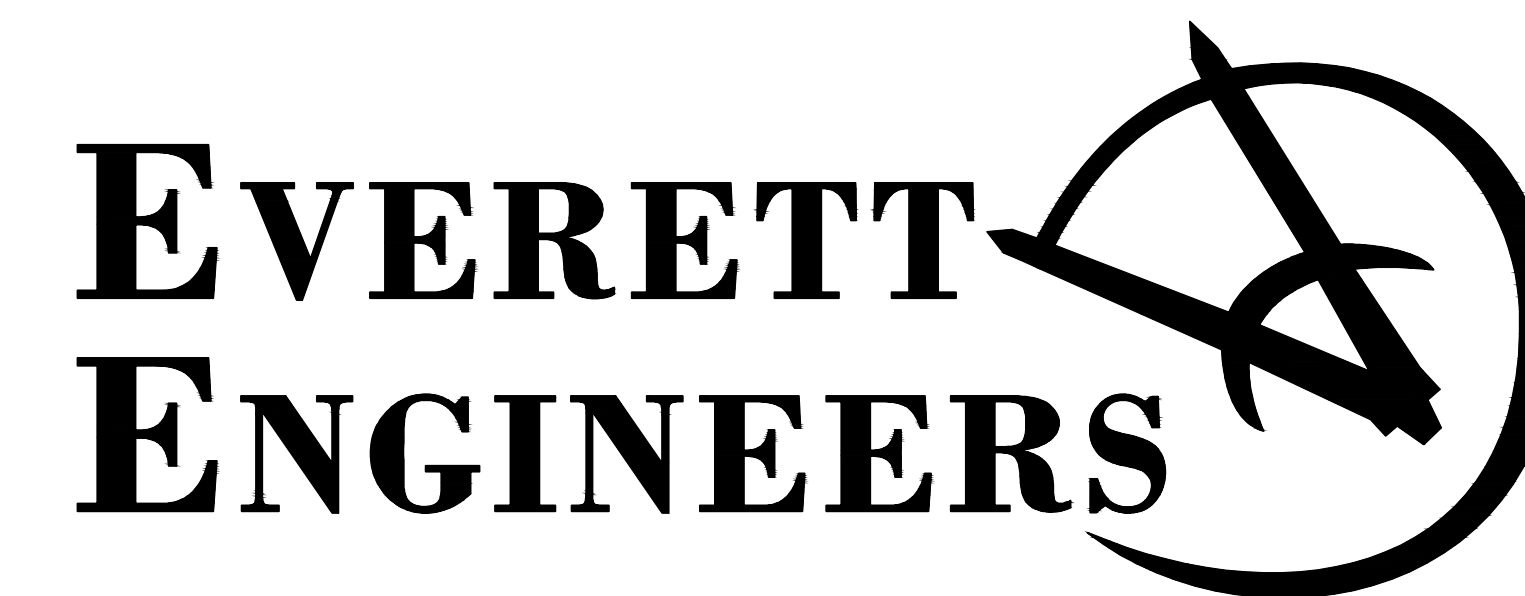


WESTFIELD HOME MODIFICATIONS

8365 HARDSCRABBLE ROAD
WESTFIELD NY
VETERAN'S BENEFITS ADMINISTRATION
PROJECT NO. VA307-P-0006

JUNE 4, 2012

CONSULTING ARCHITECTS/ENGINEERS



44 State Street
Middleport, NY

Phone: 888-705-0504
Fax: 978-274-5568

DRAWING NO.

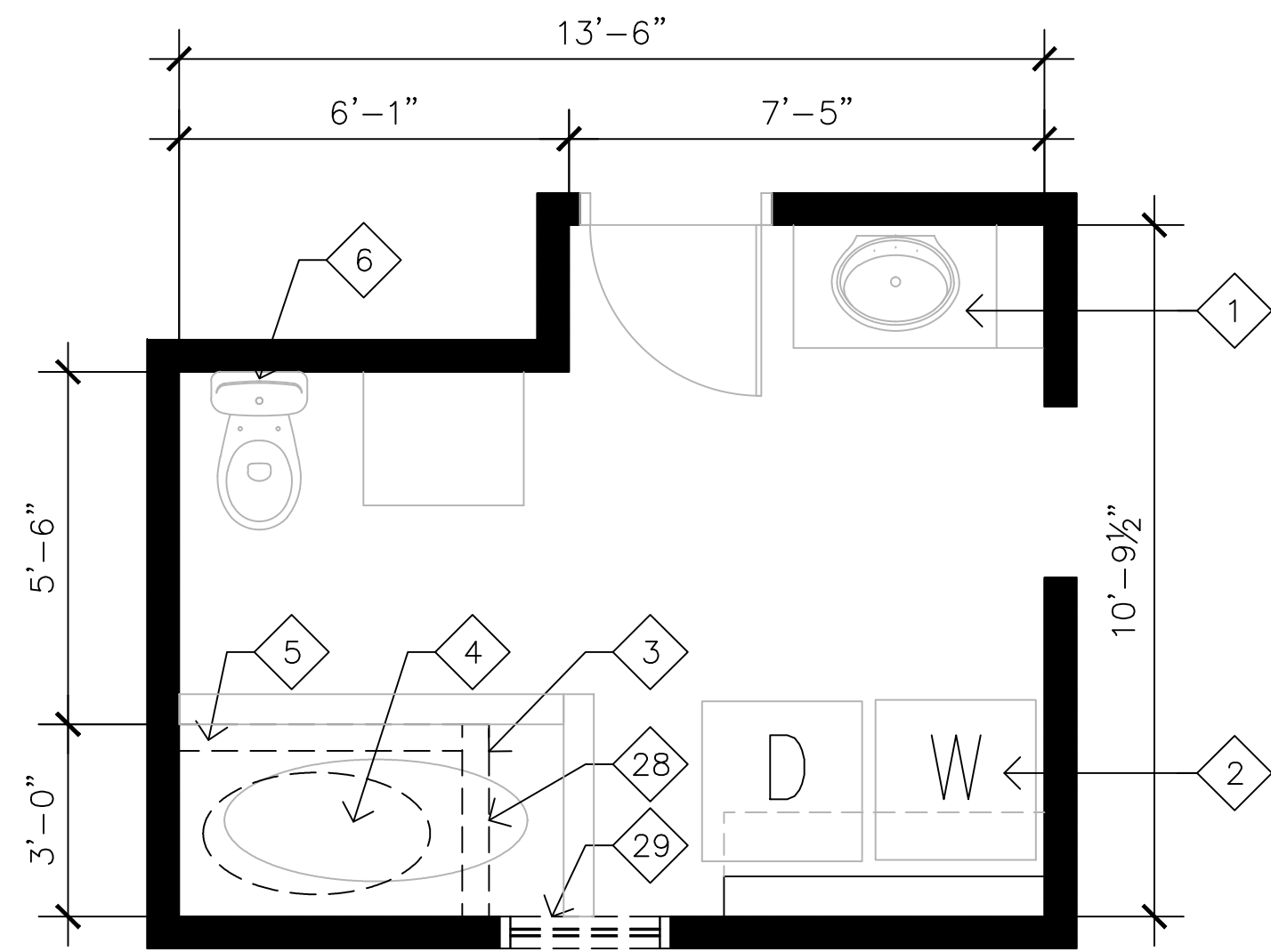
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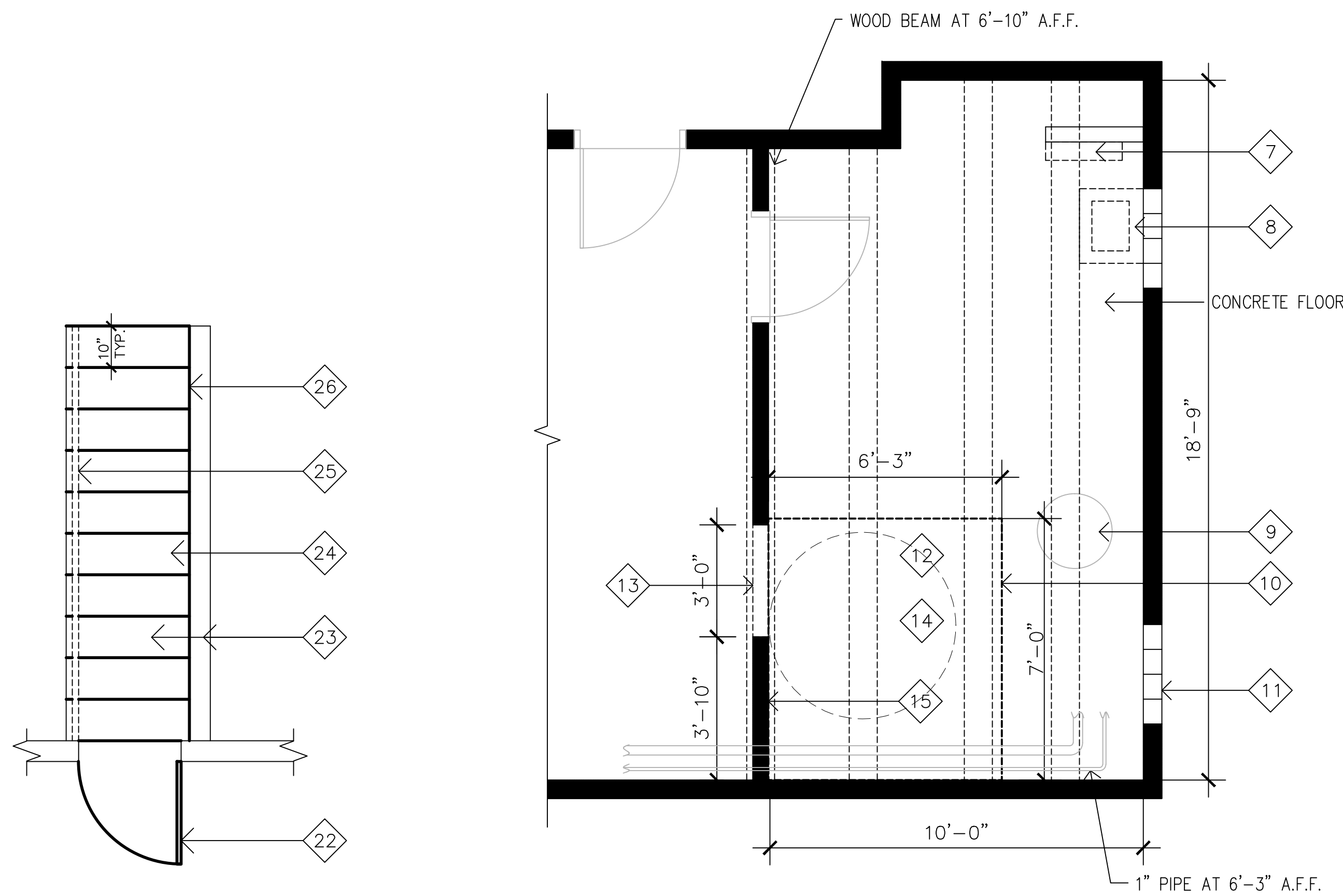
COVER SHEET
DEMO FLOOR PLAN
NEW FLOOR PLAN
PLUMBING AND ELECTRICAL NEW WORK
FOUNDATION DRAINAGE PLAN AND DETAILS

100% DESIGN REVIEW SUBMITTAL

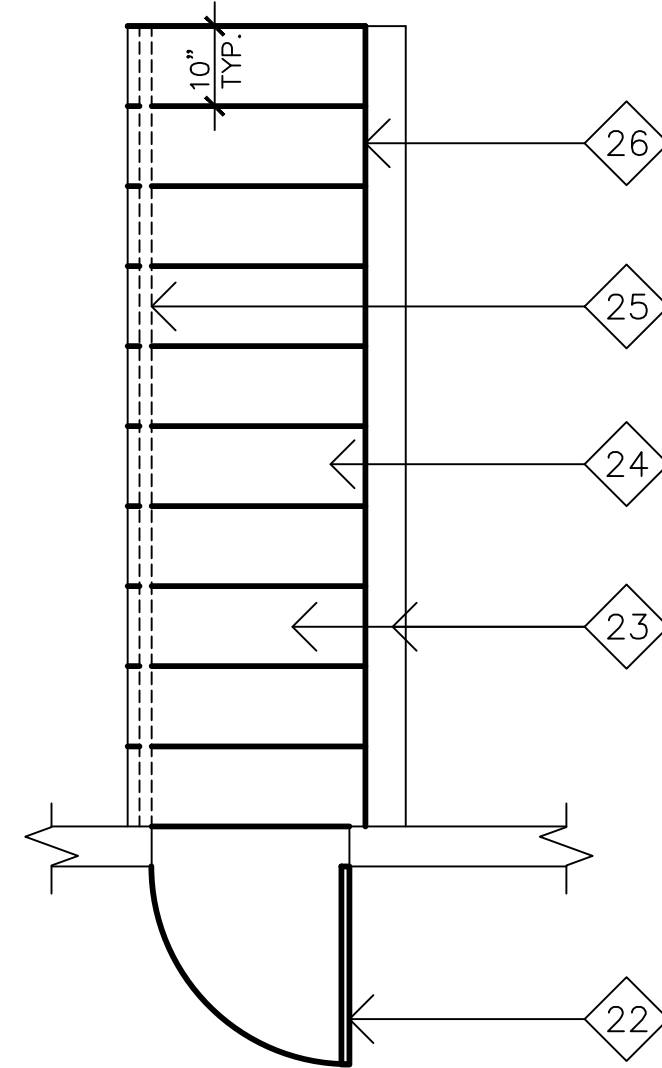
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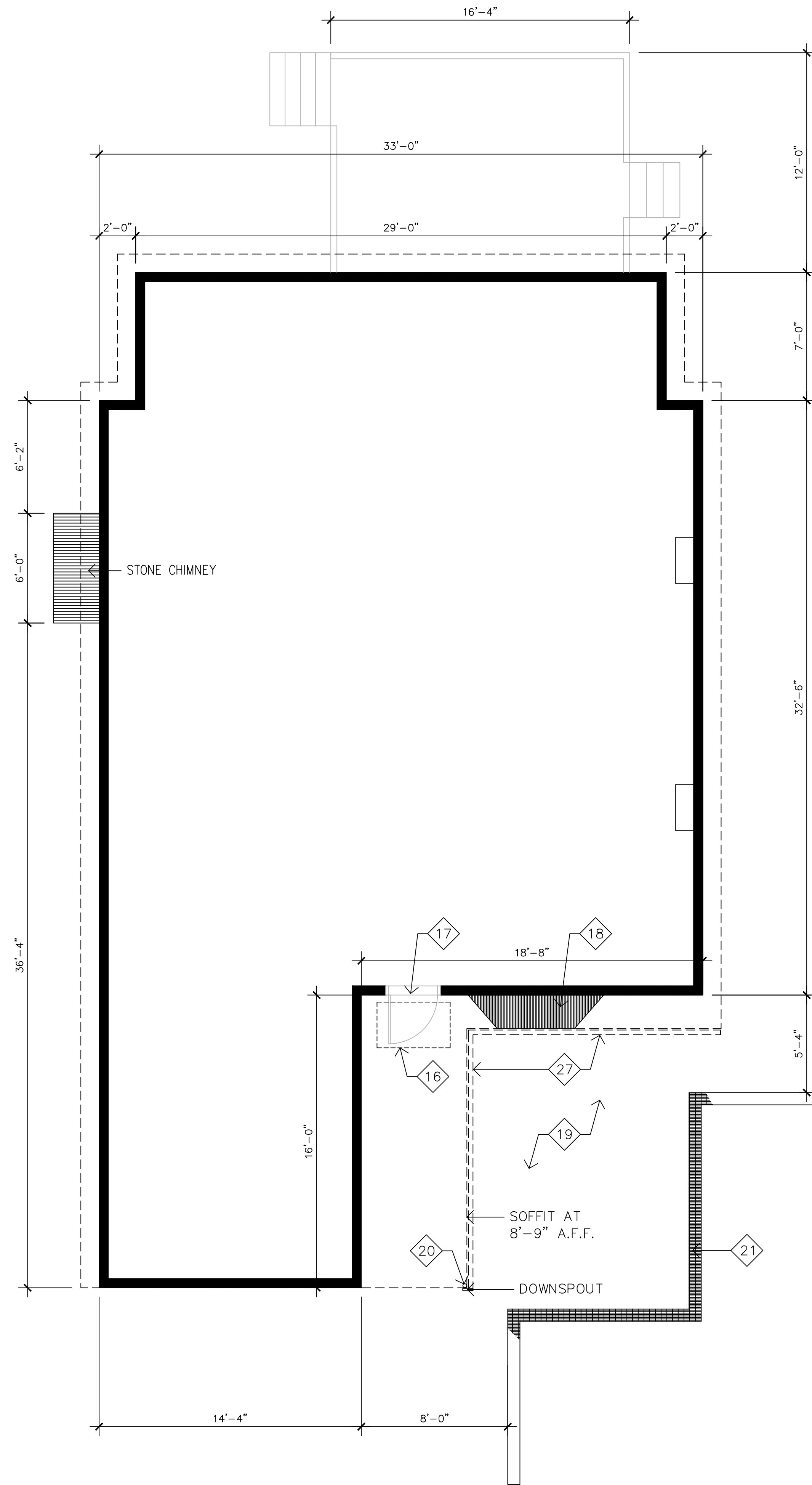
C DEMO BATHROOM PLAN
3/8"=1'-0"



B DEMO BASEMENT UTILITY ROOM PLAN
3/8"=1'-0"



D DEMO BASEMENT STAIR PLAN
1/2"=1'-0"




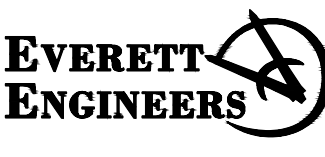
A DEMO PATIO PLAN
1/4"=1'-0"

DEMOLITION KEYNOTES:

- EXISTING LAVATORY TO REMAIN
- EXISTING WASHER & DRYER TO REMAIN
- REMOVE EXISTING PLASTIC TUB SURROUND AND WALL BOARD FROM TUB AREA
- REMOVE EXISTING TUB, FAUCET AND CONTROLS. REWORK EXISTING HOT AND COLD WATER PIPING AND DRAIN PIPING TO ACCOMMODATE NEW WHIRL POOL TUB.
- REMOVE EDGE OF TUB IN ITS ENTIRETY
- EXISTING WATER CLOSET TO REMAIN
- EXISTING ELECTRICAL PANEL TO REMAIN
- EXISTING SINK AND ASSOCIATED PIPING TO BE REMOVED, CUT BACK AND REWORKED AS NECESSARY TO ALLOW RELOCATION
- EXISTING WATER HEATER TO REMAIN
- THE ELECTRICAL SUBCONTRACTOR SHALL PERFORM THE FOLLOWING DEMOLITION WORK WITHIN THE EXISTING AREA DESIGNATED IN PREPARATION FOR THE NEW BATHROOM BY PROVIDING A COMPLETE FIELD SURVEY OF THE EXISTING ELECTRICAL OUTLETS & BRANCH CIRCUITRY WITHIN THE DEMOLITION AREA AS FOLLOWS:
 - CIRCUIT TRACE ALL EXISTING WIRING TO DETERMINE ITS ORIGIN, FUNCTION AND WHETHER THE CIRCUITRY IS ACTIVE OR HAS BEEN ABANDONED IN PLACE
 - REMOVE ABANDONED WIRING, OUTLET, ETC. IN THEIR ENTIRETY BACK TO THEIR SOURCE
 - MAINTAIN AND REROUTE EXISTING CIRCUITRY SERVING EQUIPMENT, OUTLETS, ETC. OUTSIDE OF THE DEMOLITION AREA
 - REMOVE DEDICATED CIRCUITRY AND OUTLETS WITHIN THE DEMOLITION AREA BACK TO EXISTING PANELBOARD.
- EXISTING GLASS BLOCK WINDOW TO REMAIN
- CLEAN AND ABRASE FLOOR SLAB AT NEW TOILET ROOM FOR NEW CERAMIC TILE
- CUT OPENING IN EXISTING WALL FOR NEW TOILET ROOM DOOR AND PROVIDE NEW FRAMING TO ACCEPT NEW DOOR.
- SCRAPE BARK FROM LOG FRAMING AT NEW TOILET ROOM CEILING
- REMOVE PARTICLE BOARD FROM INSIDE FACE OF WALL AT NEW TOILET ROOM
- G.C. TO REMOVE EXISTING METAL WALK OFF MAT
- EXISTING DOOR TO REMAIN
- EXISTING BAY WINDOW TO REMAIN
- G.C. TO REMOVE EXISTING CONCRETE PATIO TO IMPROVE DRAINAGE
- EXISTING PIPE COLUMN TO REMAIN
- G.C. TO RELOCATE EXISTING LOOSE LAID MASONRY RETAINING WALL TO INSTALL NEW DECK - SAVE FOR REINSTALLATION.
- EXISTING BASEMENT DOOR TO REMAIN
- REMOVE RIGID INSULATION FROM CEILING AND WALLS
- EXISTING WOOD STAIR TREADS TO REMAIN
- G.C. TO REMOVE EXISTING WOOD HANDRAIL AND BRACKETS
- LINE OF FOUNDATION WALL BELOW
- REMOVE EXISTING GUTTERS AND DOWNSPOUT
- REMOVE EXISTING WALL IN ITS ENTIRETY
- REMOVE EXISTING WINDOW IN ITS ENTIRETY. PREP AREA FOR INFILL.

Revisions:	Date
100% REVIEW SET	

CONSULTANTS:
 TOLMAN ENGINEERING, PLLC 3610 LAWSON ROAD JAMESTOWN, NEW YORK 14701 PHONE: (716) 484 - 1366 FAX: (716) 484 - 1519

ENGINEER:
 EVERETT ENGINEERS 44 State Street Middleport, NY 14105 Phone: 978-378-4686 Fax: 978-274-5568

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Drawing Title
DEMO FLOOR PLAN
Approved Project Director

Project Title
WESTFIELD HOME MODIFICATIONS
Location
WESTFIELD, NEW YORK
Date
06.04.12
Checked
RPB
Drawn
AN

Project Number
VA307-P-0006
Building Number
Drawing Number
A-100

Office of Facilities Management
 Department of Veterans Affairs

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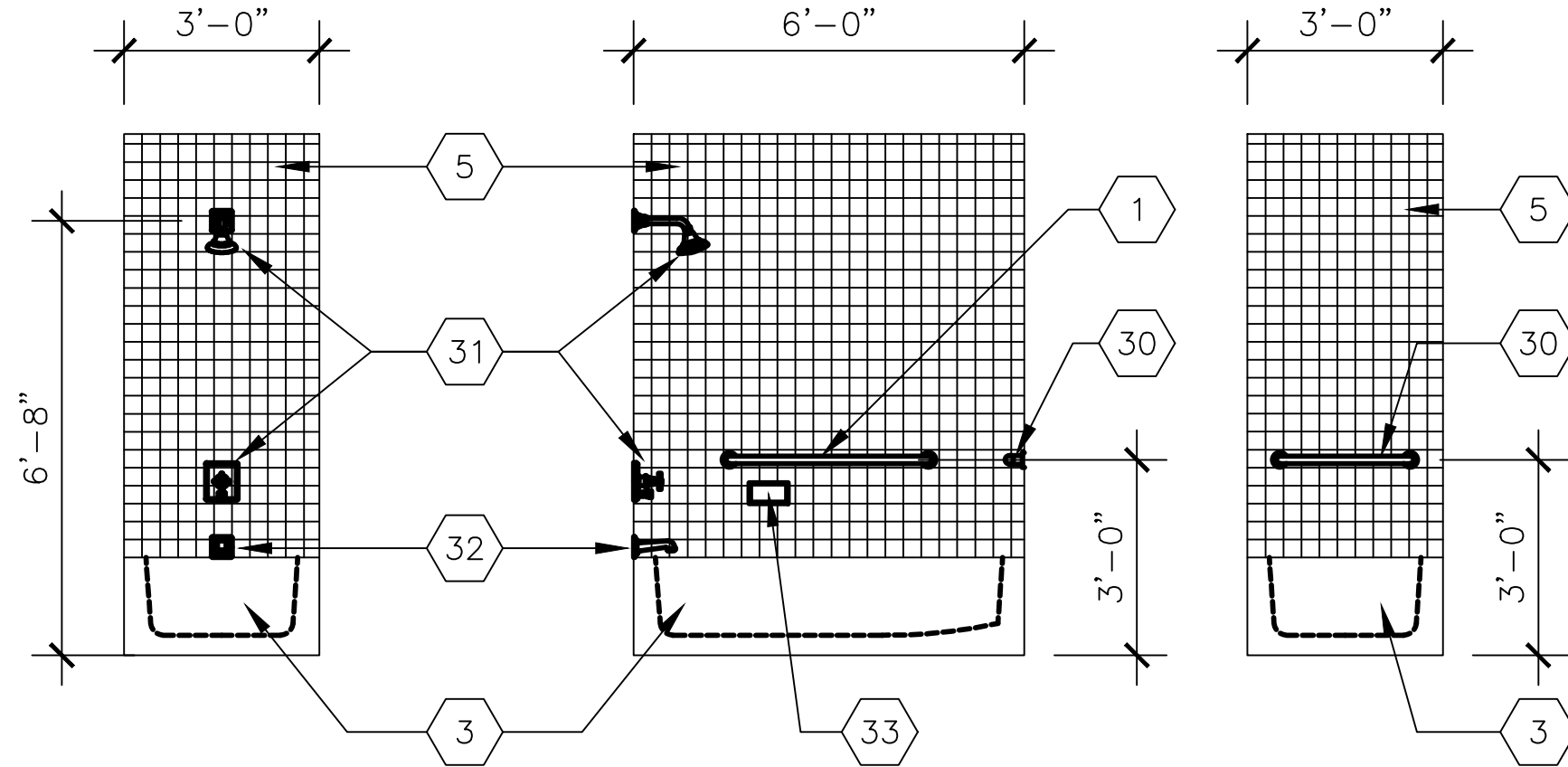
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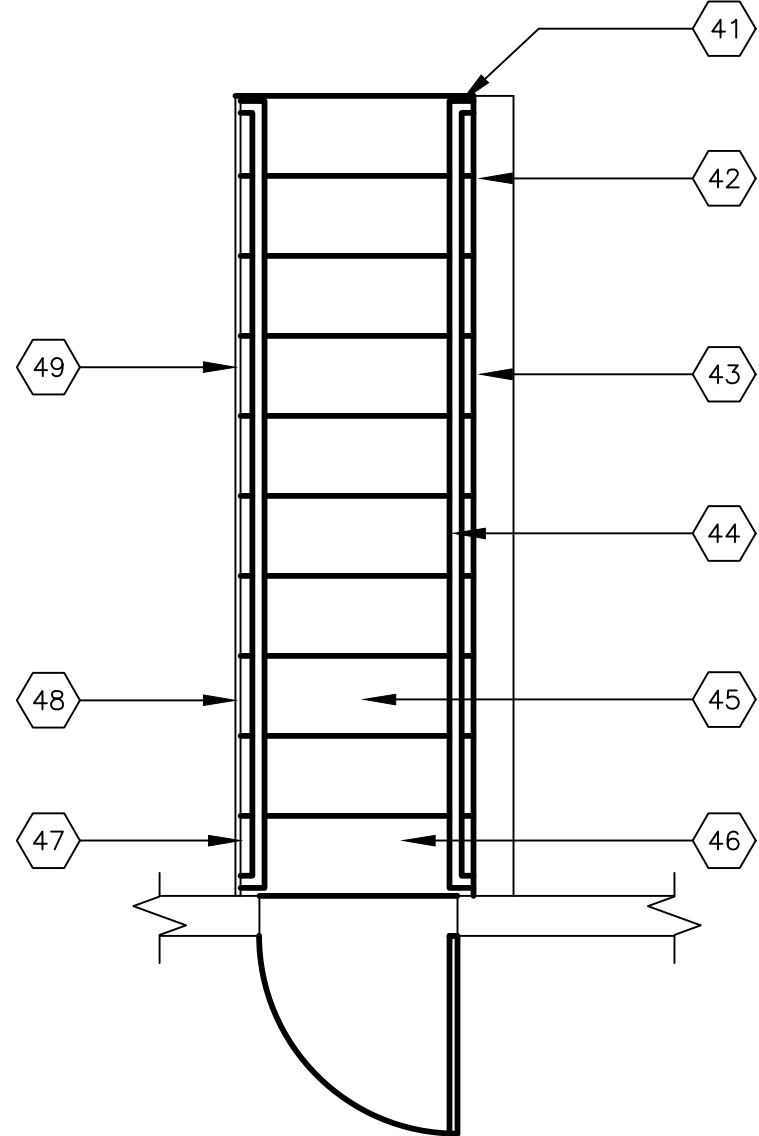
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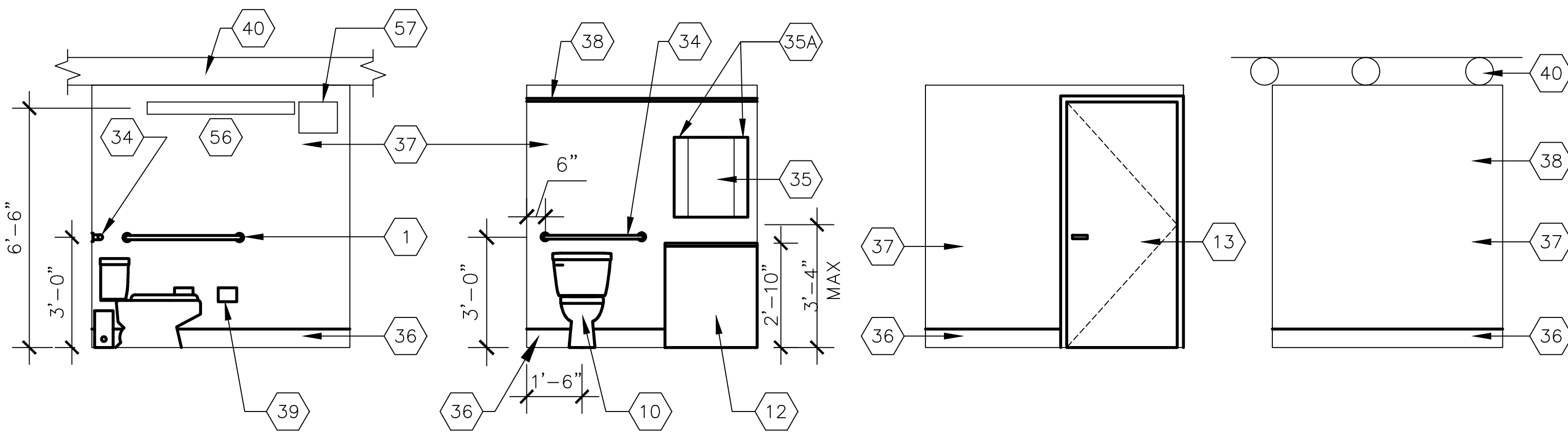
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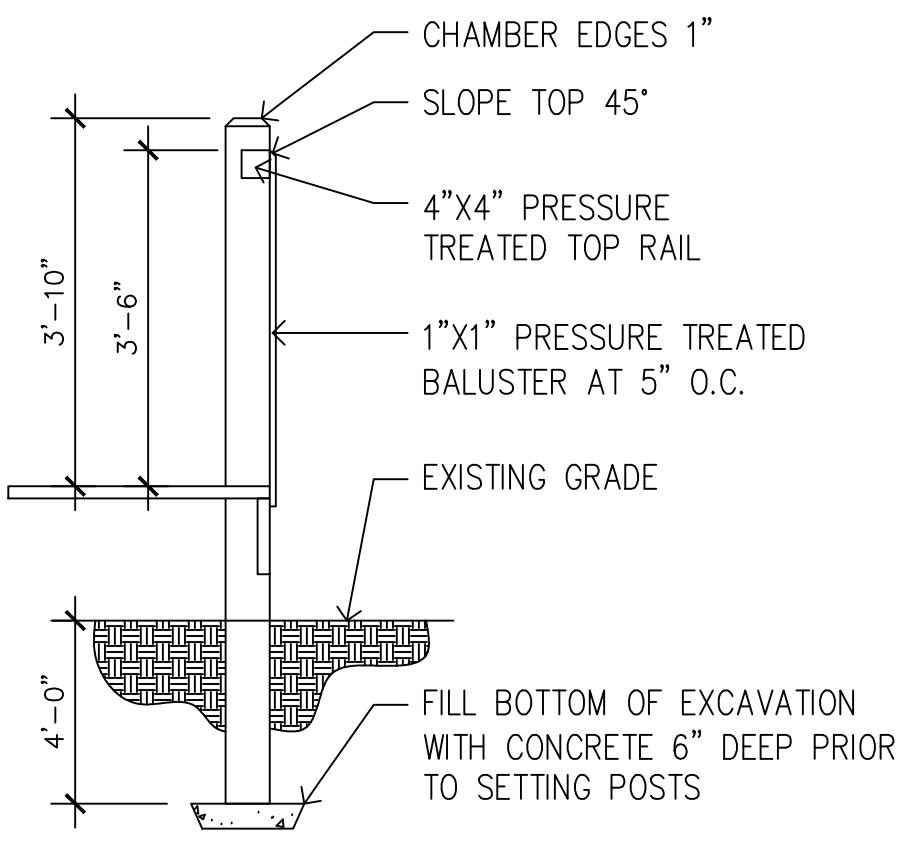
H NEW BATH TUB ELEVATIONS
3/8"=1'-0"



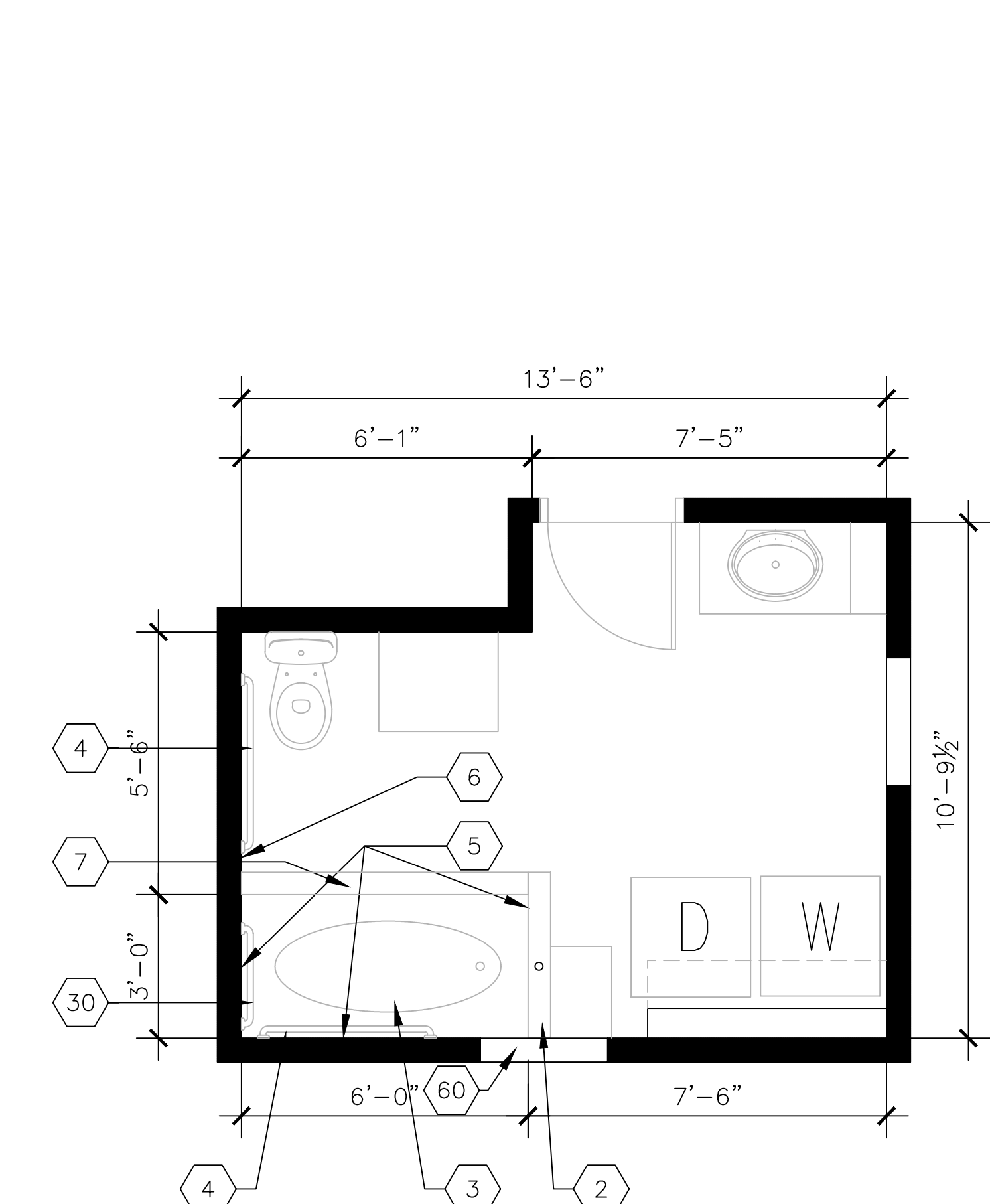
D NEW BASEMENT STAIR PLAN
1/2"=1'-0"



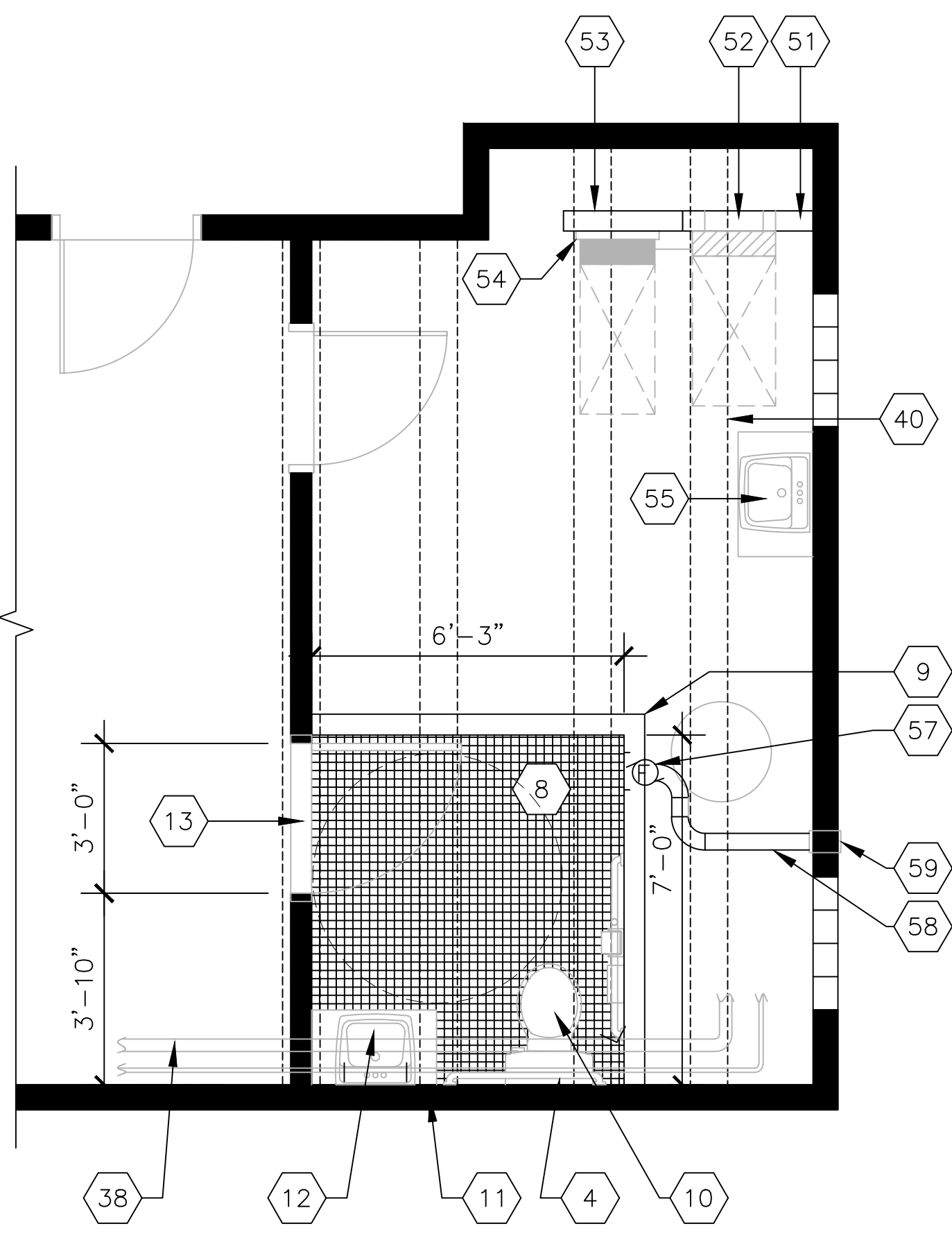
G NEW BATHROOM ELEVATIONS
3/8"=1'-0"



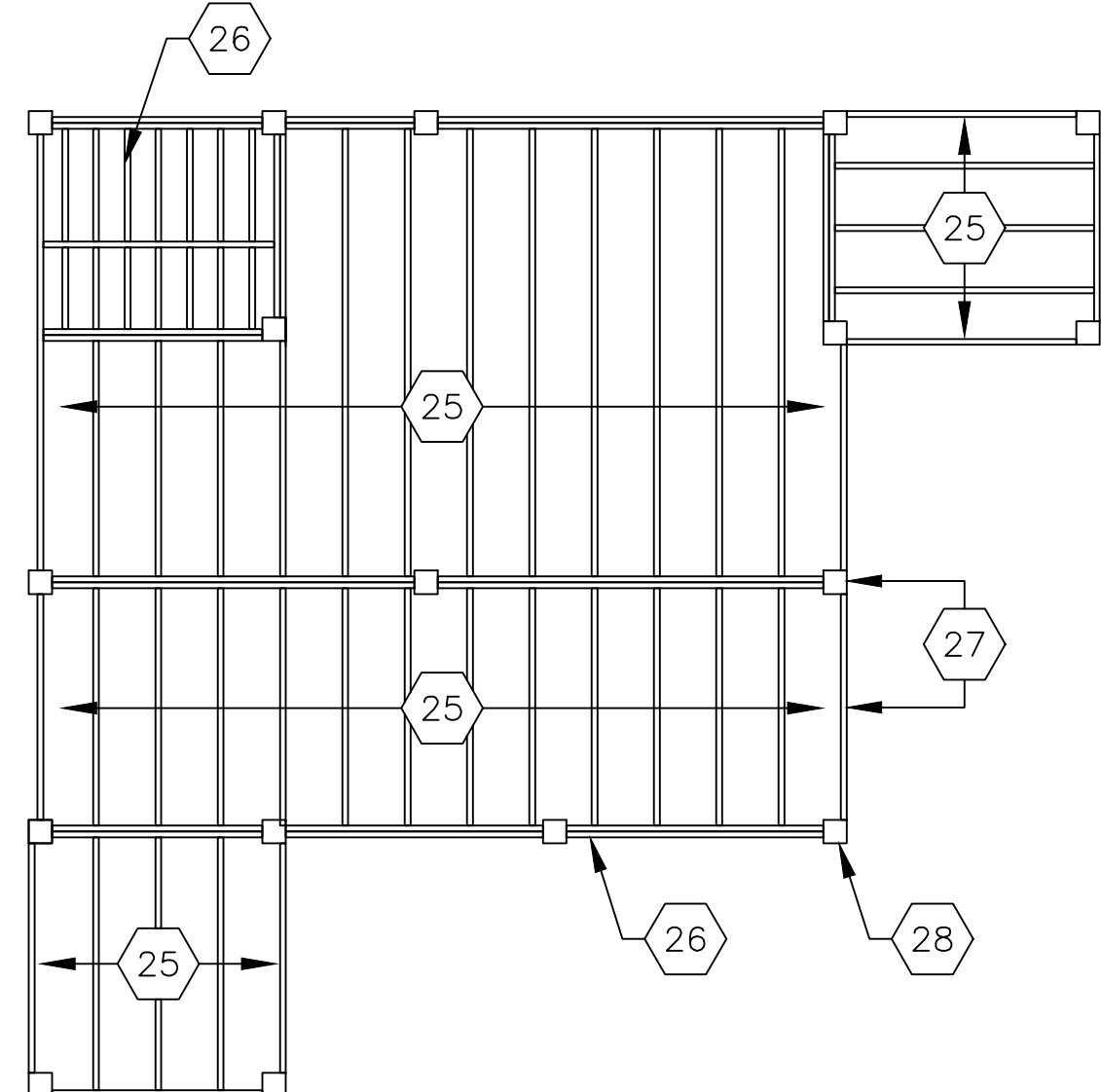
C GUARD POST DETAIL
1/2"=1'-0"



F NEW BATHROOM FLOOR PLAN
3/8"=1'-0"



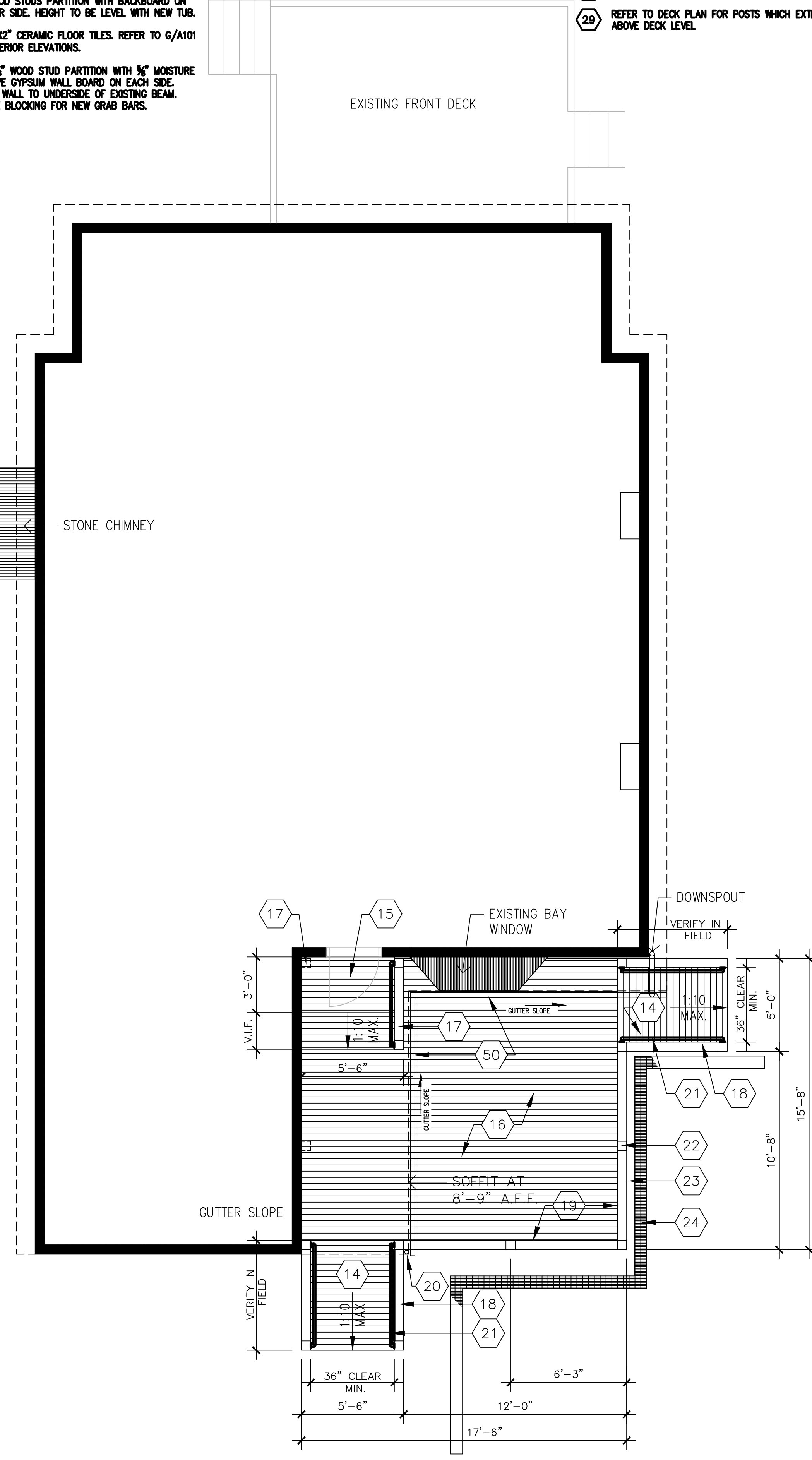
E NEW BASEMENT UTILITY ROOM PLAN
3/8"=1'-0"



B WOOD DECK FRAMING PLAN
1/4"=1'-0"

CONSTRUCTION KEYNOTES:

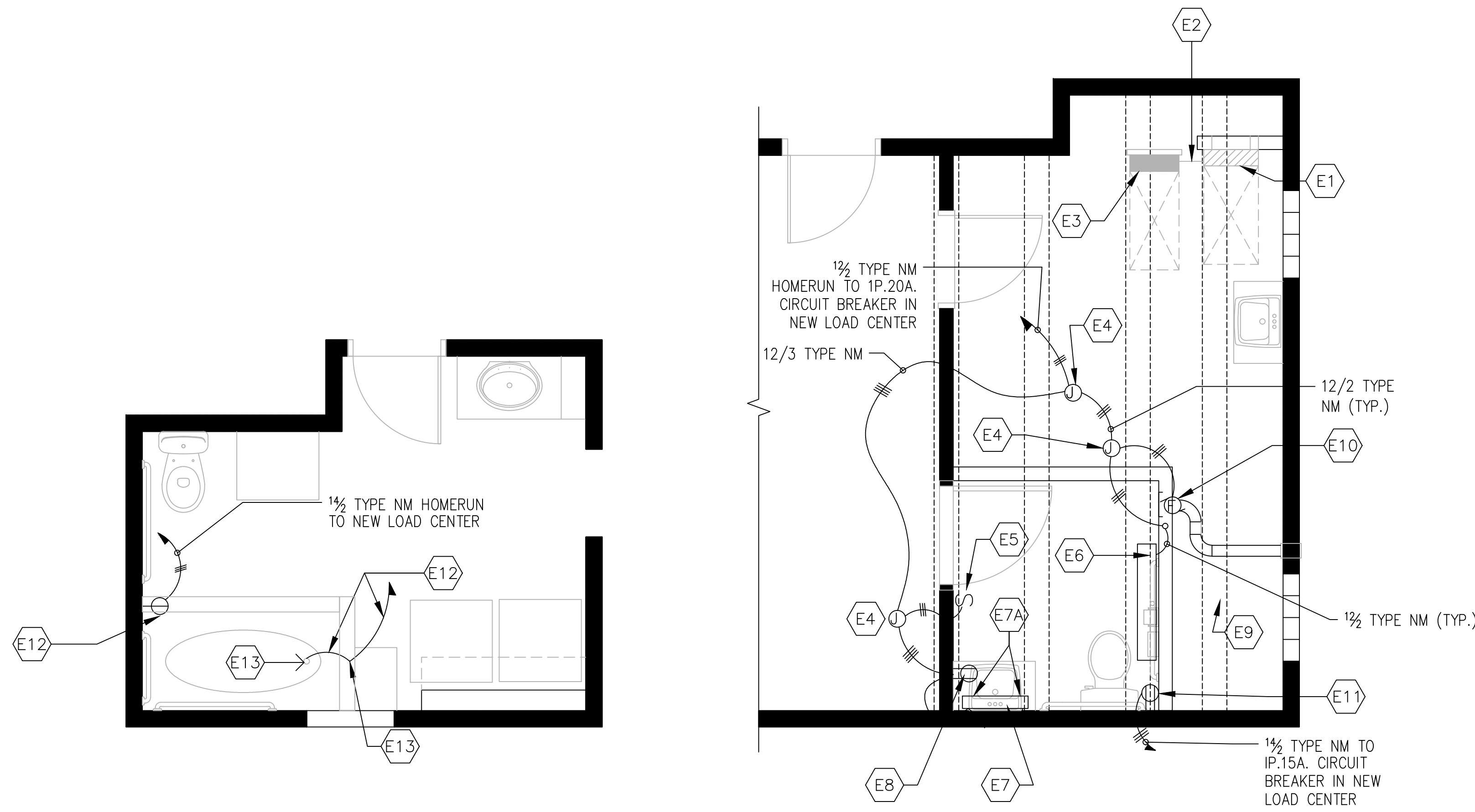
- NEW 42" GRAB BAR. INSTALL 36" A.F.F.
G.C. TO INSTALL SHOWER CONTROLS IN THIS NEW WALL. WALL TO BE CONSTRUCTED OF 2X6 WOOD STUD PARTITION WITH BACKBOARD ON TUB SIDE AND 3/4" MOISTURE RESISTIVE GYPSUM WALL BOARD ON THE OTHER. COORDINATE WITH LANDLORD FOR FINAL COLOR FINISHES FOR ALL NEW INTERIOR WALLS.
- NEW WHIRLPOOL TUB, AMERICAN STANDARD EVERCLEAN 6'X36" WHIRLPOOL WITH ANTIMICROBIAL WATER CIRCULATION SYSTEM AND NEW FAUCET, SHOWER HEAD AND CONTROLS.
- INSTALL WOOD BLOCKING AT NEW GRAB BAR LOCATIONS
- NEW 4X6X4M" CERAMIC WALL TILE ON NEW BACKER BOARD AT SURROUNDING TUB. REFER TO H/A101 FOR INTERIOR ELEVATIONS.
- G.C. TO REPAIR EXISTING WALL WITH NEW GYPSUM BOARD. THICKNESS TO MATCH EXISTING. VERIFY IN FIELD.
- NEW 12"X12" CERAMIC FLOOR TILE EDGE AT NEW WHIRLPOOL TUB. NEW EDGE TO BE CONSTRUCTED OF 2X6 WOOD STUDS PARTITION WITH BACKBOARD ON EXTERIOR SIDE. HEIGHT TO BE LEVEL WITH NEW TUB.
- NEW 2"X2" CERAMIC FLOOR TILES. REFER TO G/A101 FOR INTERIOR ELEVATIONS.
- NEW 3/4" WOOD STUD PARTITION WITH 3/4" MOISTURE RESISTIVE GYPSUM WALL BOARD ON EACH SIDE. EXTEND WALL TO UNDERSIDE OF EXISTING BEAM. PROVIDE BLOCKING FOR NEW GRAB BARS.
- NEW WATER CLOSET WITH PUMP KIT - CONNECT TO EXISTING OVERHEAD WASTE LINE.
- FUR OUT EXISTING MASONRY WALL AND FINISH WITH MOISTURE RESISTIVE GYPSUM BOARD
- NEW 30" WIDW VANITY WITH CULTURED MARBLE TOP
- NEW 3'-0"x6'-8" FLUSH WOOD DOOR AND FRAME IN EXISTING WALL. RESTORE WALL FINISH WITH GYPSUM BOARD AND PAINT DOOR, FRAME AND WALL.
- RAMP DOWN TO EXISTING GRADE. 1:10 MAXIMUM SLOPE. VERIFY IN FIELD LENGTH OF RAMP.
- NEW PRESSURE TREATED LEVEL PLATFORM WOOD DECKING. TOP OF NEW DECK TO BE 1/2" BELOW FLOOR LEVEL AT DOOR.
- NEW PRESSURE TREATED WOOD DECKING. TOP OF NEW DECK TO BE 12" BELOW FLOOR LEVEL.
- NEW 6"x6" PRESSURE TREATED WOOD POST BELOW. TYPICAL.
- NEW PRESSURE TREATED WOOD GUARD AT EACH SIDE OF RAMP
- NEW PRESSURE TREATED WOOD GUARD. TOP OF GUARD TO BE 42" ABOVE DECK SURFACE.
- EXISTING PIPE COLUMN TO REMAIN
- G.C. TO INSTALL A.D.A. NEW STEEL RAILING ON EACH SIDE OF NEW RAMP.
- G.C. TO INSTALL NEW 6"x6" PRESSURE TREATED WOOD POST. TOP OF POST TO BE 48" ABOVE DECK SURFACE. REFER TO C/A101 FOR DETAILS.
- G.C. TO PLACE 6" CRUSHED STONE BETWEEN DECK AND RETAINING WALL.
- G.C. TO REINSTALL MASONRY RETAINING WALL WHEN DECK CONSTRUCTION IS COMPLETED. MATCH EXISTING DECORATIVE PATTERN.
- PRESSURE TREATED 2"x10" AT 16" O.C.
- TWO (2) PRESSURE TREATED 2"x10". TYPICAL
- PROVIDE OVER FRAMING AT LANDING AND RAMP
- ALIGN OUTER FRAMING MEMBERS WITH EDGE OF POSTS
- REFER TO DECK PLAN FOR POSTS WHICH EXTENDED ABOVE DECK LEVEL.
- NEW 24" GRAB BAR. INSTALL 36" A.F.F.
- NEW SHOWER HEAD AND CONTROL.
- NEW SHOWER SPOUT
- NEW CERAMIC TILE SOAP DISH
- NEW 36" GRAB BAR. INSTALL 36" A.F.F.
- G.C. TO INSTALL NEW 15"WX28"H RECESSED LIGHTED MEDICINE CABINET OVER VANITY, FURNISHED BY THE ELECTRICAL CONTRACTOR. PROVIDE MISCELLANEOUS FRAMING AS NECESSARY.
- FLUORESCENT SIDE LIGHTS FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR
- G.C. TO INSTALL NEW 6" CERAMIC TILE BASE
- G.C. TO PAINT WALLS AND CEILING WITH LATEX PRIMER AND FINISH PAINT CEILING TO BE FLAT WHITE. WALLS TO BE EGGSHELL FINISH COLOR TO BE SELECTED BY OWNER.
- PAINT ANY EXISTING WIRING OR PIPING TO REMAIN
- G.C. TO FURNISH AND INSTALL NEW TOILET TISSUE DISPENSER
- EXISTING LOG FRAMING ABOVE TO REMAIN
- RETURN HANDRAILS TO WALL AT TOP AND BOTTOM
- NEW FIBERGLASS BATT INSULATION AT WALL CAVITY
- FUR OUT WALL ABOVE FIRST FLOOR LEVEL WITH WOOD FURRING AND 5/8" GYPSUM BOARD SO FACE OF NEW GYPSUM ALIGNS WITH FACE OF FOUNDATION WALL BELOW
- NEW MAPLE WOOD HANDRAIL ON BOTH SIDES WITH METAL WALL BRACKETS. 4 PER SIDE. MOUNT HANDRAIL 36" ABOVE STAR NOSING.
- INSTALL FIBERGLASS BATT INSULATION AT STAIR CEILING AND FINISH WITH 5/8" GYPSUM BOARD DOWN TO FIRST FLOOR LEVEL
- PRIME AND PAINT NEW WALLS AND CEILING AT STAIRS WITH LATEX PAINT
- RELOCATE LIGHT SWITCH TO FACE OF NEW PARTITION. PROVIDE NEW COVER PLATE
- INSTALL WOOD BLOCK FOR NEW HANDRAIL BRACKETS
- FINISH WALL AT STAIRS WITH NEW 5/8" GYPSUM BOARD
- INSTALL NEW 5" ALUMINUM WHITE CONTINUOUS GUTTER AND DOWNSPOUT. CONNECT DOWNSPOUT TO FOUNDATION DRAIN. SEE CIVIL DRAWINGS.
- EXISTING BACKBOARD AND WOOD FRAMING SUPPORTING PANELBOARD FROM CEILING STRUCTURE
- NEW 2X4 WOOD STUDS, BASE PLATE AND TOP PLATE SISTERED TO EXISTING PANEL FRAMING TO PROVIDE RIGID SUPPORT SYSTEM
- NEW 2X4 WOOD STUD FRAMING FROM FLOOR TO STRUCTURE ABOVE FOR NEW ELECTRICAL LOAD CENTER
- NEW 3/4" FINISHED GRADE INTERIOR PLYWOOD BACKBOARD FOR NEW ELECTRICAL LOAD CENTER
- RELOCATE EXISTING LAVATORY TO PROVIDE A MINIMUM OF 3'-0" CLEARANCE FROM THE EXISTING ELECTRICAL PANELBOARD
- NEW LINEAR FLUORESCENT FIXTURE PROVIDED BY ELECTRICAL CONTRACTOR
- NEW BATHROOM WALL FAN FURNISHED AND WIRED BY ELECTRICAL CONTRACTOR. INSTALLED BY GENERAL CONTRACTOR.
- NEW 4" ROUND STEEL DUCT BY GENERAL CONTRACTOR
- NEW 4" ALUMINUM WALL CAP WITH BIRD SCREEN/DAMPER BY GENERAL CONTRACTOR. NUTONE, JESSAL OR APPROVED EQUAL. CORE DRILL AND SEAL FOUNDATION WALL.
- G.C. TO INFILL EXISTING WINDOW OPENING. MATCH AND ALIGN INFILL WITH ADJACENT FINISHES INCLUDING EXTERIOR SIDING. PAINT ALL NEW INTERIOR WALL SURFACES.



A NEW DECK PLAN
1/4"=1'-0"

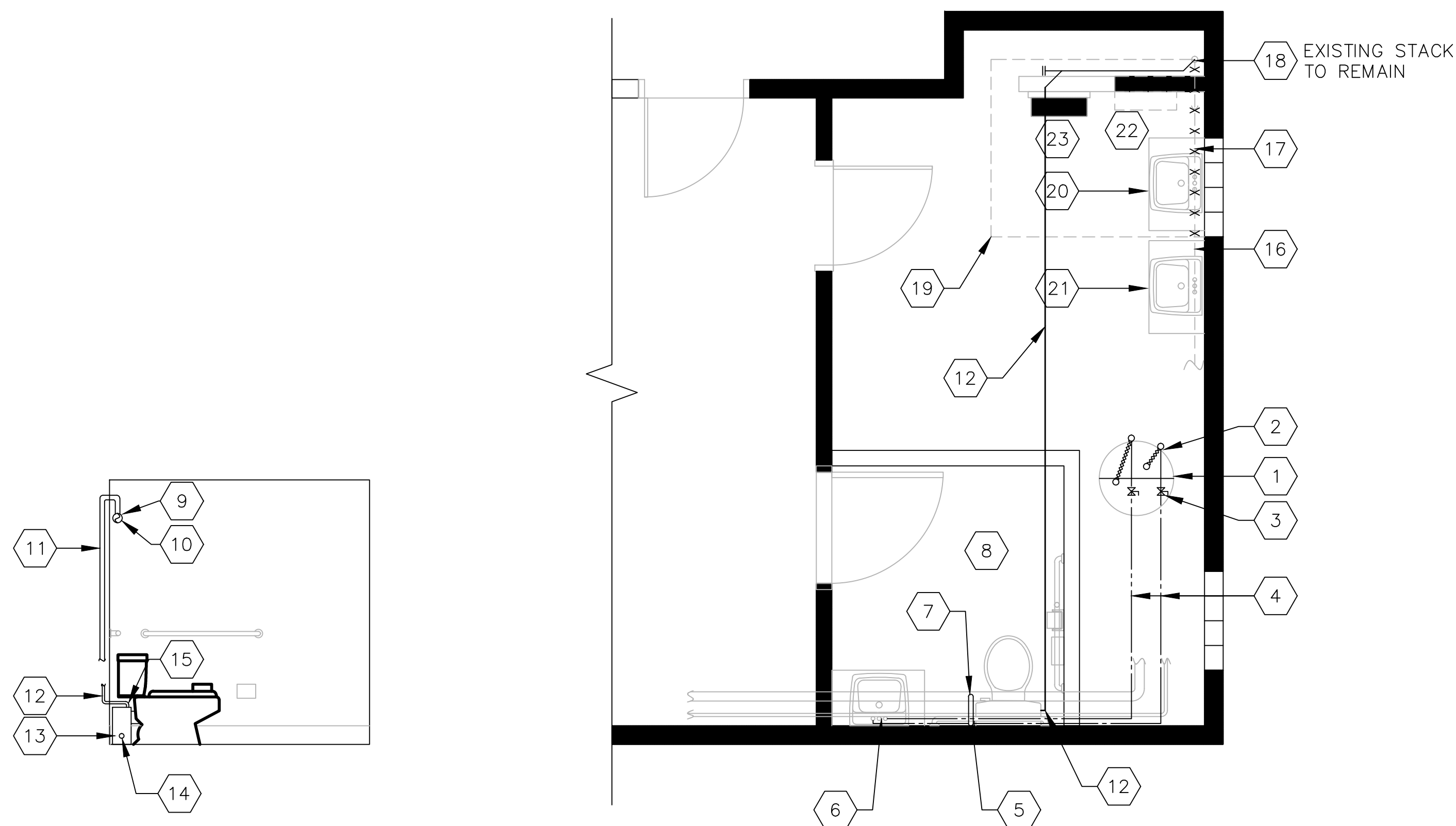
Revisions: 100% REVIEW SET	Date	CONSULTANTS: TOLMAN ENGINEERING, PLLC 3610 LAWSON ROAD JAMESTOWN, NEW YORK 14701 PHONE: (716) 484 - 1366 FAX: (716) 484 - 1519	ENGINEER: EVERETT ENGINEERS 44 State Street Middleport, NY 14105 Phone: 978-378-4686 Fax: 978-274-5568	Drawing Title NEW FLOOR PLAN	Project Title WESTFIELD HOME MODIFICATIONS	Project Number VA307-P-0006	Office of Facilities Management
				Approved Project Director	Location WESTFIELD, NEW YORK	Building Number	
					Date 06.04.12	Drawing Number A-101	
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C LOWER FLOOR BATHROOM ELECTRICAL PLAN
3/8"=1'-0"

D BASEMENT BATHROOM ELECTRICAL PLAN
3/8"=1'-0"



B MACERATING WATER CLOSET ELEVATION
3/8"=1'-0"

A NEW BASEMENT UTILITY ROOM PLAN
3/8"=1'-0"

ELECTRICAL KEYNOTES:

- EXISTING 10KVA 100A 120/240V P-3W ELECTRICAL PANELBOARD REMOVE CIRCUITS 1&3 (1P.15A, 1P.20A) AND RELOCATE TO NEW LOAD CENTER. PROVIDE NEW 2P.40A CIRCUIT BREAKER IN EXISTING PANEL IN POSITIONS 1 & 3. PROVIDE NEW 2/C #8AWG NM WITH GROUND SUBFEEDER TO NEW LOAD CENTER. REVISE PANELBOARD DIRECTORY.
- NEW SUBFEEDER
- NEW 10KVA 60A 120/240V P-3W+G COPPER BUSSED 12 CIRCUIT MAIN LUGS ONLY LOAD CENTER WITH PLUG-IN BRANCH CIRCUIT BREAKERS
- 1-1P.20A. BASEMENT BATHROOM LIGHTING/OUTLET/FAN
- 1-1P.15A. BASEMENT BATHROOM WATER CLOSET PUMP
- 1-1P.15A. 1ST FLOOR WHIRLPOOL TUB PUMP MOTOR
- 1-1P.20A. EXISTING RECEPTACLE CIRCUIT #1 RELOCATED FROM MAIN PANELBOARD
- 1-1P.15A. EXISTING RECEPTACLE CIRCUIT #3 RELOCATED FROM MAIN PANELBOARD
- 1-1P.15A. SPARE
- 1-1P.20A. SPARE
- 5-1P. SPACES

LEGEND:

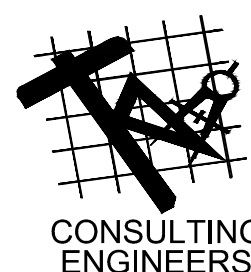
- SANITARY PIPING
- DOMESTIC HOT WATER SUPPLY LINE
- DOMESTIC COLD WATER SUPPLY LINE
- VENT PIPING
- PIPE TURNING UP
- PIPE TURNING DOWN
- TEE TURNING UP
- TEE TURNING DOWN
- HANDICAPPED ACCESSIBLE FIXTURE
- FLOOR CLEAN OUT
- FLOOR DRAIN
- TRAP

PLUMBING KEYNOTES:

- 1 EXISTING HOT WATER HEATER
- 2 EXISTING COLD WATER AND HOT WATER PIPING
- 3 INSTALL TEES AND 1/2" BALL VALVE
- 4 1/2" TYPE L COPPER TUBING TO NEW WATER CLOSET AND LAVATORY
- 5 INSTALL COPPER TUBING, 1/4" TURN SHUTOFF AND FLEXIBLE HOSE TO WATER CLOSET.
- 6 INSTALL COPPER COLD WATER AND HOT WATER TUBING, SHUTOFF VALVES AND FLEXIBLE HOSES TO FAUCET.
- 7 INSTALL 1 1/2" SCH 40 PVC FROM LAVATORY DRAIN TO MACERATOR TANK
- 8 REFER DETAIL B, THIS DRAWING, FOR ELEVATIONS AND DETAILS OF WATER CLOSET VENT AND DRAIN
- 9 INSTALL 3"x3"x1 1/2" TEE AND CONNECT TANK VENT
- 10 EXISTING 3" PVC DRAIN/VENT
- 11 NEW 1 1/2" SCH 40 PVC VENT
- 12 NEW 1" SCH 40 PVC PUMP DISCHARGE ROUTE PIPING TO CEILING LEVEL AND CONNECT TO EXISTING HOUSE DRAIN.
- 13 MACERATOR TANK AND PUMP, SANIFLO SANPLUS OR APPROVED EQUAL
- 14 1 1/2" INLET FROM LAVATORY
- 15 3/4" PUMP DISCHARGE OUTLET
- 16 EXISTING PORTION OF PVC VENT PIPING TO REMAIN AS-IS
- 17 EXISTING PORTION OF PVC VENT PIPING TO BE REMOVED
- 18 REMOVE EXISTING T-Y FITTING AND REPLACE WITH NEW TO ALLOW VENT PIPE TO BE RELOCATED AS SHOWN
- 19 NEW VENT PIPE, CONNECTED TO EXISTING PIPING SHOWN
- 20 EXISTING SINK TO BE DISCONNECTED AND RELOCATED, EXISTING HOT WATER, COLD WATER AND DRAIN PIPING TO BE DISCONNECTED, REMOVED, REWORKED AND RE-PIPED TO NEW SINK LOCATION.
- 21 NEW LOCATION OF EXISTING SINK
- 22 EXISTING ELECTRICAL PANEL TO REMAIN AS IS
- 23 NEW ELECTRICAL LOAD CENTER, FRAMING AND PLYWOOD BACKSBOARD.

Revisions:	Date
100% REVIEW SET	

CONSULTANTS:



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3610 LAWSON ROAD
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Drawing Title

PLUMBING AND ELECTRICAL
NEW WORK

Approved Project Director

Project Title

WESTFIELD HOME
MODIFICATIONS

Location

WESTFIELD, NEW YORK

Date

06.04.12

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Project Number

VA307-P-0006

Building Number

Drawing Number

P-100

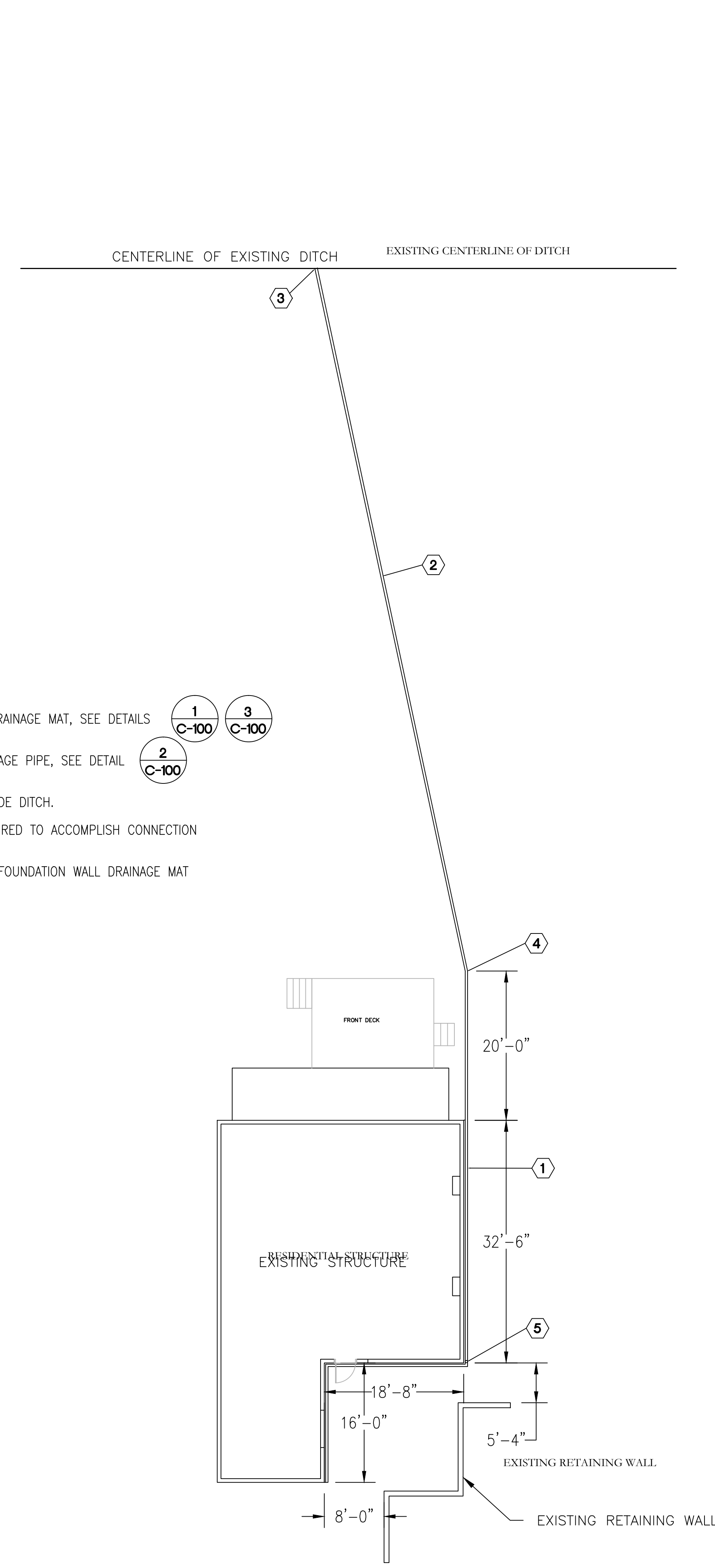
Office of
Facilities
Management



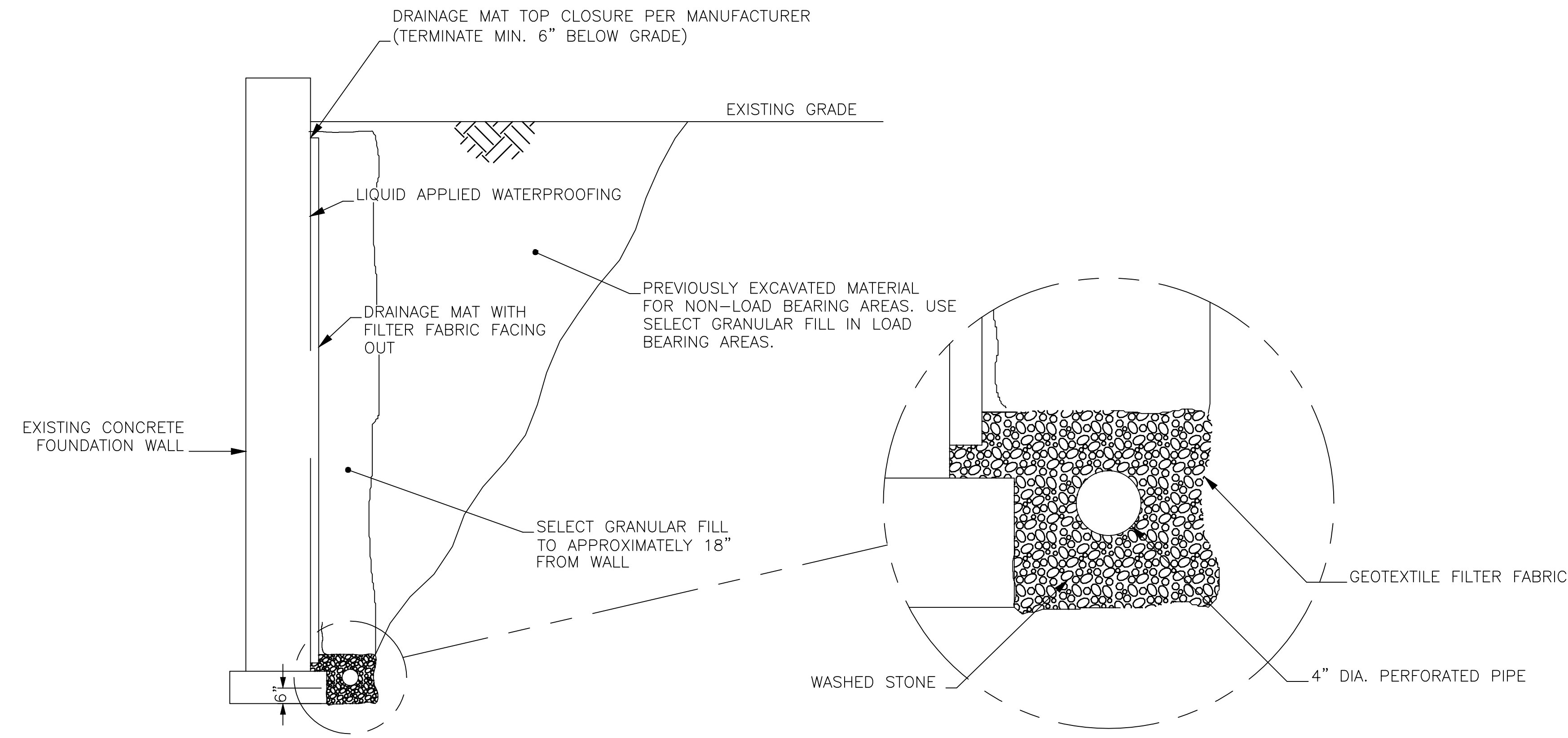
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PLAN NOTES:

- 1
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- 5
C-100
1. CONSTRUCT FOUNDATION WALL DRAINAGE MAT, SEE DETAILS
 2. CONSTRUCT 4" SOLID PVC DRAINAGE PIPE, SEE DETAIL
 3. CONSTRUCT 4" DRAIN TO ROADSIDE DITCH.
 4. CONSTRUCT PIPE BEND AS REQUIRED TO ACCOMPLISH CONNECTION TO ROADSIDE DITCH.
 5. CONNECT ROOF DOWNSPOUT TO FOUNDATION WALL DRAINAGE MAT AS PER MANUFACTURER OF MAT.



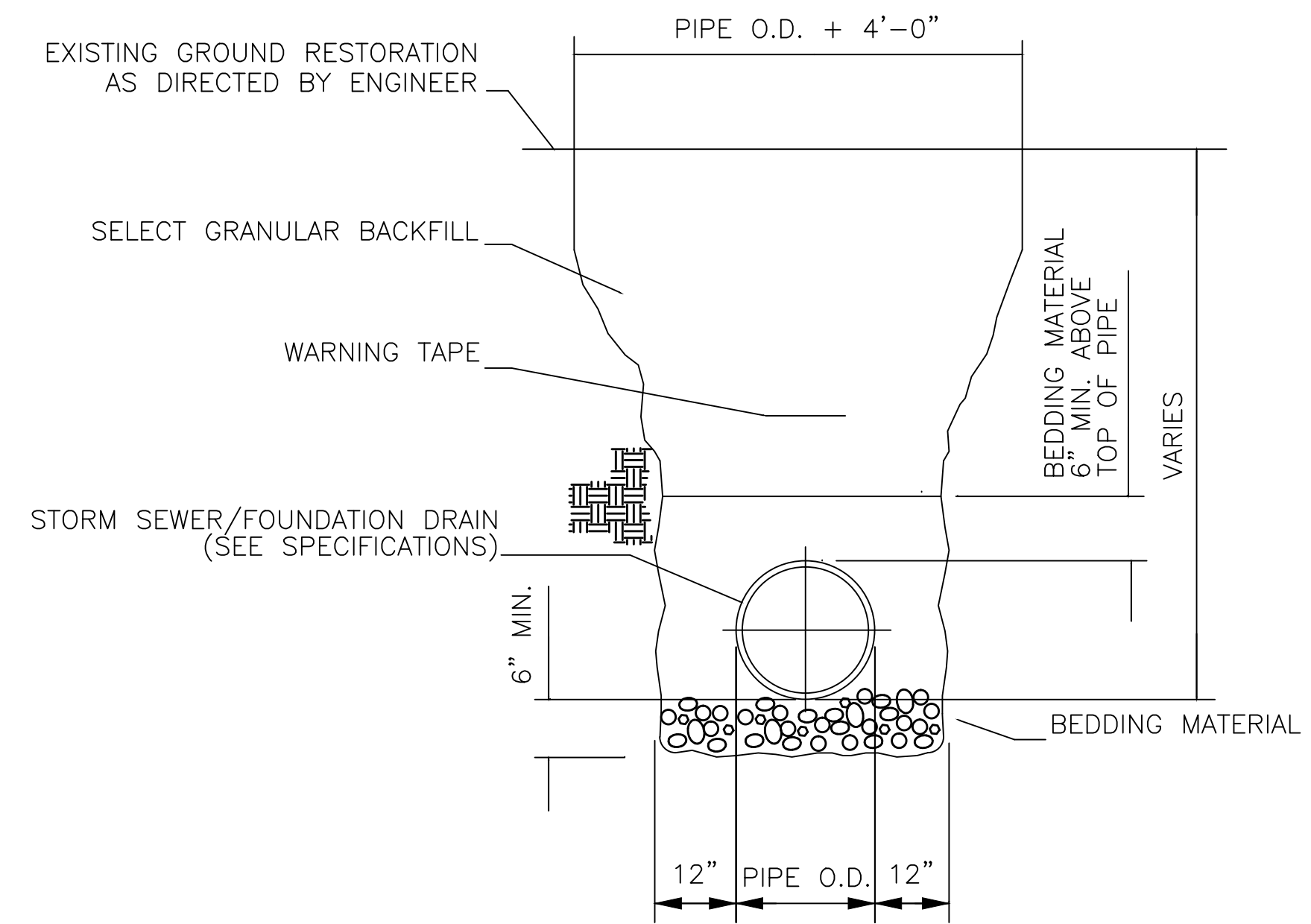
GENERAL BUILDING PLAN WITH FOUNDATION DRAIN
SCALE: 1" = 10'-0"



NOTES:

1. REMOVE SHARP EDGES, CLEAN, AND PARGE EXTERIOR OF CONCRETE WALL BEFORE APPLYING WATERPROOFING MEMBRANE.
2. EXPOSED SIDES OF DRAINAGE MAT SHALL BE CLOSED AS RECOMMENDED BY THE MANUFACTURER.
3. PERFORATED PIPE SHALL BE SET WITH INVERT 6" BELOW FIRST FLOOR ELEVATION.
4. CONSTRUCT FOUNDATION WALL DRAINAGE MAT AS PER MANUFACTURER.

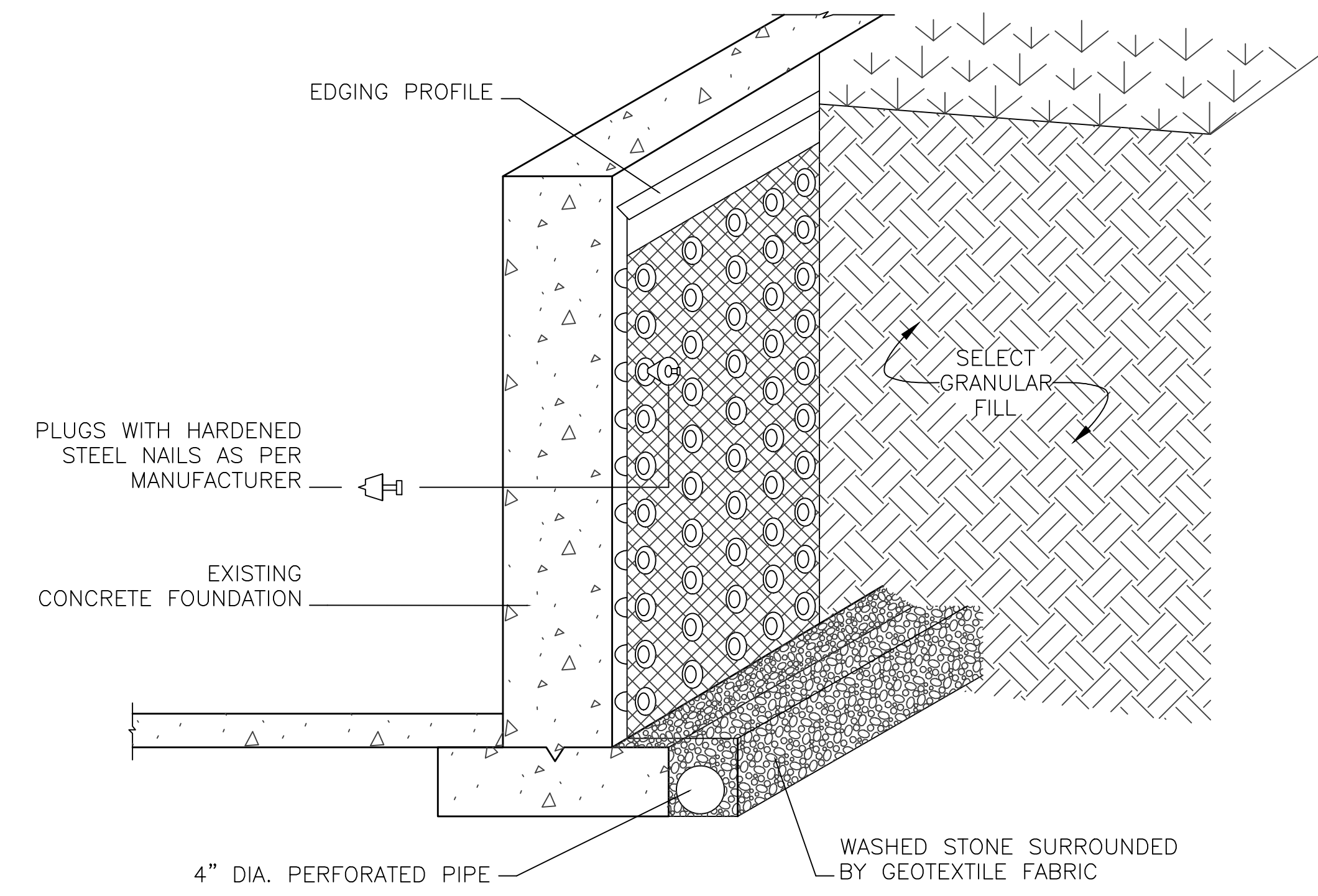
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NTS
FOUNDATION WALL WATERPROOFING AND DRAINAGE DETAIL






NOTES:

1. USE TEMPORARY SHEETING/TRENCH BOX WHERE REQUIRED.
2. CONTRACTOR SHALL SLOPE DRAIN TO DISCHARGE TO EXISTING ROADSIDE DITCH.

2
C-100
NTS
TYPICAL TRENCH DETAIL



3
C-100
NTS
FOUNDATION WALL WATERPROOFING AND DRAINAGE DETAIL

Revisions:		Date	CONSULTANTS:		ENGINEER:		Drawing Title		Project Title		Project Number		Office of Facilities Management	
100% REVIEW SET			<div><div>TOLMAN ENGINEERING, PLLC</div><div>3610 LAWSON ROAD JAMESTOWN, NEW YORK 14701 PHONE: (716) 484 - 1366 FAX: (716) 484 - 1519</div></div> <div><div>EVERETT ENGINEERS</div><div>44 State Street Middleport, NY 14105 Phone: 978-378-4686 Fax: 978-274-5568</div></div>		FOUNDATION DRAINAGE PLAN AND DETAILS		WESTFIELD HOME MODIFICATIONS		VA307-P-0006					
					Approved Project Director		Location		Building Number					
							WESTFIELD, NEW YORK							
							Date		Checked		Drawing Number C-100			
							06.04.12		MEW					
									EHA					
											 Department of Veterans Affairs			