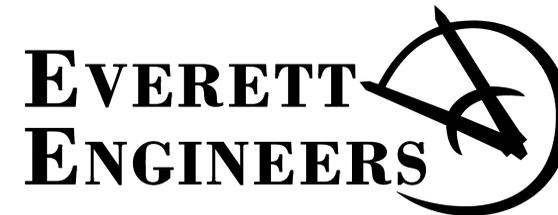


WESTFIELD HOME MODIFICATIONS

8365 HARDSCRABBLE ROAD
WESTFIELD NY
VETERAN'S BENEFITS ADMINISTRATION
PROJECT NO. VA307-P-0006

JUNE 4, 2012

CONSULTING ARCHITECTS/ENGINEERS



44 State Street
Middleport, NY

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DRAWING NO.

A-100
A-101
P-100
C-100

TITLE BLOCK

COVER SHEET
DEMO FLOOR PLAN
NEW FLOOR PLAN
PLUMBING AND ELECTRICAL NEW WORK
FOUNDATION DRAINAGE PLAN AND DETAILS

100% DESIGN REVIEW SUBMITTAL

A

B

C

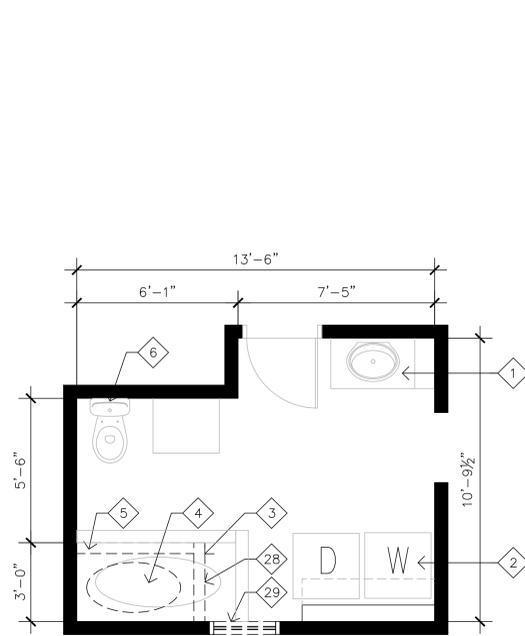
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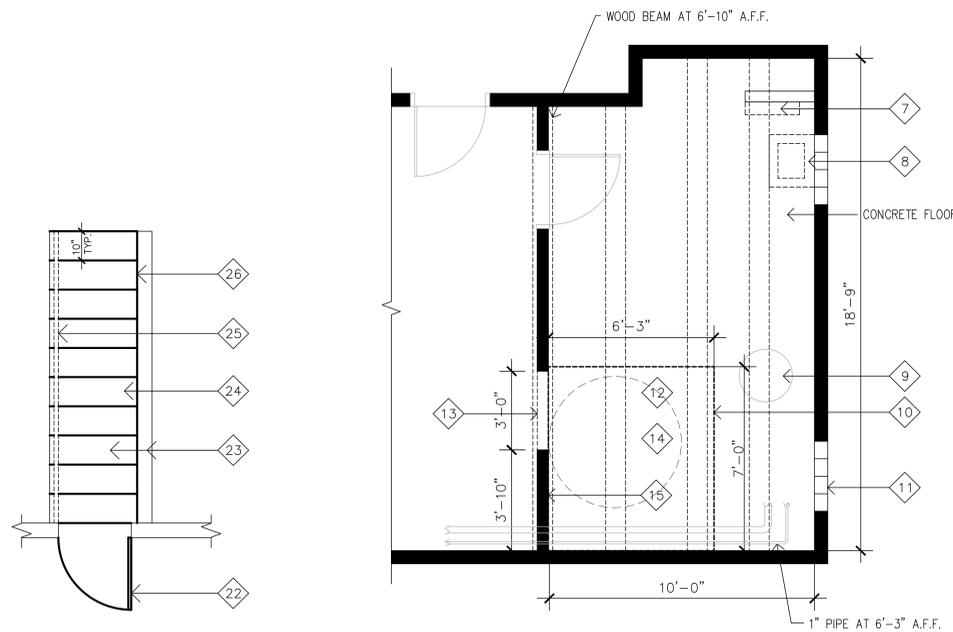
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DEMOLITION KEYNOTES:

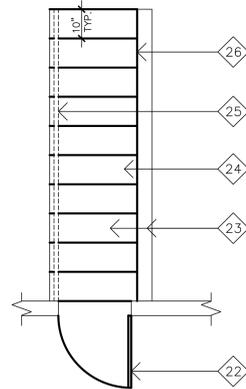
- 1 EXISTING LAVATORY TO REMAIN
- 2 EXISTING WASHER & DRYER TO REMAIN
- 3 REMOVE EXISTING PLASTIC TUB SURROUND AND WALL BOARD FROM TUB AREA
- 4 REMOVE EXISTING TUB, FAUCET AND CONTROLS. REWORK EXISTING HOT AND COLD WATER PIPING AND DRAIN PIPING TO ACCOMMODATE NEW WHIRL POOL TUB.
- 5 REMOVE EDGE OF TUB IN ITS ENTIRETY
- 6 EXISTING WATER CLOSET TO REMAIN
- 7 EXISTING ELECTRICAL PANEL TO REMAIN
- 8 EXISTING SINK AND ASSOCIATED PIPING TO BE REMOVED, CUT BACK AND REWORKED AS NECESSARY TO ALLOW RELOCATION
- 9 EXISTING WATER HEATER TO REMAIN
- 10 THE ELECTRICAL SUBCONTRACTOR SHALL PERFORM THE FOLLOWING DEMOLITION WORK WITHIN THE EXISTING AREA DESIGNATED IN PREPARATION FOR THE NEW BATHROOM BY PROVIDING A COMPLETE FIELD SURVEY OF THE EXISTING ELECTRICAL OUTLETS & BRANCH CIRCUITRY WITHIN THE DEMOLITION AREA AS FOLLOWS:
 - CIRCUIT TRACE ALL EXISTING WIRING TO DETERMINE ITS ORIGIN, FUNCTION AND WHETHER THE CIRCUITRY IS ACTIVE OR HAS BEEN ABANDONED IN PLACE
 - REMOVE ABANDONED WIRING, OUTLET, ETC. IN THEIR ENTIRETY BACK TO THEIR SOURCE
 - MAINTAIN AND REROUTE EXISTING CIRCUITRY SERVING EQUIPMENT, OUTLETS, ETC. OUTSIDE OF THE DEMOLITION AREA
 - REMOVE DEDICATED CIRCUITRY AND OUTLETS WITHIN THE DEMOLITION AREA BACK TO EXISTING PANELBOARD.
- 11 EXISTING GLASS BLOCK WINDOW TO REMAIN
- 12 CLEAN AND ABRASIVE FLOOR SLAB AT NEW TOILET ROOM FOR NEW CERAMIC TILE
- 13 CUT OPENING IN EXISTING WALL FOR NEW TOILET ROOM DOOR AND PROVIDE NEW FRAMING TO ACCEPT NEW DOOR.
- 14 SCRAPE BARK FROM LOG FRAMING AT NEW TOILET ROOM CEILING
- 15 REMOVE PARTICLE BOARD FROM INSIDE FACE OF WALL AT NEW TOILET ROOM
- 16 G.C. TO REMOVE EXISTING METAL WALK OFF MAT
- 17 EXISTING DOOR TO REMAIN
- 18 EXISTING BAY WINDOW TO REMAIN
- 19 G.C. TO REMOVE EXISTING CONCRETE PATIO TO IMPROVE DRAINAGE
- 20 EXISTING PIPE COLUMN TO REMAIN
- 21 G.C. TO RELOCATE EXISTING LOOSE LAD MASONRY RETAINING WALL TO INSTALL NEW DECK - SAVE FOR REINSTALLATION.
- 22 EXISTING BASEMENT DOOR TO REMAIN
- 23 REMOVE RIGID INSULATION FROM CEILING AND WALLS
- 24 EXISTING WOOD STAIR TREADS TO REMAIN
- 25 G.C. TO REMOVE EXISTING WOOD HANDRAIL AND BRACKETS
- 26 LINE OF FOUNDATION WALL BELOW
- 27 REMOVE EXISTING GUTTERS AND DOWNSPOUT
- 28 REMOVE EXISTING WALL IN ITS ENTIRETY
- 29 REMOVE EXISTING WINDOW IN ITS ENTIRETY. PREP AREA FOR INFILL.



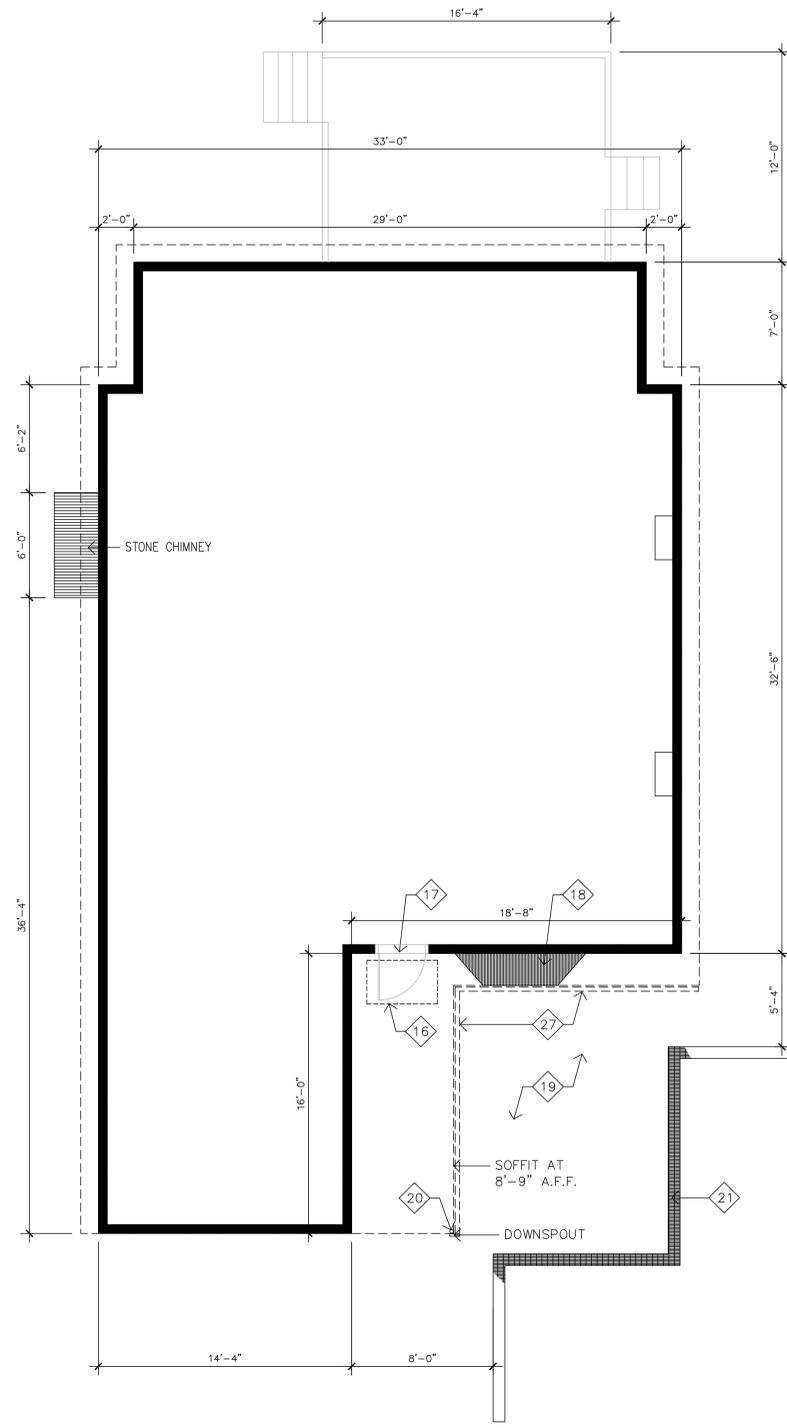
C DEMO BATHROOM PLAN
3/8"=1'-0"



B DEMO BASEMENT UTILITY ROOM PLAN
3/8"=1'-0"



D DEMO BASEMENT STAIR PLAN
1/2"=1'-0"



A DEMO PATIO PLAN
1/4"=1'-0"

Revisions:	Date
100% REVIEW SET	

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Drawing Title

DEMO FLOOR PLAN

Project Title

WESTFIELD HOME MODIFICATIONS

Approved Project Director

Project Number

VA307-P-0006

Building Number

Location

WESTFIELD, NEW YORK

Date

06.04.12

Checked

RPB

Drawn

AN

Drawing Number

A-100

Office of Facilities Management

Department of Veterans Affairs

A

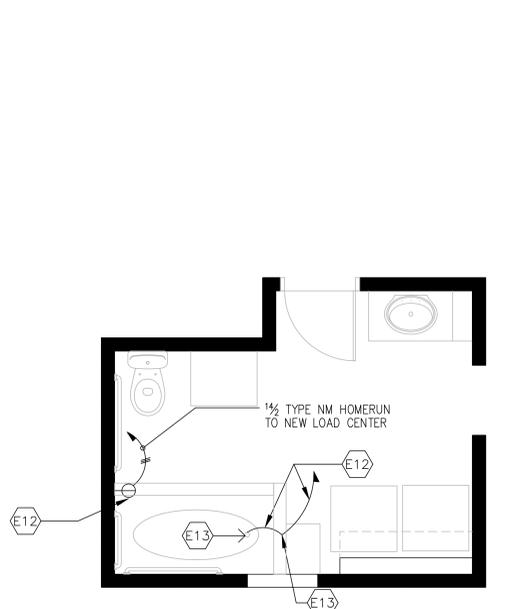
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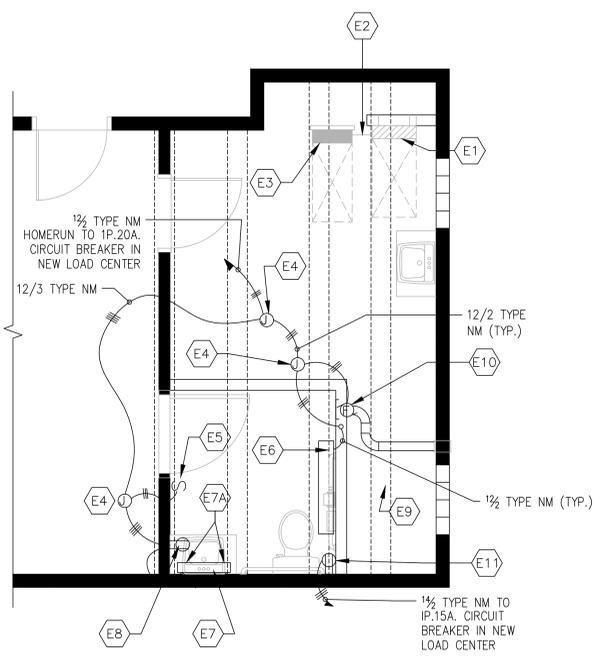
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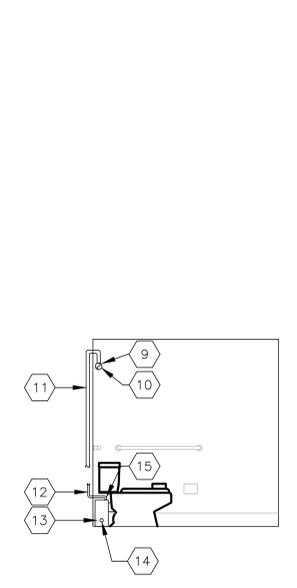
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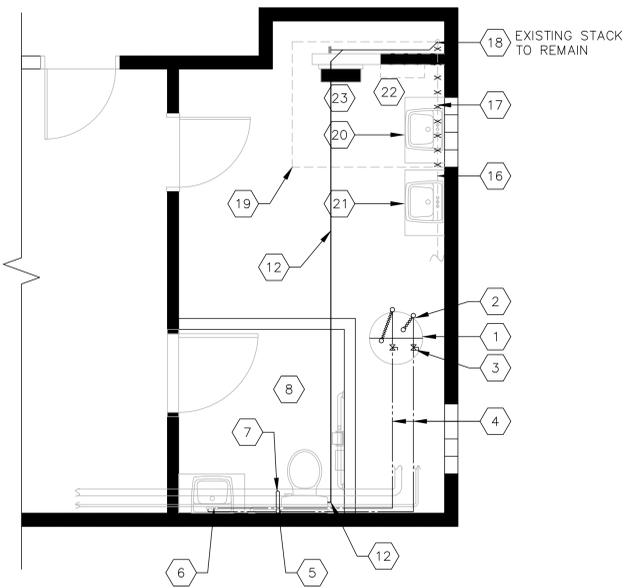
C LOWER FLOOR BATHROOM ELECTRICAL PLAN
3/8"=1'-0"



D BASEMENT BATHROOM ELECTRICAL PLAN
3/8"=1'-0"



B MACERATING WATER CLOSET ELEVATION
3/8"=1'-0"



A NEW BASEMENT UTILITY ROOM PLAN
3/8"=1'-0"

- ELECTRICAL KEYNOTES:**
- E1 EXISTING 10KVA 100A, 120/240V P-3W ELECTRICAL PANELBOARD REMOVE CIRCUITS 1&3 (1P,15A; 1P,20A) AND RELOCATE TO NEW LOAD CENTER. PROVIDE NEW 2P,40A CIRCUIT BREAKER IN EXISTING PANEL IN POSITIONS 1 & 3. PROVIDE NEW 2/C #8AWG NM WITH GROUND SUBFEEDER TO NEW LOAD CENTER. REVISE PANELBOARD DIRECTORY.
 - E2 NEW SUBFEEDER
 - E3 NEW 10KVA 60A, 120/240V P-3W+G COPPER BUSSED 12 CIRCUIT MAIN LUIS ONLY LOAD CENTER WITH PLUG-IN BRANCH CIRCUIT BREAKERS
 - 1-1P,20A. BASEMENT BATHROOM LIGHTING/OUTLET/FAN
 - 1-1P,15A. BASEMENT BATHROOM WATER CLOSET PUMP
 - 1-1P,15A. 1ST FLOOR WHIRLPOOL TUB PUMP MOTOR
 - 1-1P,20A. EXISTING RECEPTACLE CIRCUIT #1 RELOCATED FROM MAIN PANELBOARD
 - 1-1P,15A. EXISTING RECEPTACLE CIRCUIT #3 RELOCATED FROM MAIN PANELBOARD
 - 1-1P,15A. SPARE
 - 1-1P,20A. SPARE
 - 5-1P. SPACES
 - E4 NEW SURFACE 4" SQUARE STEEL OUTLET BOX WITH BLANK COVER AND EXTENSION RING
 - E5 NEW FLUSH MOUNTED WHITE 1P,20A. TOGGLE SWITCH WITH WHITE NYLON DEVICE PLATE
 - E6 NEW WALL MOUNTED LINEAR FLUORESCENT LIGHT FIXTURE WITH 2-18 LAMPS (3400L), LITHONIA #WP-2-32-00-120-GE810S OR APPROVED EQUAL.
 - E7 NEW 15"x36" RECESSED MIRROR MEDICINE CABINET ROBERN #DC1528FS
 - E7A NEW LINEAR FLUORESCENT SIDE LIGHT WITH 20 WATT LAMP. ROBERN #GL05S WITH T1220 FLUORESCENT LAMP OR APPROVED EQUAL.
 - E8 NEW FLUSH MOUNTED NEMA 5-20R GFCI DUPLEX OUTLET WITH WHITE NYLON DEVICE PLATE
 - E9 NEW EXHAUST FAN FURNISHED AND WIRED BY ELECTRICAL CONTRACTOR. NUTONE #PH-80 OR APPROVED EQUAL.
 - E10 120V, 15A, 1P. MOTOR RATED SWITCH MOUNTED IN 4" SQUARE BOX WITH MULBERRY COVER
 - E11 SINGLE NEMA 5-15 GFCI OUTLET FOR MACERATOR PUMP FOR NEW TOILET
 - E12 SINGLE NEMA 5-15 GFCI OUTLET MOUNTED BELOW TUB DECK FOR WHIRLPOOL PUMP MOTOR
 - E13 #8 AWG GREEN INSULATED GROUNDING/BONDING JUMPER TO PUMP MOTOR EQUIPMENT GROUNDING TERMINAL PER NEC ARTICLE 680.74
 - E14 METAL PIPE BONDING CLAMPS FOR ALL REQUIRED WATER AND DRAIN PIPING PER NEC ARTICLE 680.74
- LEGEND:**
- SANITARY PIPING
 - DOMESTIC HOT WATER SUPPLY LINE
 - DOMESTIC COLD WATER SUPPLY LINE
 - VENT PIPING
 - PIPE TURNING UP
 - PIPE TURNING DOWN
 - TEE TURNING UP
 - TEE TURNING DOWN
 - ⊞ HANDICAPPED ACCESSIBLE FIXTURE
 - FLOOR CLEAN OUT
 - ⊞ FLOOR DRAIN
 - TRAP
- PLUMBING KEYNOTES:**
- 1 EXISTING HOT WATER HEATER
 - 2 EXISTING COLD WATER AND HOT WATER PIPING
 - 3 INSTALL TEES AND 1/2" BALL VALVE
 - 4 1/2" TYPE L COPPER TUBING TO NEW WATER CLOSET AND LAVATORY
 - 5 INSTALL COPPER TUBING, 1/4" TURN SHUTOFF AND FLEXIBLE HOSE TO WATER CLOSET.
 - 6 INSTALL COPPER COLD WATER AND HOT WATER TUBING, SHUTOFF VALVES AND FLEXIBLE HOSES TO FAUCET.
 - 7 INSTALL 1 1/2" SCH 40 PVC FROM LAVATORY DRAIN TO MACERATOR TANK
 - 8 REFER DETAIL B, THIS DRAWING, FOR ELEVATIONS AND DETAILS OF WATER CLOSET VENT AND DRAIN
 - 9 INSTALL 3"x3"x1 1/2" TEE AND CONNECT TANK VENT
 - 10 EXISTING 3" PVC DRAIN/VENT
 - 11 NEW 1 1/2" SCH 40 PVC VENT
 - 12 NEW 1" SCH 40 PVC PUMP DISCHARGE ROUTE PIPING TO CEILING LEVEL AND CONNECT TO EXISTING HOUSE DRAIN.
 - 13 MACERATOR TANK AND PUMP, SANIFLO SANPLUS OR APPROVED EQUAL
 - 14 1 1/2" INLET FROM LAVATORY
 - 15 3/4" PUMP DISCHARGE OUTLET
 - 16 EXISTING PORTION OF PVC VENT PIPING TO REMAIN AS-IS
 - 17 EXISTING PORTION OF PVC VENT PIPING TO BE REMOVED
 - 18 REMOVE EXISTING T-Y FITTING AND REPLACE WITH NEW TO ALLOW VENT PIPE TO BE RELOCATED AS SHOWN
 - 19 NEW VENT PIPE, CONNECTED TO EXISTING PIPING SHOWN
 - 20 EXISTING SINK TO BE DISCONNECTED AND RELOCATED, EXISTING HOT WATER, COLD WATER AND DRAIN PIPING TO BE DISCONNECTED, REMOVED, REWORKED AND RE-PIPED TO NEW SINK LOCATION.
 - 21 NEW LOCATION OF EXISTING SINK
 - 22 EXISTING ELECTRICAL PANEL TO REMAIN AS IS
 - 23 NEW ELECTRICAL LOAD CENTER, FRAMING AND PLYWOOD BACKSHEATH.

Revisions:	Date
100% REVIEW SET	

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Drawing Title
PLUMBING AND ELECTRICAL
NEW WORK

Approved Project Director

Project Title
WESTFIELD HOME
MODIFICATIONS

Project Number
VA307-P-0006

Building Number

Location
WESTFIELD, NEW YORK

Date
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Checked
RAE

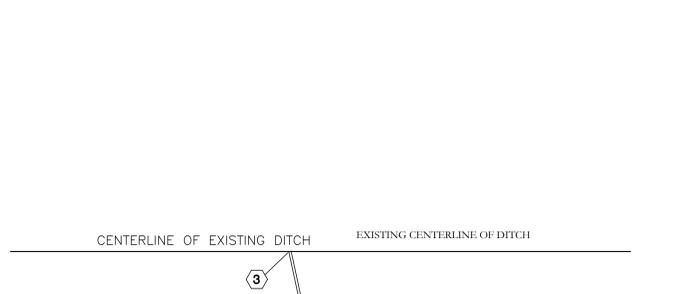
Drawn
BNT

Drawing Number
P-100

**Office of
Facilities
Management**

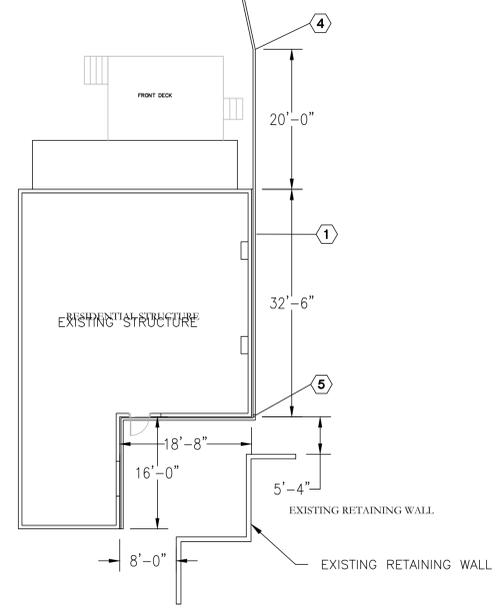
Department of
Veterans Affairs

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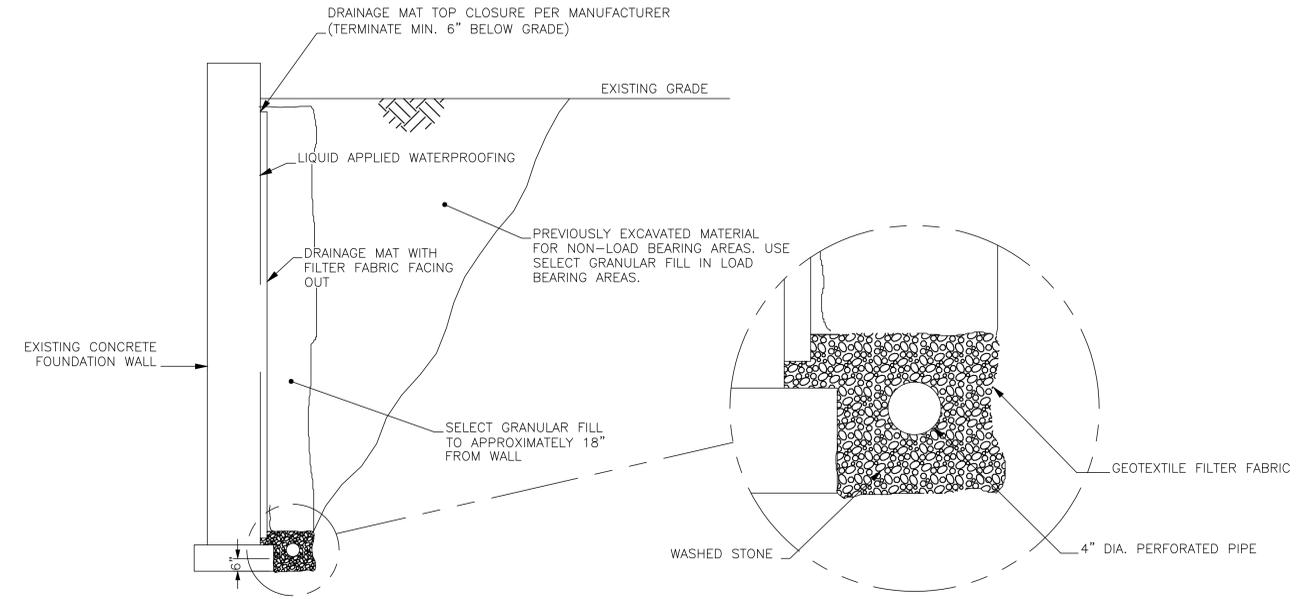


PLAN NOTES:

- ① CONSTRUCT FOUNDATION WALL DRAINAGE MAT, SEE DETAILS 1
C-100 3
C-100
- ② CONSTRUCT 4" SOLID PVC DRAINAGE PIPE, SEE DETAIL 2
C-100
- ③ CONSTRUCT 4" DRAIN TO ROADSIDE DITCH.
- ④ CONSTRUCT PIPE BEND AS REQUIRED TO ACCOMPLISH CONNECTION TO ROADSIDE DITCH.
- ⑤ CONNECT ROOF DOWNSPOUT TO FOUNDATION WALL DRAINAGE MAT AS PER MANUFACTURER OF MAT.



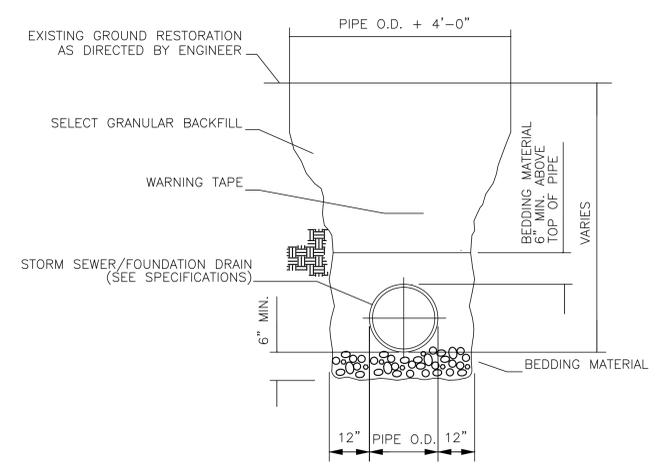
GENERAL BUILDING PLAN WITH FOUNDATION DRAIN
SCALE: 1" = 10'-0"



NOTES:

- 1. REMOVE SHARP EDGES, CLEAN, AND PARGE EXTERIOR OF CONCRETE WALL BEFORE APPLYING WATERPROOFING MEMBRANE.
- 2. EXPOSED SIDES OF DRAINAGE MAT SHALL BE CLOSED AS RECOMMENDED BY THE MANUFACTURER.
- 3. PERFORATED PIPE SHALL BE SET WITH INVERT 6" BELOW FIRST FLOOR ELEVATION.
- 4. CONSTRUCT FOUNDATION WALL DRAINAGE MAT AS PER MANUFACTURER.

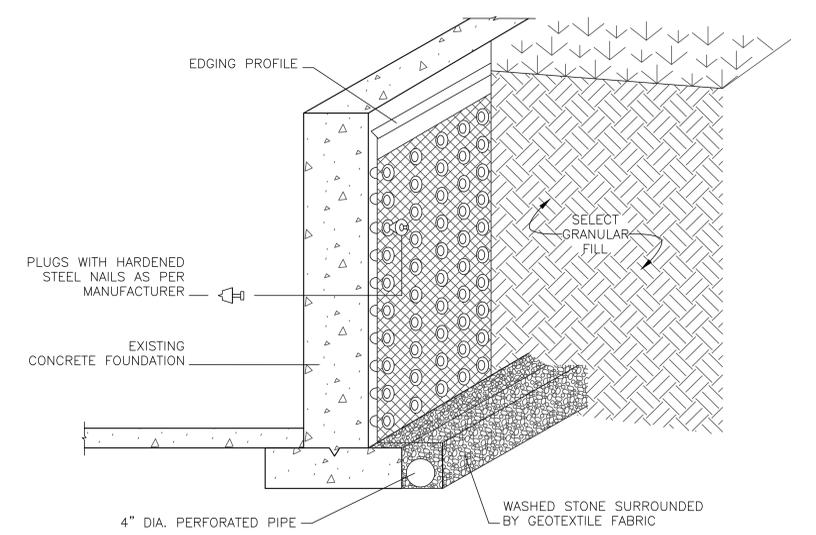
1 FOUNDATION WALL WATERPROOFING AND DRAINAGE DETAIL
C-100 NTS



NOTES:

- 1. USE TEMPORARY SHEETING/TRENCH BOX WHERE REQUIRED.
- 2. CONTRACTOR SHALL SLOPE DRAIN TO DISCHARGE TO EXISTING ROADSIDE DITCH.

2 TYPICAL TRENCH DETAIL
C-100 NTS



3 FOUNDATION WALL WATERPROOFING AND DRAINAGE DETAIL
C-100 NTS

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FOUNDATION DRAINAGE PLAN AND DETAILS

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EHA

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