



# B36 BRICK REPAIR

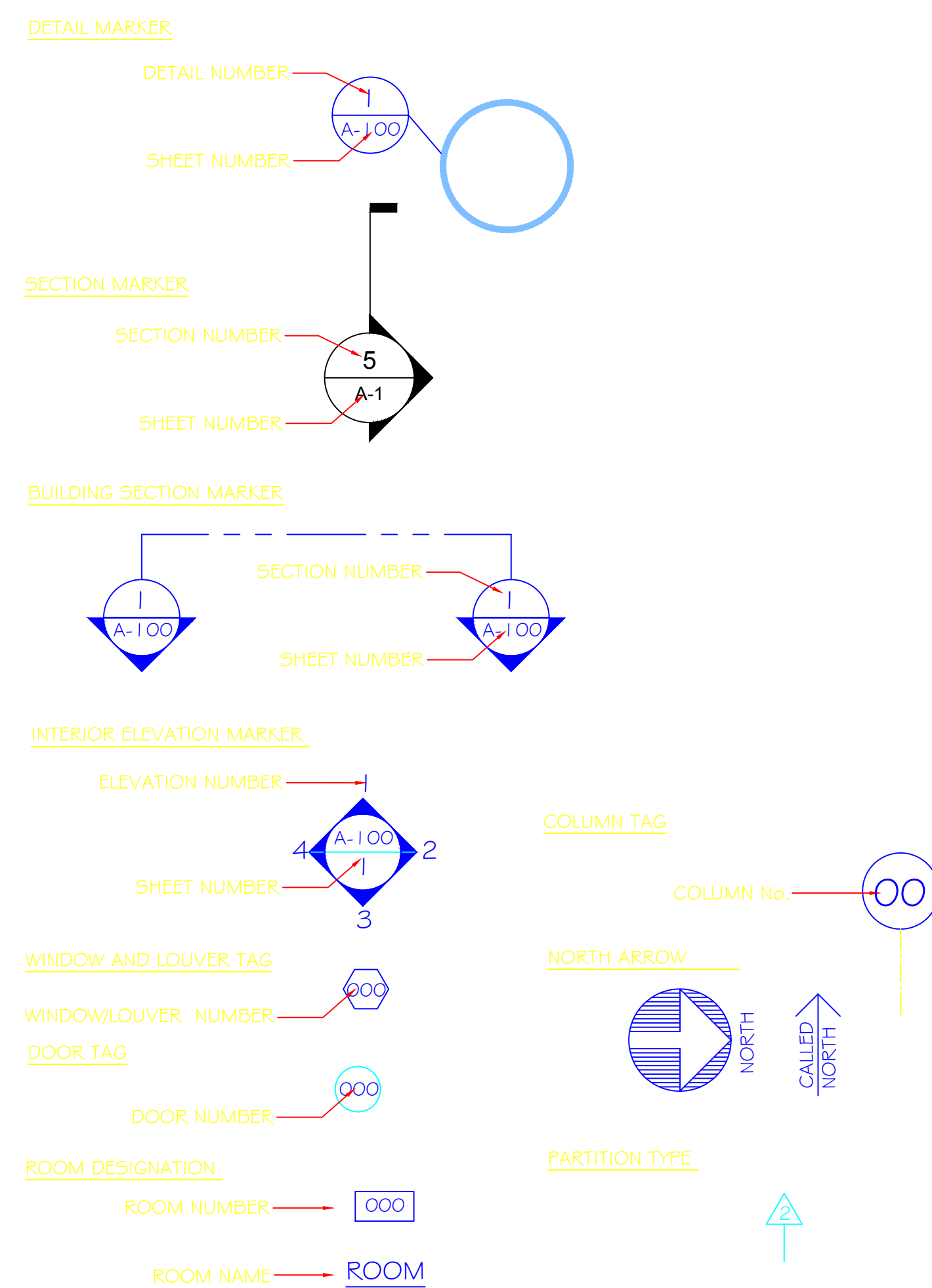
PROJECT NO. 528A5-17-517  
V.A. MEDICAL CENTER  
CANANDAIGUA, NEW YORK 14424

## LIST OF DRAWINGS

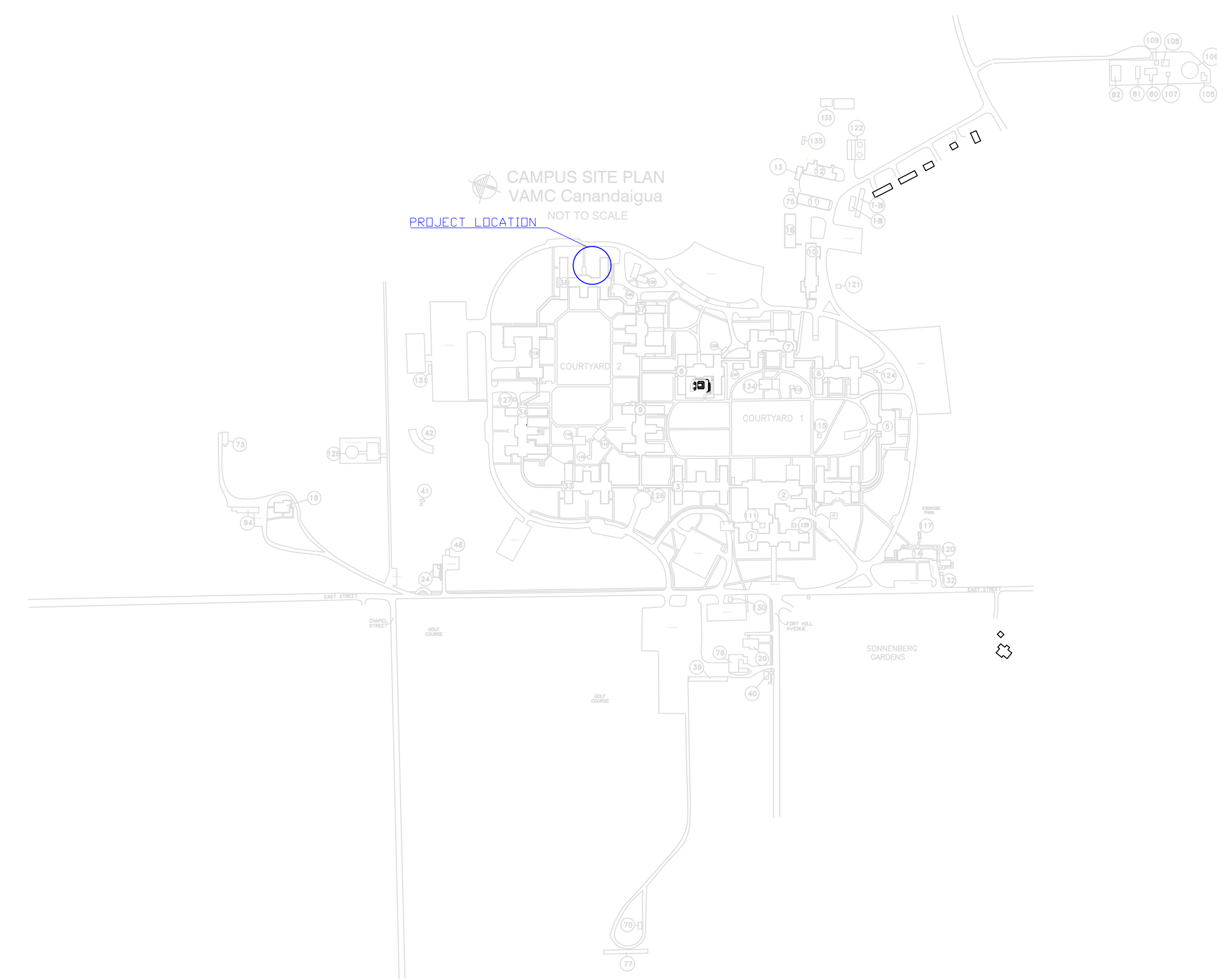
SYMBOL	SHEET	TITLE
T-1	1 OF 4	COVER SHEET
A-1	2 OF 4	NORTH AND SOUTH ELEVATIONS
A-2	3 OF 4	STAIR AND SE END ELEVATIONS
D-1	4 OF 4	DETAIL DRAWINGS

## ABBREVIATIONS AND SYMBOLS

AB	ANCHOR BOLT	EA	EACH	MAT	MATERIAL	T	TOILET
AC	AIR CONDITIONING	EL	ELEVATION	MAX	MAXIMUM	T/	TOP OF
ACT	ACOUSTICAL CEILING TILE	ELEC	ELECTRIC	MECH	MECHANICAL	TH	THICK/ THICKNESS
ADDL	ADDITIONAL	ELEV	ELEVATION	MFGR	MANUFACTURER	T4G	TONGUE & GROOVE
ADJ	ADJUSTABLE	EQ	EQUAL	MH	MAN HOLE	TOP	TOP OF FOOTING
AFI	ABOVE FINISH FLOOR	EW	EACH WAY	MIN	MINIMUM	TOS	TOP OF STEEL
ALT	ALTERNATE	EXT	EXTERIOR	MO	MASONRY OPENING	TOW	TOP OF WALL
AL	ALUMINUM	EXG	EXISTING	MTL	METAL	TYP	TYPICAL
ARCH	ARCHITECTURAL			NIC	NOT IN CONTRACT	UNO	UNLESS NOTED OTHERWISE
ASPH	ASPHALT	FBGL	FIBERGLASS	NTS	NOT TO SCALE	VB	VAPOR BARRIER
		FD	FLOOR DRAIN			VCT	VINYL COMPOSITION TILE
BD	BOARD	FPE	FINISH FLOOR ELEVATION			VERT	VERTICAL
BL	BUILDING LINE	FIN	FIN	OC	ON CENTER		
BLDG	BUILDING	FLR	FLOOR	OCD	OVERHEAD DOOR		
BLK	BLOCK	FNON	FOUNDATION	OPNG	OPENING		
BLKG	BLOCKING	FR	FIREPLACE				
BP	BEARING PLATE	FTG	FAMILY ROOM	FL	PLATE		
BR	BEDROOM		FOOTING	PSF	POUNDS PER SQUARE FOOT	W	WIDE/ WIDTH
BSMT	BASEMENT	GC	GENERAL CONTRACTOR	PSI	POUNDS PER SQUARE INCH	W/	WITH
BTWN	BETWEEN	GL	GLUE and NAIL	PT (D)	PAINT (ED)	WC	WATER CLOSET
BRG	BEARING	G4N	GYPSON WALL BOARD	PWD	PLYWOOD	WD	WOOD
		GWV	GYPSON	RA	RETURN AIR	WIND	WINDOW
CB	CATCH BASIN	GF		RD	ROOF DRAIN	WWM	WELDED WIRE MESH
CC	CENTER TO CENTER			REF	REFERENCE		
CEM	CEMENT	H	HIGH	REINF	REINFORCING		
CG	CORNER GUARD	HC	HOLLOW CORE	REQD	REQUIRED		
CJ	CONSTRUCTION JOINT or CONTROL JOINT	HDR	HEADER	RH	RIGHT HAND		
CLG	CEILING	HDW	HARDWARE	RM	ROOM		
CMU	CONCRETE MASONRY UNIT	HGT	HEIGHT	RO	ROUGH OPENING		
COL	COLUMN	HM	HOLLOW METAL	R/S	ROUGH SAWN		
COMP	COMPACT(ED)	HORZ	HORIZONTAL	SC	SOLID CORE		
CONC	CONCRETE	H.P.	HIGH POINT	SCWD	SOLID CORE WOOD DOOR		
CONST	CONSTRUCTION	H.R.	HANDRAIL	SD	SMOKE DETECTOR		
CONT	CONTINUOUS	HW	HOT WATER	SF	SQUARE FEET		
COORD	COORDINATE	INS	INSULATION	SFLR	SUB-FLOOR		
CPT	CARPET	INT	INTERIOR	SIM	SIMILAR		
CRS	COURSE			SLOPE	SLAB-ON-GRADE		
CT	CERAMIC TILE	JAN.	JANITORIAL	SOG	SPECIFICATIONS		
		JST	JOIST	SPEC	STRUCTURAL		
D	DEEP/ DEPTH	JT	JOINT	STL	SHEET VINYL FLOORING		
DBL	DOUBLE	K	KITCHEN	SV			
DET	DETAIL	LF	LINEAR FEET				
DF	DOUGLAS FIR	LH	LEFT HAND				
DIA	DIAMETER	LOC	LOCATION				
DIM	DIMENSION	LVL	LAMINATED VENEER LUMBER				
DTL	DETAIL						
DW	DISTWASHER						
DWG	DRAWING						

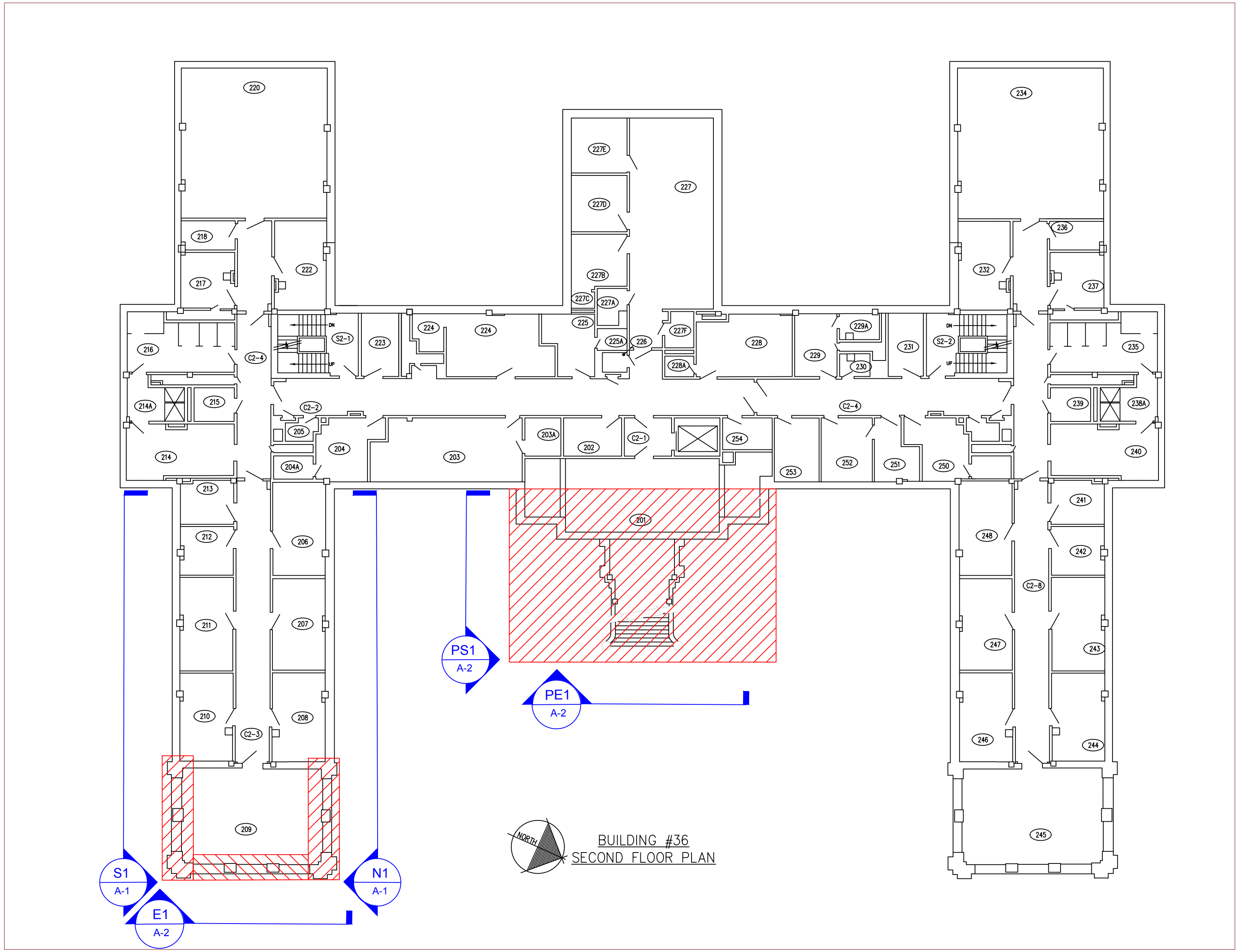


NO.	BUILDING SCHEDULE
1	OUTPATIENT SERVICES, MAIN ADMIN
2	MAIN STORER & DRUG RM, OUTPT. PHARM
3	SEC OFFICER, PATIENT CARE
4	ADMINISTRATIVE CENTER
5	AUDITORIUM, RECREATION SVC
6	SUBSTANCE ABUSE OFFICES, DAS
7	MICRO VOLUNTARY SVC, LRMS
8	MICRO ANALYST OFFICE
9	PATIENT CARE/DOV, LIBRARY, MAIL RM.
10	LABORATORY
11	WASHROOM
12	BOLLY PLANT
13	EMERGENCY GENERATOR
14	VACUUM
15	FIRE STATION, GARAGE, GROUND WTR.
16	SCHOOL (LEASE)
17	VA HOUSE
18	VALER HEADQUARTERS
19	PATIENT CARE, INPATIENT PHARMACY
20	SPL, ADMIN, INPATIENT, NETWORK STORAGE
21	FORMER PATIENT CARE, OUT TREATMENT CENTER
22	FORMER PATIENT CARE, ST
23	ENGINEERING STORAGE
24	CARE CENTER
25	OUTDOOR FIREPLACE
26	STONE BARRIERS
27	GARAGE
28	MISCELLANEOUS STORAGE
29	SCHOOL (LEASE)
30	OIL HOUSE
31	STORAGE
32	S.L.P. CONTROL HOUSE
33	STORAGE
34	SLUDGE DISTILLERS
35	SLUDGE
36	GARAGE (SCHOOL LEASE)
37	STORAGE - Q-HUNT
38	STORAGE - Q-HUNT
39	RECYCLING FILTER
40	PAINT HOUSE, S.L.P.
41	PAINT HOUSE
42	PAINT HOUSE
43	PAINT HOUSE
44	TRANSFORMERS (X-RAY & E)
45	PATIENTS' TOILET, COURT 1
46	PATIENTS' TOILET, COURT 2
47	RECREATION STORAGE, COURT 1
48	RECREATION STORAGE, COURT 2
49	ENGINEERING STORAGE & OFFICES
50	ENGINEERING STORAGE
51	ENGINEERING STORAGE
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100	ENGINEERING STORAGE



Revisions	Date	ALL WORK TO BE IN ACCORDANCE WITH N.F.P.A., NATIONAL, STATE AND CITY CODES & O.S.H.A.	Approved: A.F.G.L. Date	Approved: Fire Chief Date	Approved: Energy Engineer Date	Drawing Title COVER SHEET	Project Title B36 BRICK REPAIR	Date 6/24/2017
		Approved: Logistics Manager. Date	Approved: Interior Designer Date	Approved: Safety Officer Date	Approved: Electric Shop Foreman Date			Project No. 528A5-17-532
		Approved: Infection Control Mgr. Date	Approved: Info. Sys. Date	Approved: Industrial Hygienist Date	Approved: Utilities Foreman Date	Approved: Chief Engineer Date	Building No. 36	Checked TH
		Approved: Chief Security Date	Approved: Women's Health Rep Date	Approved: Space Owner Date	Approved: Date	Approved: Medical Center Director Date	Location CANANDAIGUA, NEW YORK	T-1 Dwg. 1 Of 4





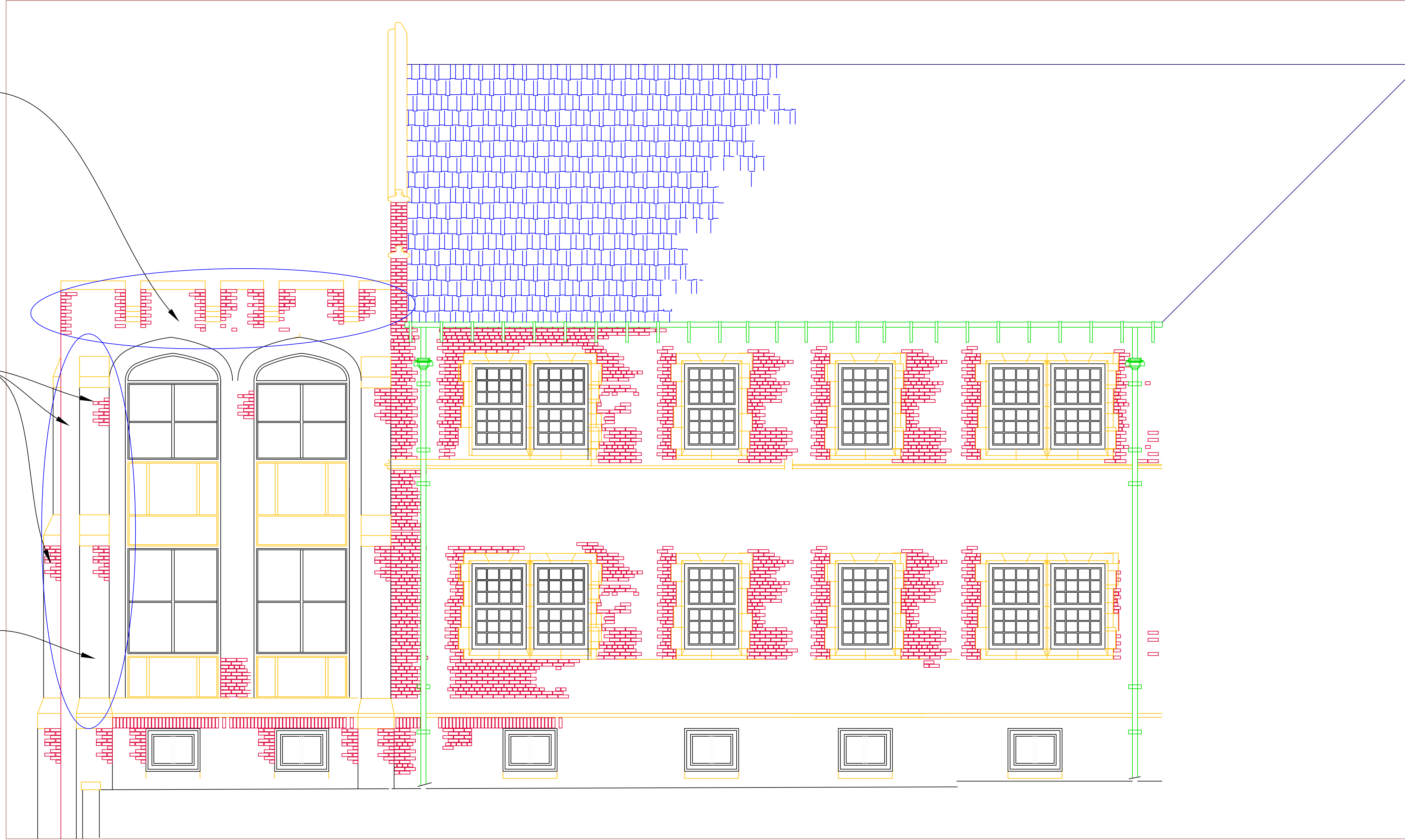
1  
A-1  
Replace Brick Bldg. 36  
Work Location

NOTE: SECTIONS ENCLOSED IN BLUE  
CIRCLED AREAS ( ) OR RED  
HATCHED AREAS ( ) ARE  
INCLUDED IN SCOPE OF THE PROJECT.

REMOVE SLIT/SPALLING/SHEARED BRICK  
BELOW TERRA COTTA CAP TO STRUCTURAL  
ROOF DECK ON INTERIOR PARAPET. REMOVE  
AND REUSE TERRA COTTA AFTER NEW PARAPET  
BUILT. INSTALL NEW FLASHING AND POINT TO  
MATCH EXISTING. (APPROX 75 SQ. FT)  
(SEE DETAIL 1 ON DRAWING D-1 FOR  
PARAPET DETAILS AND DETAIL 2 ON  
DRAWING D-1 FOR ANCHOR DETAILS)

REMOVE SLIT/SPALLING/SHEARED BRICK  
BELOW TERRA COTTA CAP. REPLACE WITH  
NEW. TUCK POINTED NEW JOINTS SHALL MATCH  
EXISTING IN WIDTH, COLOR AND CONSISTENCY.  
REINSTALL EXISTING TERRA COTTA CAP AFTER  
BRICK HAS BEEN REPAIRED/REPLACED.  
(APPROX. 60 SQ. FT PER PILASTER (2) )  
(SEE DETAIL 2 ON DRAWING D-1 FOR  
ANCHOR DETAILS AND DETAIL 3 ON  
DRAWING D-1 FOR PILASTER DETAILS)

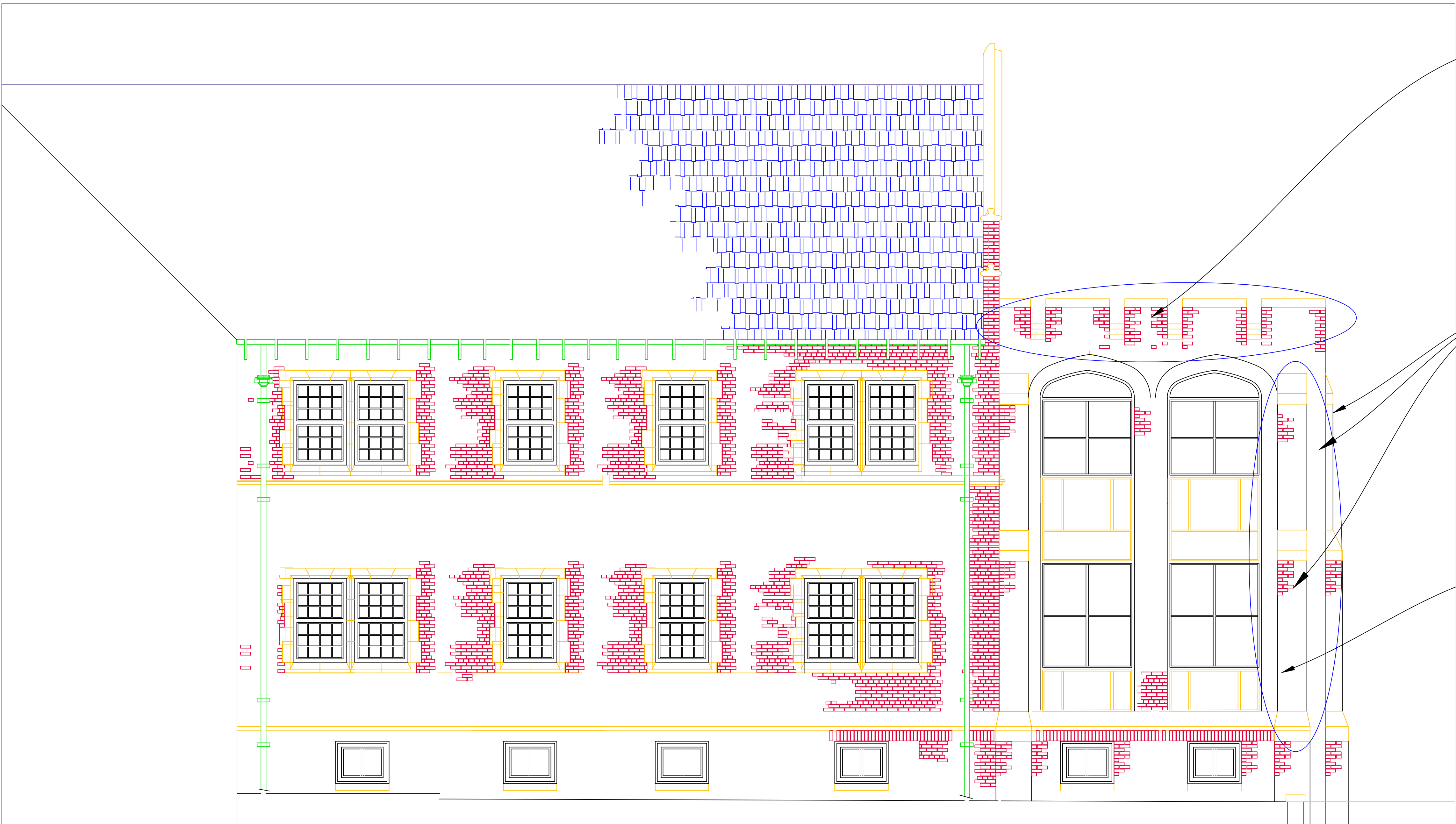
REMOVE SLIT/SPALLING/SHEARED BRICK  
BELOW TERRA COTTA CAP. REPLACE WITH  
NEW. TUCK POINTED NEW JOINTS SHALL MATCH  
EXISTING IN WIDTH, COLOR AND CONSISTENCY.  
REINSTALL EXISTING TERRA COTTA CAP AFTER  
BRICK HAS BEEN REPAIRED/REPLACED.  
(APPROX. 60 SQ. FT PER PILASTER(2) and 60 SQ. FT  
ON BUILDING CORNER SECTION.)  
SEE DRAWING DETAIL 2 ON DRAWING D-1 FOR  
ANCHOR DETAILS AND DETAIL 3 ON  
DRAWING D-1 FOR PILASTER DETAILS)



N1  
A-1  
Replace Brick Bldg. 36  
North elevation 1/4"=1'-0"

#### GENERAL NOTES

- ALL GENERAL NOTES PERTAIN TO ALL DRAWINGS IN THIS PROJECT.
- ALL EXISTING WORK ( BRICK, WINDOWS, FINISHES, ETC.) DISTURBED BY NEW CONSTRUCTION ROOFING ACTIVITIES, SHALL BE PATCHED, REFINISHED OR PAINTED TO MATCH ADJOINING.
- ALL AREAS WHERE DEMOLITION AND CONSTRUCTION OCCUR, THE CONTRACTOR SHALL PROTECT WINDOWS AND WALLS AGAINST DUST AND DEBRIS. ALL WORK IS TO BE PERFORMED IN A NEAT AND CLEAN MANNER WITH ALL DEBRIS TO BE CLEANED UP IMMEDIATELY AND CONFINED TO DUMPSTERS. THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.
- ALL CONSTRUCTION DEBRIS SHALL BE CONFINED TO, AND TRAVEL THROUGH, FULLY ENCLOSED CHUTES TO DUMPSTER LOCATIONS.
- WHERE THE WORDS "PROVIDE", "NEW" OR "INSTALL" APPEAR IN THE SPECIFICATIONS OR DRAWINGS, IT SHALL MEAN THAT THE CONTRACTOR IS TO PROVIDE AND INSTALL THAT PART OF THE TOTAL PROJECT.
- ALL DIMENSIONS ARE APPROXIMATE AND TO BE VERIFIED BY THE CONTRACTOR. THE DVA SHALL ASSUME NO RESPONSIBILITY FOR DIMENSION OR MEASUREMENT ERRORS. THE CONTRACTOR SHALL VISIT EACH SITE AND MEASURE THE REQUIRED PARAPETS AND BRICK SECTIONS TO BE REPAIRED AND OR REPLACED.
- WHERE REQUIRED TO FLASH AND MAKE WATERTIGHT, EXISTING ROOF VENTS, HVAC CURB UNITS, STRUCTURAL SUPPORT POSTS, DOOR THRESHOLDS, ETC., THE FLASHING MUST BE INSTALLED AS PER MANUFACTURER'S DETAILS.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL ACCESSORIES AND ITEMS REQUIRED FOR A COMPLETE AND WARRANTIED INSTALLATION.
- ANY ITEMS DELIVERED TO THE VA IN DAMAGED CONDITION WILL BE REJECTED.
- THE CONTRACTOR WILL BE HELD LIABLE FOR ANY AND ALL DAMAGES RESULTING IN ROOF LEAKS FROM IMPROPER FLASHING, TERMINATIONS OR END-OF-DAY TEMPORARY SEAL.
- PROVIDE A COMPLETE WRITTEN INSPECTION AND APPROVAL OF THE FINISHED ROOF PRODUCT, BY A REPRESENTATIVE OF THE MANUFACTURER.
- THE CONTRACTOR SHALL REPAIR HOLES IN THE EXISTING DEMO'D RIGLET CUTS AND DELAPITATED BRICK WORK, WITH FACTORY BAGGED MORTAR MIX, PRIOR TO NEW ROOFING OR FLASHING INSTALLATION OVER EXISTING MASONRY.
- BID SHALL INCLUDE ANY GALVANIZED STEEL LEVELING PLATES REQUIRED WHEN NEW EPDM IS TO BE SECURED TO UNEVEN MASONRY AND/OR FLASHED SURFACES, IN THE EVENT THAT MASONRY PATCHING IS NOT FEASIBLE.
- THE CONTRACTOR SHALL REPLACE ALL EXISTING ROOF DRAINS WITH A NEW MARATHON PROLINER ROOF DRAIN OR MANUFACTURERS APPROVED EQUIVALENT. SIZE OF THE NEW DRAINS SHALL MATCH EXISTING AND BID SHALL INCLUDE ALL MISCELLANEOUS FITTINGS TO FACILITATE A COMPLETE, FUNCTIONAL, WATERTIGHT DRAIN SYSTEM.
- EVERY ATTEMPT HAS BEEN MADE TO INDICATE PERTINENT EXISTING UTILITIES AND ROOF CONDITIONS AS ACCURATELY AS POSSIBLE FROM EXISTING SURVEYS, DRAWINGS AND OTHER DATA. PRIOR TO THE BID OPENING, CONTRACTOR SHALL EXPLORE THE JOBSITE & SATISFY THEMSELVES TO EXISTING CONDITIONS. THE CONTRACTOR SHALL THEN INCLUDE IN HIS BID PRICE, ALL MISC. FITTINGS & ACCESSORIES NECESSARY TO CONSTRUCT A COMPLETE, WATERTIGHT, INSTALLED PRODUCT.
- THE CONTRACTOR SHALL TOTALLY PREP ALL BUILT UP FLAT ROOF SURFACES TO ACCEPT A FULLY ADHERED RECOVERY BOARD. TOTALLY PREPPED SHALL BE DEFINED AS, ALL STONE BALLAST AND DEBRIS REMOVED, ALL IRREGULARITIES AND BUBBLES CUT LEVEL AND HOT FILLED TO ACCEPT A SMOOTH APPLICATION OF RECOVERY BOARD.



REMOVE SLIT/SPALLING/SHEARED BRICK  
BELOW TERRA COTTA CAP TO STRUCTURAL  
ROOF DECK ON INTERIOR PARAPET. REMOVE  
AND REUSE TERRA COTTA AFTER NEW PARAPET  
BUILT. INSTALL NEW FLASHING AND POINT TO  
MATCH EXISTING. (APPROX 75 SQ. FT)  
(SEE DETAIL 1 ON DRAWING D-1 FOR PARAPET DETAILS AND  
DETAIL 2 ON DRAWING D-1 FOR ANCHOR DETAILS)

REMOVE SLIT/SPALLING/SHEARED BRICK  
BELOW TERRA COTTA CAP. REPLACE WITH  
NEW. TUCK POINTED NEW JOINTS SHALL MATCH  
EXISTING IN WIDTH, COLOR AND CONSISTENCY.  
REINSTALL EXISTING TERRA COTTA CAP AFTER  
BRICK HAS BEEN REPAIRED/REPLACED.  
(APPROX. 60 SQ. FT PER PILASTER (2) )  
(SEE DETAIL 2 ON DRAWING D-1 FOR  
ANCHOR DETAILS AND DETAIL 3 ON  
DRAWING D-1 FOR PILASTER DETAILS)

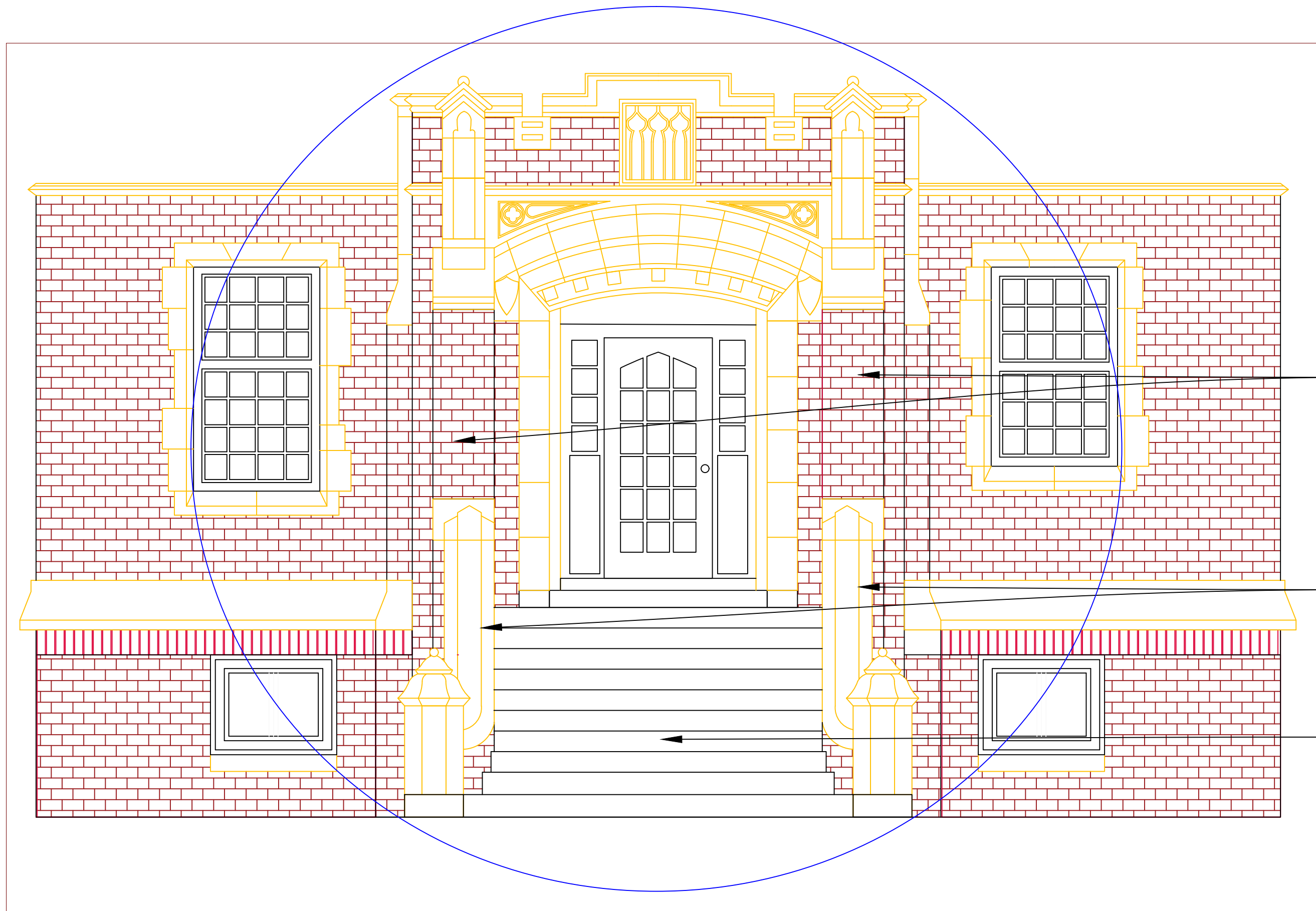
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BELOW TERRA COTTA CAP. REPLACE WITH  
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REINSTALL EXISTING TERRA COTTA CAP AFTER  
BRICK HAS BEEN REPAIRED/REPLACED.  
APPROX. 60 SQ. FT PER PILASTER(2) and 60 SQ. FT  
ON BUILDING CORNER SECTION.

S1  
A-1  
Replace Brick Bldg. 36  
South Elevation 1/4"=1'

Scale: AS SHOWN

Revisions	Date	Drawing Title	Project Title	Date	A-1
		South and North Elevations	B36 BRICK REPAIR	6/24/2017	
		Approved: Chief Engineer	Building No. 36	Checked TH	
Approved: Medical Center Director		Date	Location		2 OF 4
			CANANDAIGUA, NEW YORK		





REMOVE ANY SPLIT/SHEARED/SPALLING BRICK ON ENTRANCE PARAPET.  
REPLACE/REPOINT AS NEEDED. (APPROX. 100 SQ. FT TOTAL ALL SIDES)

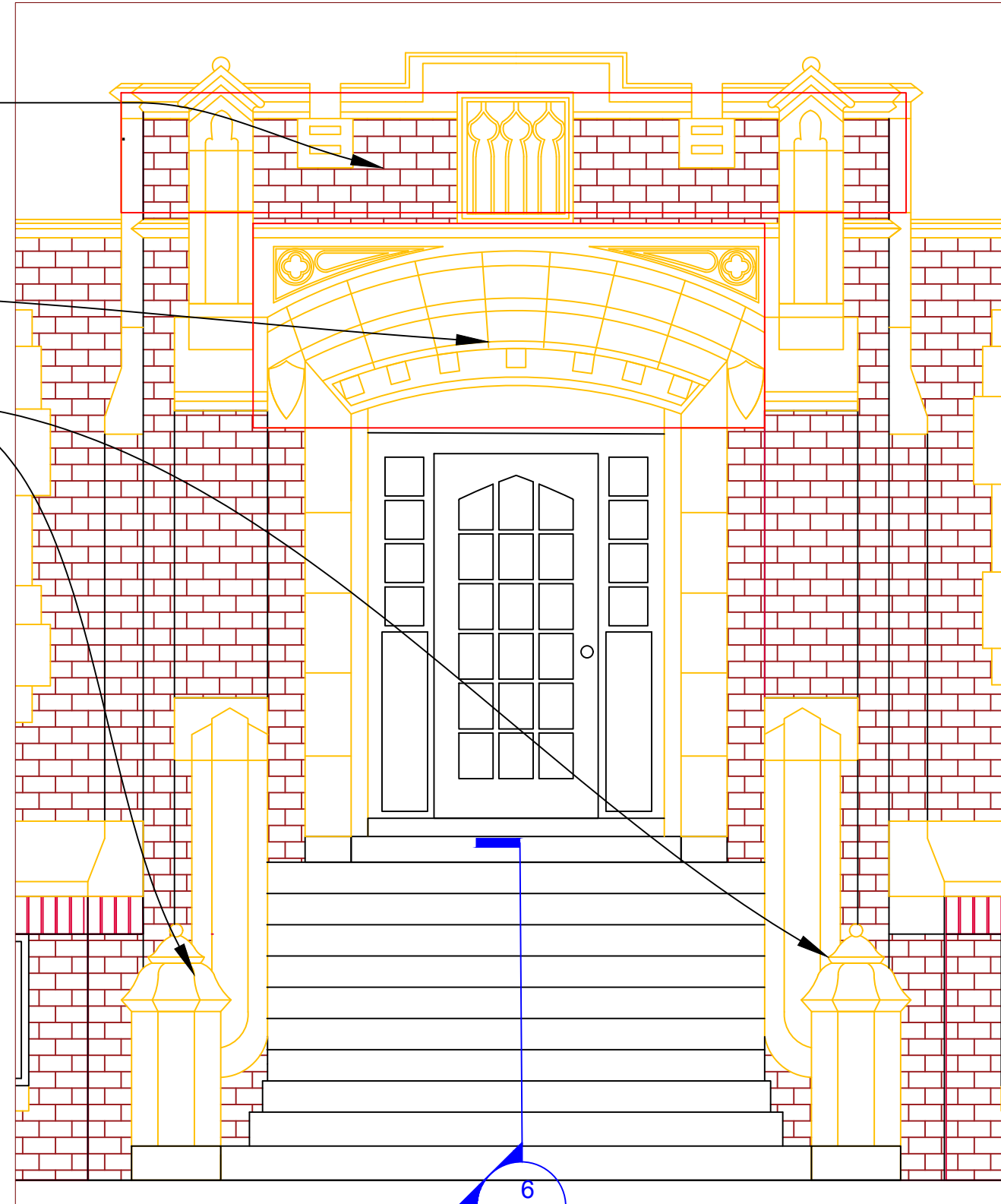
REPAIR/REPLACE SPLIT/SPALLED/CRACKED TERRA COTTA  
ON ENTRANCE ARCHWAY.

REMOVE TERRA COTTA STAIR BASE SECTIONS AND GRANITE BASES.  
SET ASIDE FOR RE-INSTALLATION.

REMOVE ANY SPLIT/SPALLING/SHEARED BRICK AND REPLACE/REPOINT  
AS NEEDED ON PILASTERS/CORNERS AND BRICK SECTIONS ABUTTED TO  
TERRA COTTA. (APPROX. 50 SQ. FT PER SIDE)

REMOVE ALL TERRA COTTA STAIR RAIL CAPS CAREFULLY  
(APPROXIMATELY 15 LINEAR FEET PER SIDE) AND SET ASIDE  
FOR RE-INSTALLATION. (BOTH SIDES TYPICAL)  
REPAIR/REPLACE ANY SECTIONS THAT ARE NOT SOUND  
(SEE CHEEK WALL DETAIL 6 ON DRAWING D-1)

REMOVE ALL GRANITE STAIR SECTIONS CAREFULLY (10) AND SET ASIDE  
FOR RE-INSTALLATION. REMOVE RUST STAINS OR ROTATE GRANITE  
OVER TO OPPOSITE SIDES (BOTTOM) IF SURFACE IS CLEAN  
AND SMOOTH. (SEE DETAILS 4 AND 5 ON DRAWING D-1 FOR EXISTING  
FOOTING/STAIR PLACEMENT.)



2  
A-2 Brick Replacement Locations  
NTS

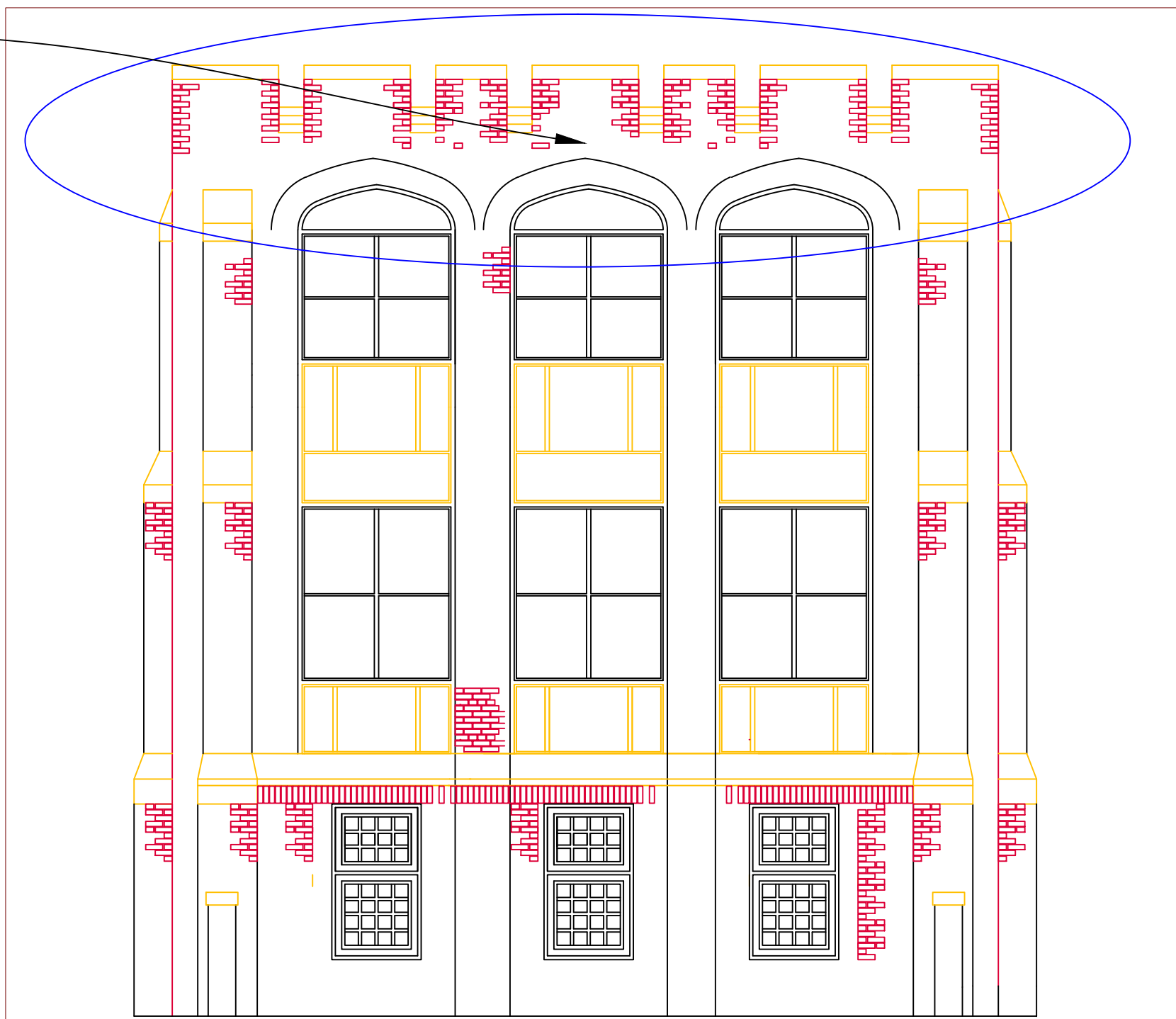
PE1  
A-2 Brick Replacement Locations  
Main Entrance - East Elevation 3/8"=1'

REMOVE SLIT/SPALLING/SHEARED BRICK  
BELOW TERRA COTTA CAP TO STRUCTURAL  
ROOF DECK ON INTERIOR PARAPET. REMOVE  
AND REUSE TERRA COTTA AFTER NEW PARAPET  
BUILT. INSTALL NEW FLASHING AND POINT TO  
MATCH EXISTING. (SEE DETAIL 1 ON DRAWING  
D-1 FOR PARAPET DETAILS) (APPROX 75 SQ. FT)

REMOVE SLIT/SPALLING/SHEARED BRICK  
ON NORTH AND SOUTH ENTRANCE WALLS/PILASTERS  
AND CORNER SECTIONS. (APPROX. 200 SQ. FT EACH SIDE TYPICAL)  
TUCK POINT AND INSTALL DOVETAIL ANCHORS/WEEPS AS  
SHOWN IN DETAIL. REPAIR/REPLACE SPALLED/SPLIT/ CRACKED  
TERRA COTTA SECTIONS ON NORTH AND SOUTH ENTRANCE  
WALLS. (SEE ANCHOR DETAIL 2 ON DRAWING D-1.)

REMOVE SLIT/SPALLING/SHEARED BRICK  
ON CHEEK WALLS TO EXISTING FOOTING  
BASE. (APPROX. 75 SQ. FT EACH SIDE TYPICAL)  
REINSTALL NEW FLASHING/WEEPS AND BRICK AS  
SHOWN IN DETAIL 6 ON DRAWING D-1.

NOTE: SECTIONS ENCLOSED IN BLUE  
CIRCLED AREAS ( ) OR RED  
HATCHED AREAS ( ) ARE  
INCLUDED IN SCOPE OF THE PROJECT.

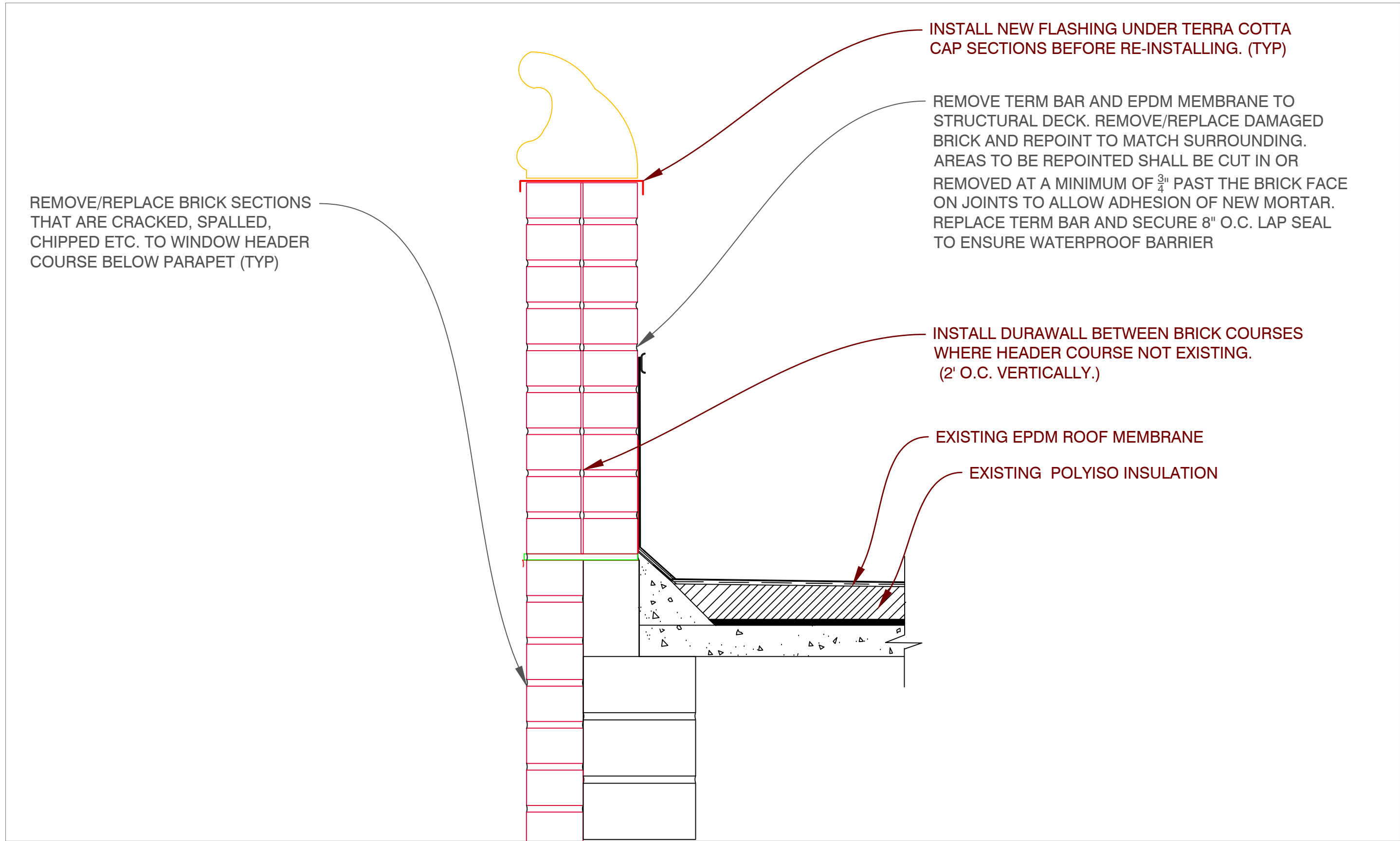


E1  
A-2 Brick Replacement Locations  
SouthEast Wing - East Elevation 3/16"=1'

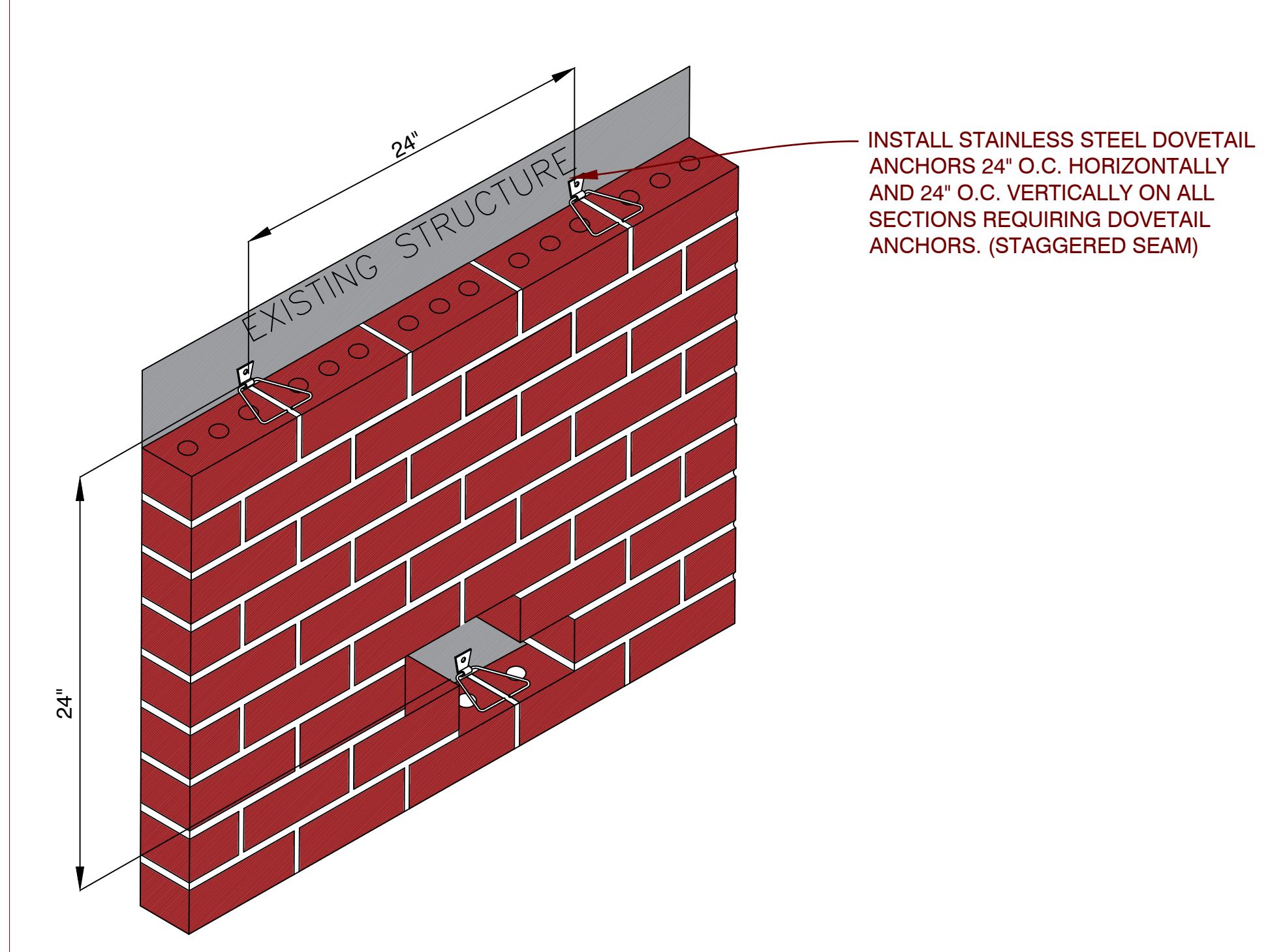
PS1  
A-2 Brick Replacement Locations  
Building Entrance - South Elevation 3/8"=1'

Revisions	Date	Drawing Title		Project Title			Date	A-2
		Stair and SE End Elevations		B36 BRICK REPAIR			6/24/2017	
		Approved: Chief Engineer		Date	Building No.	Checked	Drawn	
					36		TLH	
		Approved: Medical Center Director		Date	Location			
			CANANDAIGUA, NEW YORK					

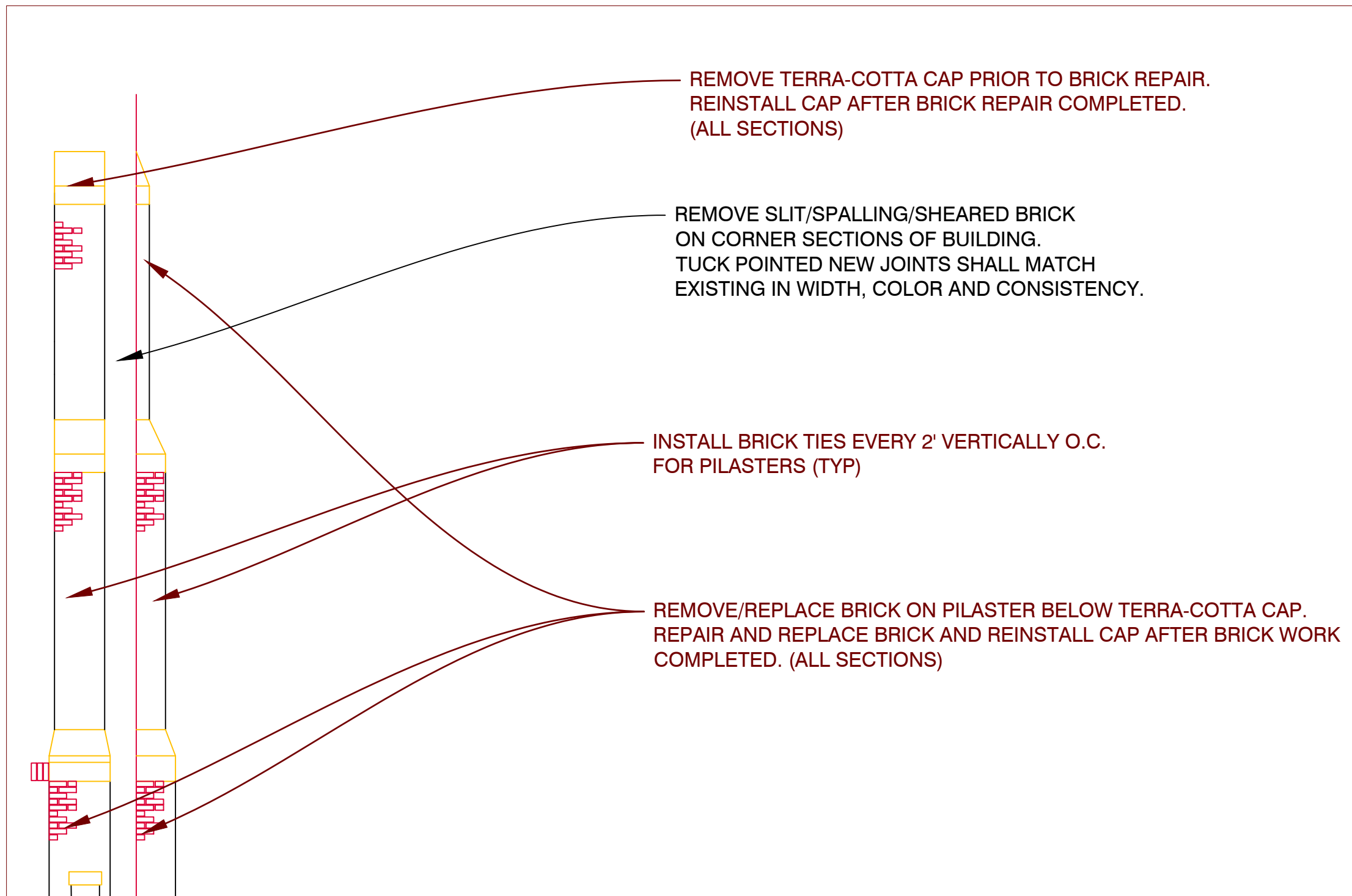




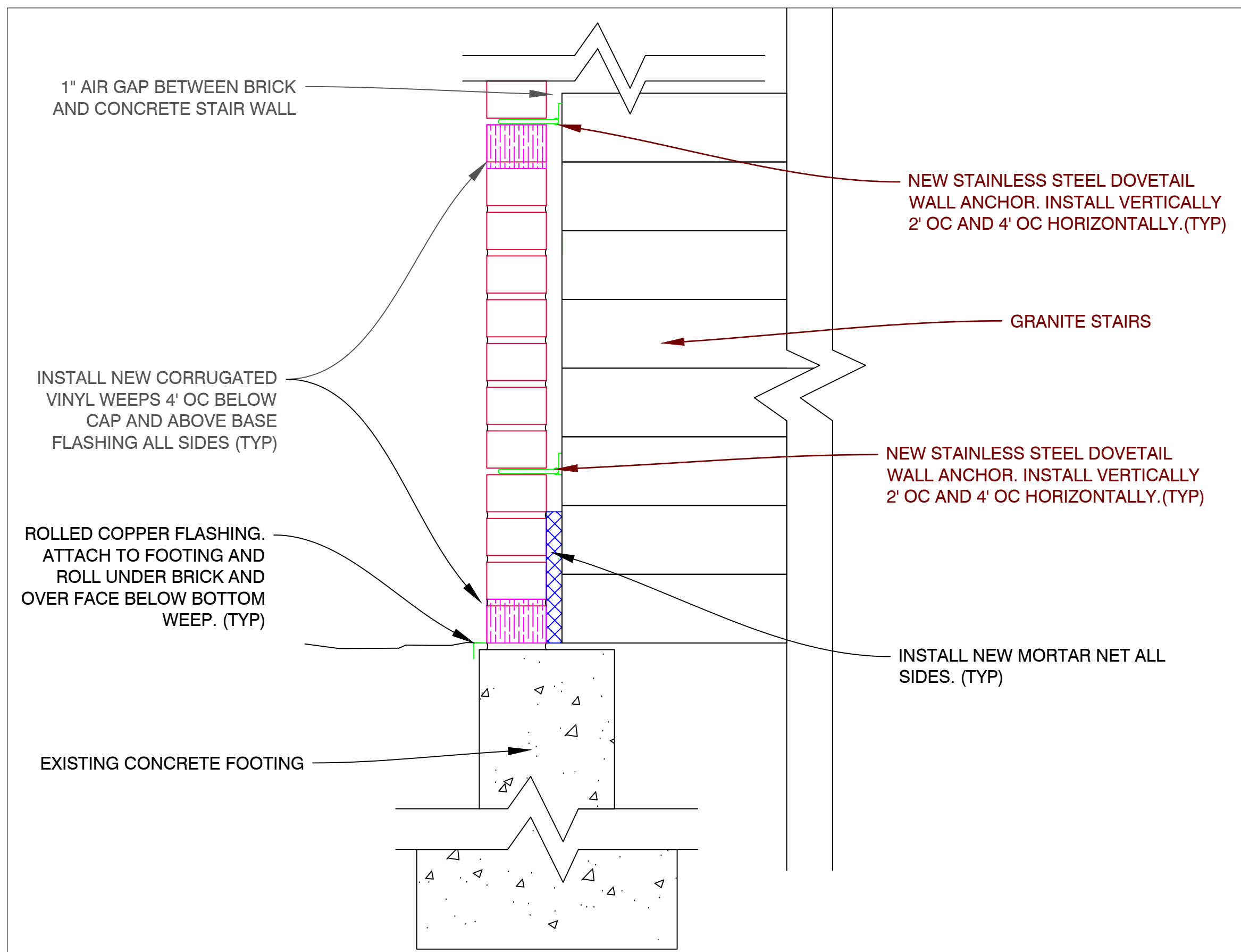
1  
D-1  
PARAPET DETAIL  
NTS



2  
D-1  
BRICK ANCHOR DETAIL  
NTS



3  
D-1  
PILASTER DETAIL  
1/16"=1'-0"



6  
D-1  
CHEEK WALL/STAIR BRICK DETAIL  
NTS

#### GENERAL NOTES:

##### ROOFING

1. Protect existing roofing. Maintain weather proof barriers to building. Provide temporary weatherproofing barriers during the work.
2. Remove and replace flashing at roof at all locations. Reinstall new flashing, counter-flashing and term bars. Provide new masonry pointing at new flashing. Provide original manufactures certification for all roofing and flashing upon completion.
3. Furnish and install new copper cap flashing equal to existing as shown.
4. Coordinate with tuck point rework.

##### TUCK POINTING

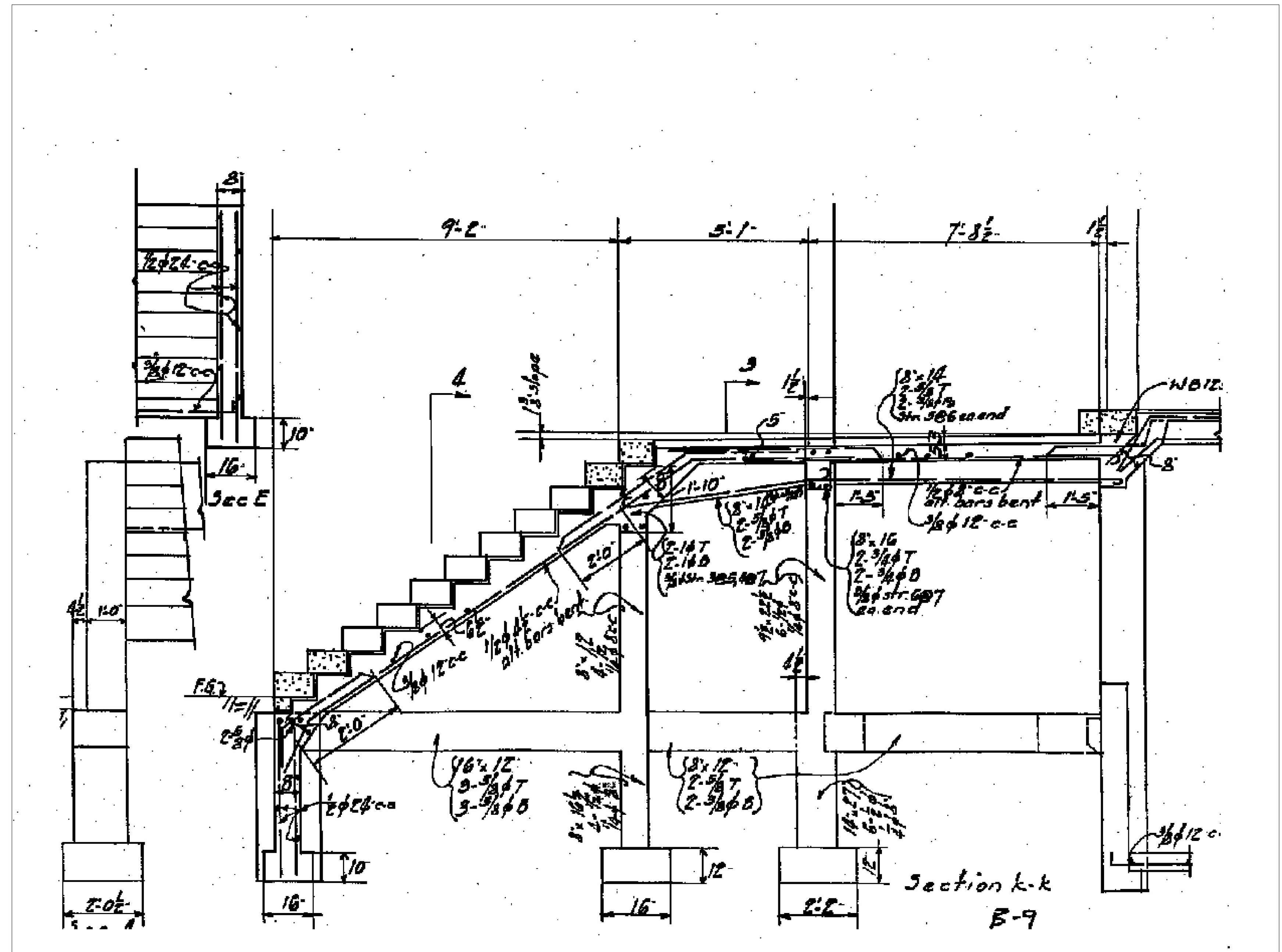
1. Tuck point all interior parapet walls. Include all terra cotta masonry joints at interior and exterior cap and crenellations.
2. Tuck point ALL sections of building as described in Drawings/details Include window headers and sill. Include louvers.
3. Brick with deteriorated or spalled facing shall be replaced. Cracked brick shall be replaced.
4. Tuck point all elevations on sections of building as described in drawings. Include window headers and sill. Include louvers.

##### Handrails

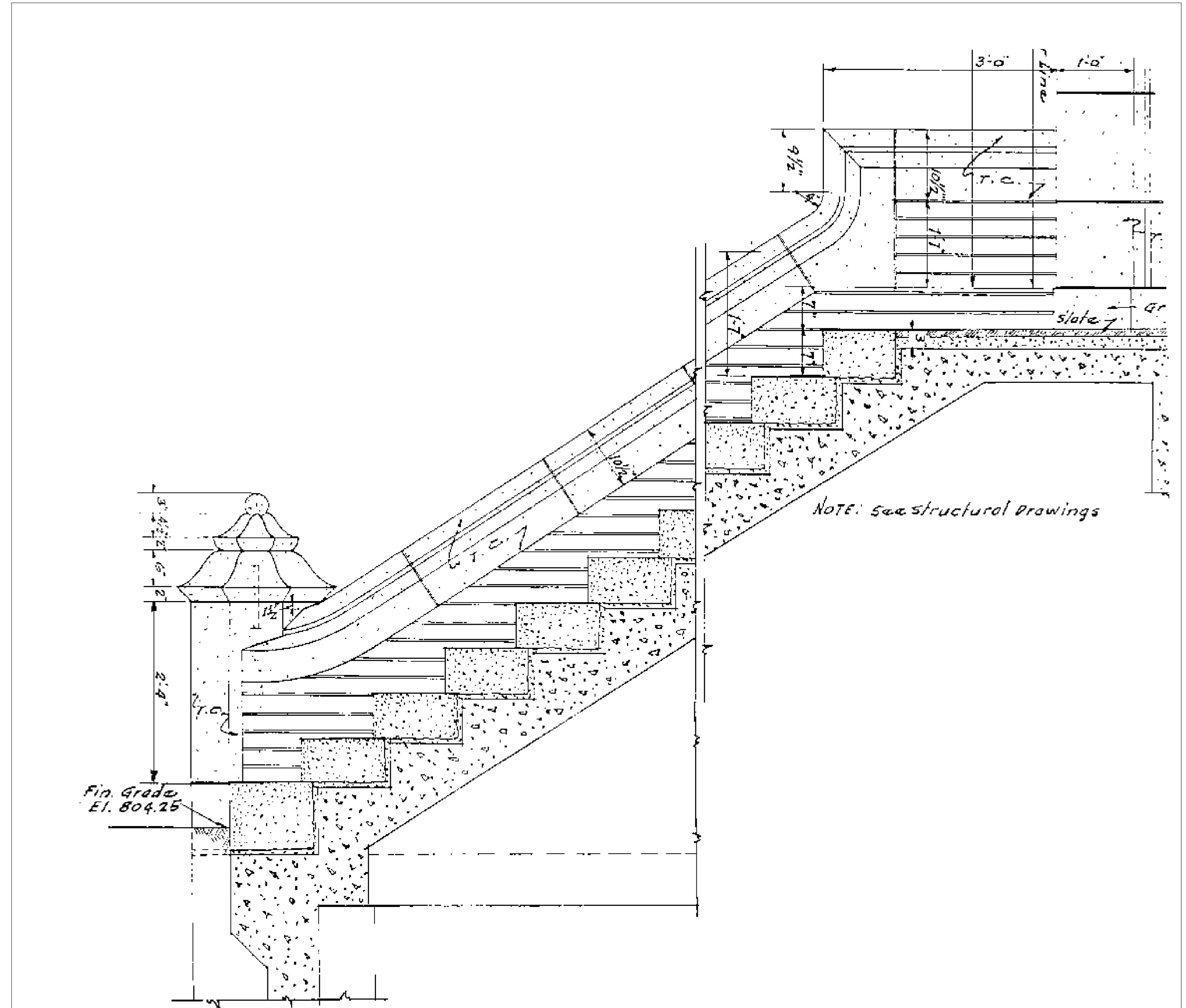
1. Contractor will be required to install new stainless steel handrail sections in center of stairway from top landing to bottom landing. Handrails will be 36" above treads for ADA compliance and must be fastened securely to stair sections with stainless steel hardware and caps.

##### SAFETY

1. Contractor shall provide chain link fencing in areas surrounding repair work for duration of project.
2. Contractor shall restrict entrance to work site from interior entrances for duration of the project.



4  
D-1  
EXISTING STAIR SECTION  
NTS



5  
D-1  
ORIGINAL FINISHED STAIR DETAIL  
NTS

Revisions	Date	Drawing Title Detail Drawings- B36	Project Title B36 BRICK REPAIR		Date 6/24/2017
		Approved: Chief Engineer	Date	Building No. 36	Checked Drawn TLH
		Approved: Medical Center Director	Date	Location CANANDAIGUA, NEW YORK	

D-1

Dwg. 4 of 4