTE:
THE ROOF WALKWAY SYSTEM SHOWN ON THE DRAWINGS IS FOR REFERENCE AND DESIGN INTENT ONLY TO ILLUSTRATE REQUIRED CLEARANCES AND GENERAL ORIENTATION. ROOF WALKWAY SYSTEM IN ITS ENTIRETY SHALL BE DESIGNED, ENGINEERED AND FABRICATED BY THE ROOF WALKWAY SYSTEM MANUFACTURER AND SHALL BE OSHA COMPLIANT TO ALLOW FOR FULL MAINTENANCE OF THE NEW ROOF TOP UNIT. COORDINATE SIZE, SHAPE, CONFIGURATION, SUPPORTS AND STRUCTURAL STABILITY WITH ALL ADJACENT ROOF TOP UNIT ITEMS INCLUDING BUT NOT LIMITED TO THE ROOF TOP UNIT, DUCTWORK, PIPING AND OTHER SUPPORTS.

IF ROOF WALKWAY SYSTEM SUPPORTS ARE REQUIRED TO BE ANCHORED DIRECTLY TO ROOF STRUCTURE, CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ROOFING PENETRATIONS AND REQUIRED FLASHING DETAILS AROUND SUPPORTS TO PREVENT WATER INFILTRATION.

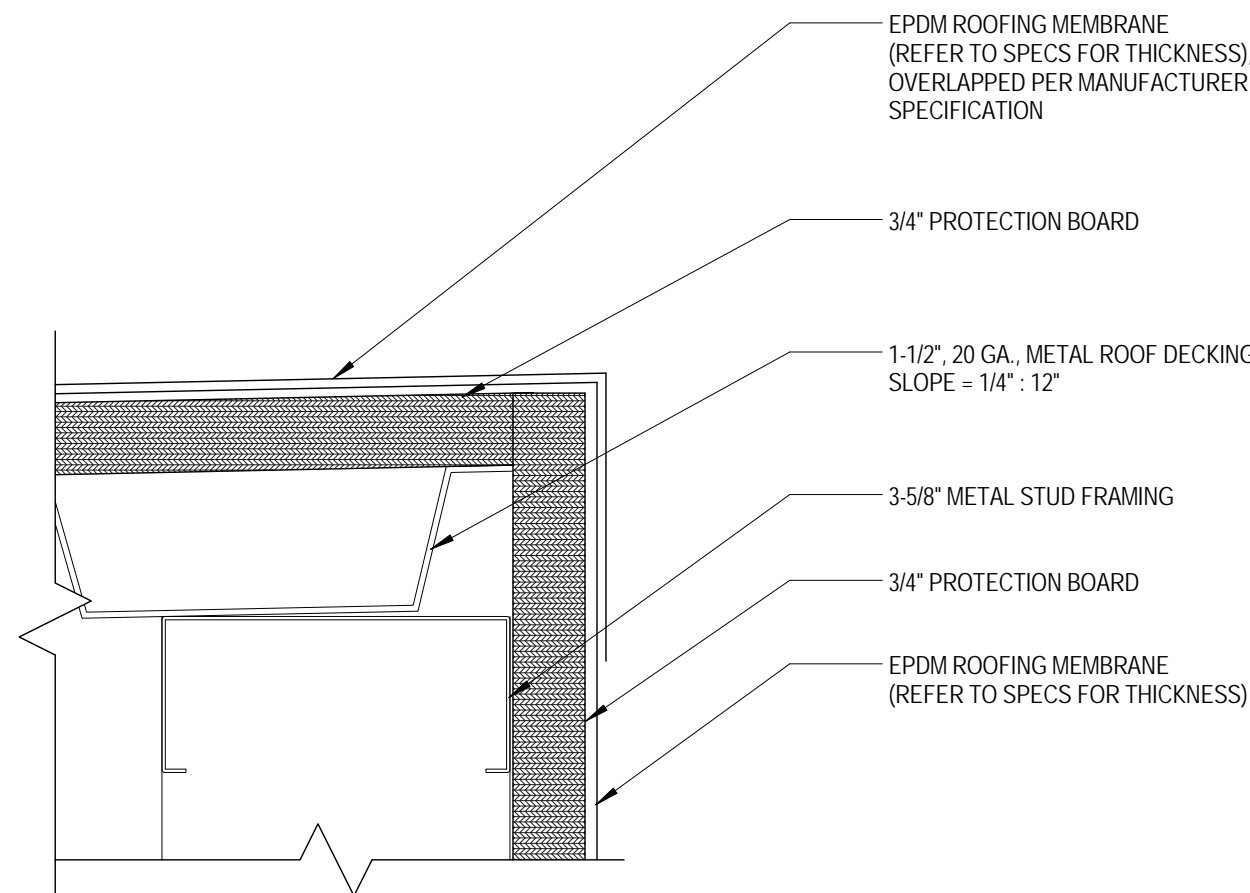
CONTRACTOR TO SUBMIT FOR APPROVAL SHOP DRAWINGS, SYSTEM DETAILS, PRODUCT DATA, AND ENGINEER CALCULATIONS FOR ROOF WALKWAY SYSTEM.



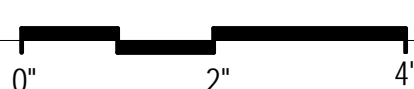
8 ROOF WALKWAY SYSTEM SECTION
ASS01 SCALE: 3/4" = 1'-0"



7 EPDM ROOFING MEMBRANE @ CANT STRIP
ASS01 SCALE: 6" = 1'-0"

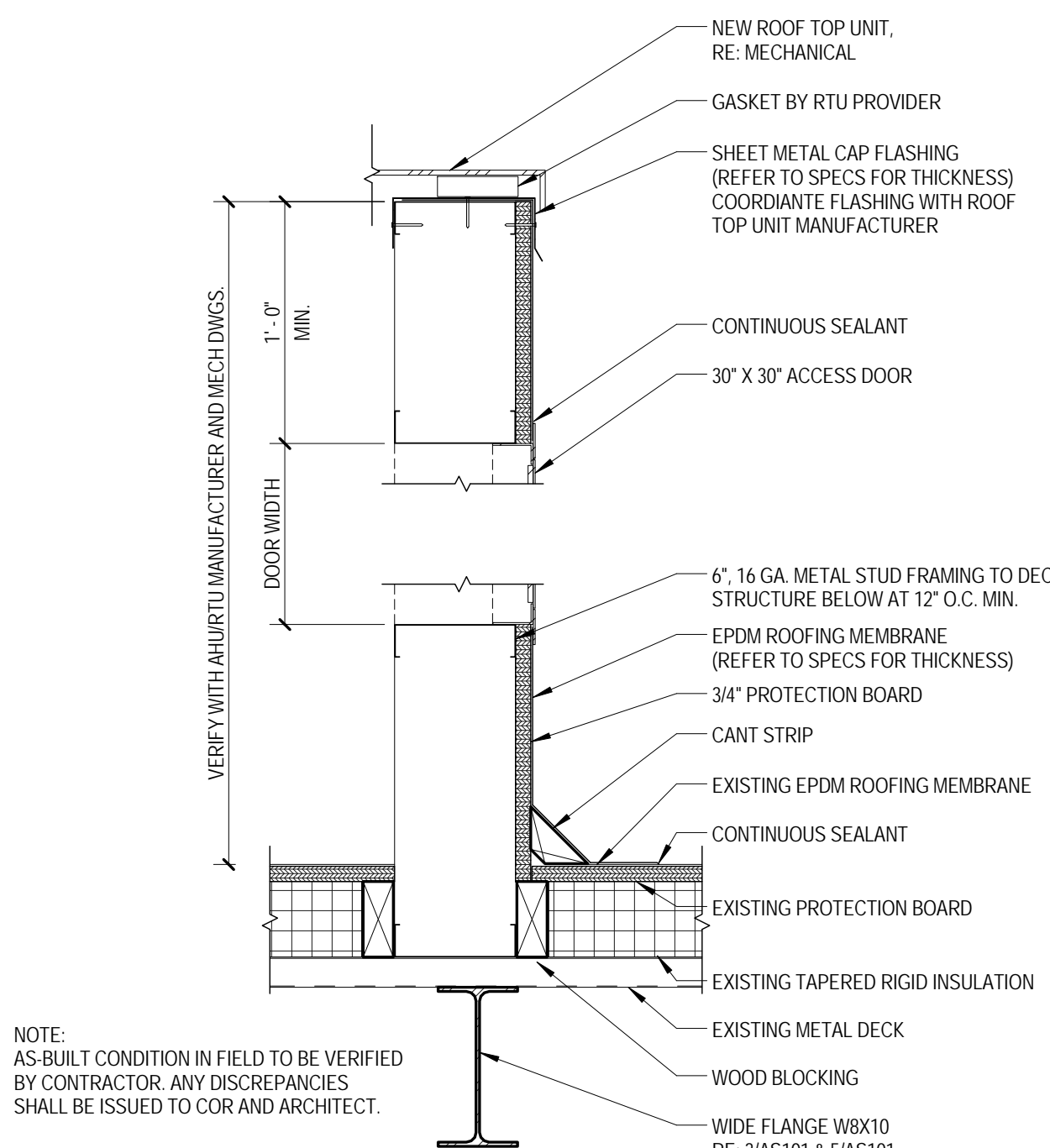


6 EPDM ROOFING MEMBRANE DETAIL
ASS01 SCALE: 6" = 1'-0"

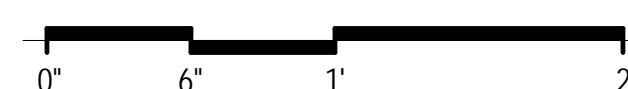


DESIGN INTENT NOTE:
THIS DETAIL REPRESENTS AN EXTENDED HEIGHT ROOF TOP UNIT CURB PROVIDED BY THE CONTRACTOR THAT CONNECTS TO THE EXISTING ROOF STRUCTURE. THE NEW ROOF TOP UNIT IS TO BE CONNECTED TO THE NEW CURB PER MANUFACTURER RECOMMENDATION TO ENSURE PROPER FUNCTIONALITY AND WARRANTY. CONTRACTOR IS PERMITTED TO PROVIDE THE ENTIRE CURB BY ROOF TOP UNIT MANUFACTURER IF AVAILABLE.

CONTRACTOR TO SUBMIT FOR APPROVAL SHOP DRAWINGS, PRODUCT DATA AND ENGINEER CALCULATIONS FOR ROOF TOP UNIT CURB WHETHER PROVIDED BY CONTRACTOR OR ROOF TOP UNIT MANUFACTURER.

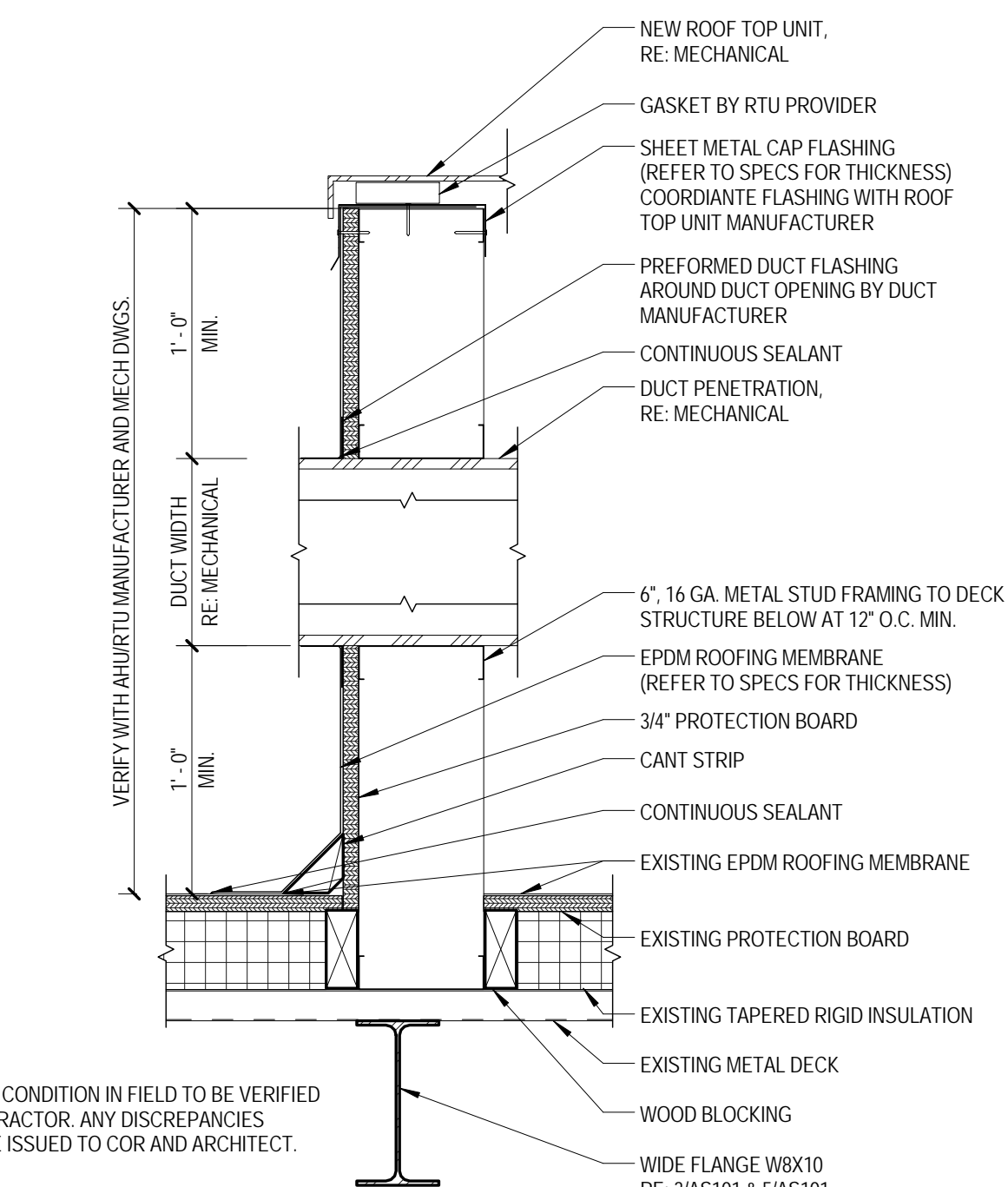


5 ROOF CURB @ ACCESS DOOR DETAIL
ASS01 SCALE: 1/2" = 1'-0"

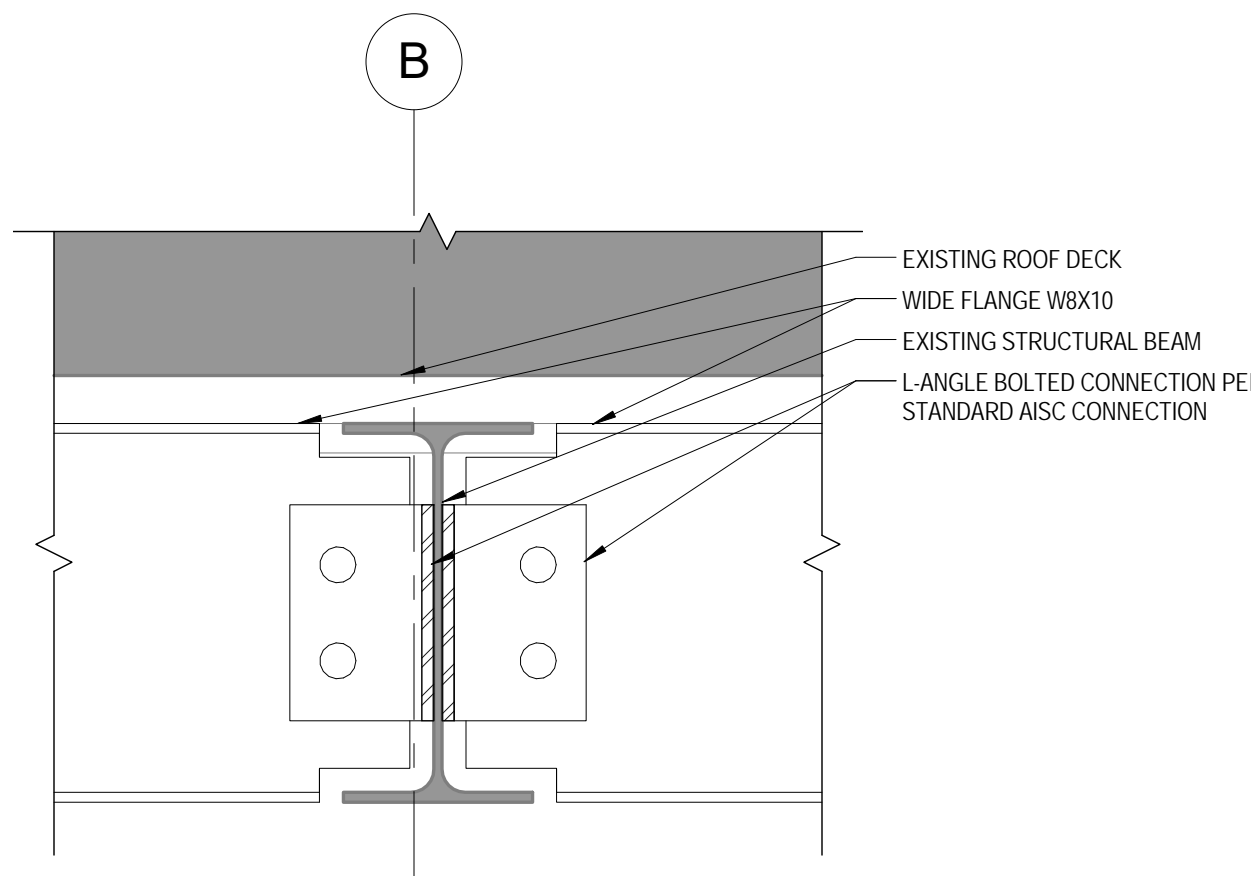
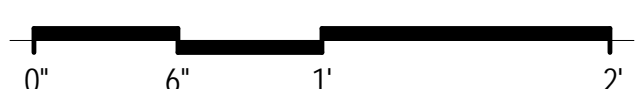


DESIGN INTENT NOTE:
THIS DETAIL REPRESENTS AN EXTENDED HEIGHT ROOF TOP UNIT CURB PROVIDED BY THE CONTRACTOR THAT CONNECTS TO THE EXISTING ROOF STRUCTURE. THE NEW ROOF TOP UNIT IS TO BE CONNECTED TO THE NEW CURB PER MANUFACTURER RECOMMENDATION TO ENSURE PROPER FUNCTIONALITY AND WARRANTY. CONTRACTOR IS PERMITTED TO PROVIDE THE ENTIRE CURB BY ROOF TOP UNIT MANUFACTURER IF AVAILABLE.

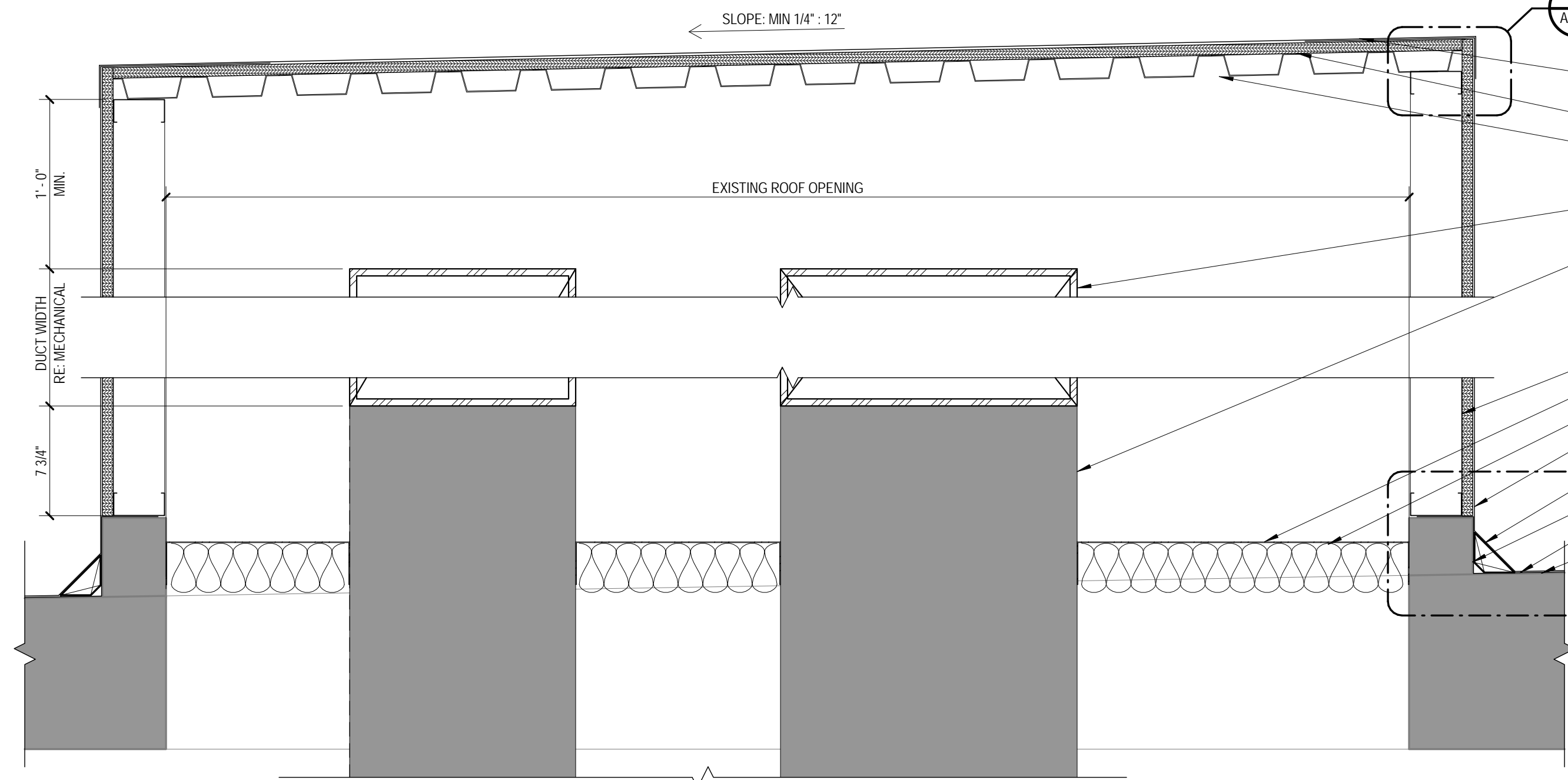
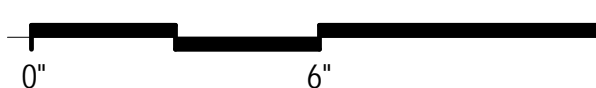
CONTRACTOR TO SUBMIT FOR APPROVAL SHOP DRAWINGS, PRODUCT DATA AND ENGINEER CALCULATIONS FOR ROOF TOP UNIT CURB WHETHER PROVIDED BY CONTRACTOR OR ROOF TOP UNIT MANUFACTURER.



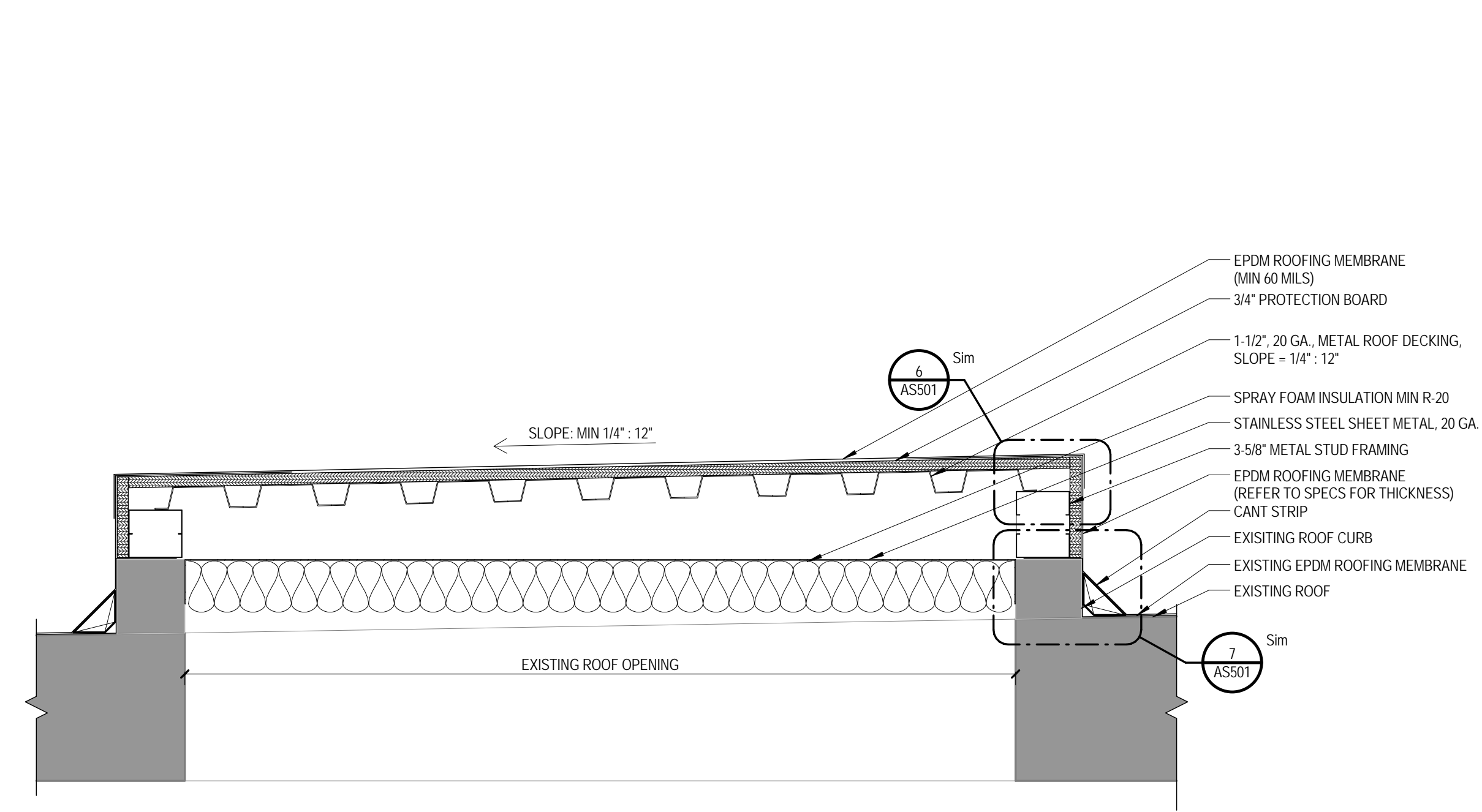
4 ROOF CURB DETAIL
ASS01 SCALE: 1/2" = 1'-0"



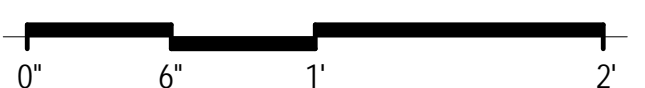
3 STEEL BOLTED CONNECTION DETAIL
ASS01 SCALE: 3/4" = 1'-0"



2 ROOF DUCT PENETRATION COVER
ASS01 SCALE: 1/2" = 1'-0"



1 ROOF OPENING COVER
ASS01 SCALE: 1/2" = 1'-0"



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						Approved: MILWAUKEE VA	NON-SPRINKLERED	Location MILWAUKEE VAMC	Building Number BLDG 102
								Issue Date 24 JULY 2017	Drawn JP
Revisions:	Date:							Checked ETA	Drawing Number AS501