

BUILDING 5

DEMOLITION GENERAL NOTES

EXISTING PHARMACY ROOM 1138 SHALL BE RENOVATED TO PROVIDE A NEW PHARMACY VAULT. THE EXISTING PHARMACY IS A 24/7 OPERATION AND CONTRACTOR SHALL BE AWARE THAT THAT ACCESS TO ROOM 1138 THROUGH THE PHARMACY WILL NOT BE POSSIBLE. ALTERNATE ACCESS TO THE ROOM WILL HAVE TO BE THROUGH THE EXISTING WINDOWS WHICH ARE ACCESSIBLE FROM THE ROOF OF THE GROUND FLOOR SPS AREA. THE ROOF IS APPROXIMATELY 12 TO 16 FEET ABOVE THE GROUND. THE ACCESS AREA AT THE GROUND IS THE DOCK AREA OF THE BUILDING WITH REGULAR DELIVERIES DURING NORMAL DAYTIME OPERATING HOURS. THERE IS NO ACCESS TO THE SPS ROOF AT THIS TIME FROM THE GROUND. LADDERS AND LIFT DEVICES WILL HAVE TO BE USED THROUGHOUT ALL RENOVATION OPERATIONS. THE EXISTING SPS ROOF WILL HAVE TO BE PROTECTED FROM THE FOOT TRAFFIC AND THERE WILL HAVE TO BE A STAGING AREA FOR IMMEDIATE USE SUPPLIES. ALL ROOF MOUNTED EQUIPMENT SHALL ALSO BE PROTECTED FROM DAMAGE. 99% OF ALL RENOVATIONS WILL BE COMPLETED BEFORE THE EXISTING WINDOWS ARE BLOCKED UP SO THE CONTRACTOR SHALL PLAN TO PROTECT ALL RENOVATED SURFACES THROUGH ALL STAGES OF THE RENOVATIONS. NEGATIVE PRESSURE IN ROOM 1138 IS REQUIRED TO PROTECT THE AIR QUALITY OF ALL PHARMACY AREAS. DUMPSTER SPACE AND STAGING AREAS ON THE GROUND WILL BE COORDINATED WITH THE COR THROUGHOUT THE RENOVATIONS TO MAINTAIN ADEQUATE ACCESS FOR BOTH THE CONTRACTOR AND VA.

CONSTRUCTION BARRIERS THAT ARE DUST TIGHT WILL BE REQUIRED THROUGHOUT ALL RENOVATIONS. AT TIMES THE ENTIRE ROOM WILL HAVE TO BE ISOLATED AND AT OTHER TIMES ONLY THE VAULT AREA WILL HAVE TO BE ISOLATED IN ORDER TO MAINTAIN STAFF ACCESS TO THE SINK. COR AND CONTRACTOR SHALL SCHEDULE ALL WORK WHERE THE STAFF WILL NOT HAVE ACCESS TO THE SINK A MINIMUM OF 48 HOURS IN ADVANCE.

COR AND CONTRACTOR SHALL SCHEDULE THE BEGINNING OF RENOVATIONS WITH A CONSTRUCTION BARRIER THAT WILL ISOLATE THE ENTIRE ROOM. AFTER THE BARRIER IS IN PLACE AND NEGATIVE PRESSURE IS ACHIEVED THE DEMOLITION WILL BEGIN WITH THE FOLLOWING WORK AND SHALL PROCEED AS QUICKLY AS POSSIBLE IN ORDER TO RETURN USE OF THE SINK BACK TO THE STAFF.

SOME SECTIONS OF METAL SHELVING SHALL BE IDENTIFIED BY VA FOR REUSE AND SHALL BE REMOVED BY VA PRIOR TO DEMOLITION. ALL OTHER METAL SHELVING, BASE CABINETS, WALL HUNG CABINETS SHALL BE REMOVED AND ABANDONED OFF SITE BY CONTRACTOR. SOME EXISTING WALL CONDITIONS WILL NOT BE EVIDENT UNTIL REMOVAL OF THE METAL SHELVING AND IT MAY BE POSSIBLE THAT EXISTING WALLS WILL REQUIRE FINISHING.

WIRE MOLD IS RUN FROM THE CORNER COLUMN THROUGH THE BASE CABINET TO THE COUNTERTOP OF THE BASE CABINETS AT THE RIGHT AND REAR WALLS AND SHALL BE REMOVED BACK TO THE RECEPTACLE IT IS FED FROM.

REMOVE THE 6 SURFACE MOUNTED FLUORESCENT LIGHTS AND SALVAGE ENOUGH FOR TEMPORARY LIGHTING OF THE CONSTRUCTION AREA AND ESPECIALLY THE SINK AREA UNTIL FINAL LIGHTING CAN BE INSTALLED.

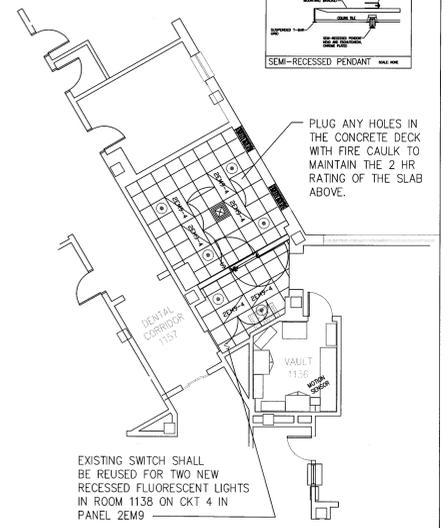
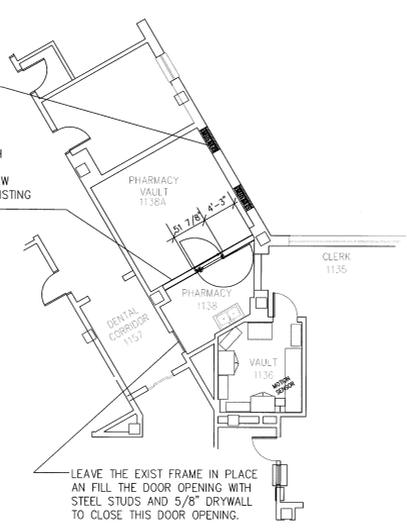
COR AND CONTRACTOR SHALL SCHEDULE A TIME FOR THE REMOVAL OF THE PLASTER CEILING. THIS WILL BE SCHEDULED FOR A TIME THAT IS AFTER 6:30 PM FOR THE CONVENIENCE OF THE PHARMACY OPERATIONS. THE ENTIRE ROOM SHALL BE ISOLATED WITH A CONSTRUCTION BARRIER THAT WILL INSURE THAT NO DUST FILTERS BACK INTO OCCUPIED PHARMACY SPACE. CONTRACTOR SHALL PROVIDE FOR NEGATIVE PRESSURE EXHAUST AND ALL DEBRIS SHALL BE SPRAYED WITH WATER TO KEEP DUST TO A MINIMUM. THE EXISTING VCT AND ANY WALL BASE SHALL ALSO BE REMOVED AT THIS TIME. THE ROOM SHALL BE CLEANED OF ALL DUST AND DEBRIS IN ORDER FOR THE CONSTRUCTION BARRIER THAT ISOLATES THE ENTIRE ROOM CAN BE REMOVED FOR STAFF ACCESS TO THE SINK.

CARE SHALL BE TAKEN DURING THE REMOVAL OF THE CEILING TO PROTECT THE EXISTING SPRINKLER HEADS. THE EXISTING HEADS SHALL BE RELOCATED TO THE NEW CEILINGS IN THE VAULT AND THE SINK AREA. SPRINKLERS SHOULD BE SECURED TO HANGERS ABOVE THE PLASTER CEILING AND SHALL REMAIN SECURED IN PLACE, IN USABLE CONDITION, THROUGHOUT THE RENOVATIONS. THE FLOOR SLAB CONDITIONS ABOVE THE CONSTRUCTION AREA SHALL BE INSPECTED FOR ANY CRACKS OR VOIDS WHICH WILL BE FILLED WITH FIRE CAULK IN ORDER TO MAINTAIN A 2 HOUR RATING OF THE SPACE DURING RENOVATIONS.

WHILE ALL OF 1138 IS PROTECTED BY THE CONSTRUCTION BARRIER THE CONTRACTOR SHALL REMOVE THE DOOR FROM 1138 TO THE DENTAL CORRIDOR. THE EXISTING STEEL FRAME SHALL REMAIN AND THE OPENING FILLED WITH STEEL STUDS AND 5/8" SHEETROCK BOTH SIDES WITH SOUND ATTENUATING BATT INSULATION IN THE VOIDS. THE SHEETROCK SHALL BE FLUSH WITH THE EXISTING WALL ON BOTH SIDES AND SHALL BE TAPED AND SPACKLED BEFORE THE SINK AREA WILL BE OPENED FOR STAFF USE. FINAL FINISHING WILL BE SCHEDULED FOR THE COMPLETION PHASE OF WORK.

AT THE COMPLETION OF ALL INTERIOR RENOVATIONS IN THE NEW VAULT ROOM 1138A THE EXISTING WINDOWS AND SECURITY SCREENS SHALL BE REMOVED AND THE OPENINGS CLOSED WITH BORAL BRICK #32 RED WIRECUT TO MATCH EXISTING AND 4" CMU FOR A SECURELY CLOSED OPENING. FINISH THE INTERIOR WITH DRYWALL OR PLASTER TO BE FLUSH WITH THE EXISTING WALL SURFACE AND READY FOR NEW PAINT FINISH.

CONSTRUCT NEW WALL OF 8" CMU FULL HT. TO STRUCTURE ABOVE. FINISH EACH SIDE WITH LATH AND PLASTER OR 5/8" DRYWALL SO THAT THE FACE OF THE NEW WALL ALIGNS WITH THE FACE OF THE EXISTING COLUMN INSIDE THE NEW VAULT ROOM.



FURNISH AND INSTALL NEW OVERLY DOS CLASS 5 MAXIMUM SECURITY VAULT DOOR AND DAY GATE. THE VAULT DOOR SHALL BE EQUIPPED WITH A BALLISTIC RESISTANT OPTICAL DEVICE AND A KEY CHANGE COMBINATION LOCK. INSTALL 4X4 BOXES AT 40" AFF ON BOTH SIDES OF THE NEW MASONRY WALL AS INDICATED FOR A NEW CARD READER ACCESS SYSTEM THAT TIES TO THE EXISTING POLICE MONITORING SYSTEM. PRIME CONTRACTOR SHALL CONNECT TO THE SYSTEM THAT WAS INSTALLED BY ARRIBA CORPORATION FOR THE CARD READERS AND FOR FOR A FULLY OPERATIONAL SYSTEM THAT CONNECTS TO THE EXISTING VAULT ACCESS MONITORING SYSTEM.

FURNISH AND INSTALL ANTI-FATIGUE FLOORING THAT IS MINIMUM 1" THICK POLY COATED RUBBER TILES THAT ARE 3'X3' AND EQUAL OR BETTER THAN SMART CELLS AS MANUFACTURED BY SATECH, INC., THE CENTER WORK STATION SHALL BE INSTALLED PRIOR TO THE SMART CELL INSTALLATION AND ALL VERTICAL SURFACES SHALL BE CAULKED WHERE THEY INTERSECT THE SMART CELLS. ALL TILES SHALL BE CUSTOM FIT TO THE AREA AND EDGE SEALED AND SEAM WELDED BY AN APPROVED INSTALLER. OVERLAY THE SMART CELLS WITH SHEET VINYL FLOORING THAT IS EQUAL OR BETTER THAN TEKNOFLOR 2.3 MM SHEET VINYL THAT IS DURABLE AND ANTI-MICROBIAL. 'FORESCAPES' WOODGRAIN COLLECTION UNLESS NOTED OTHERWISE DURING THE SUBMITTAL PHASE OF THE CONTRACT. PROVIDE A TRANSITION RAMP FROM THE VAULT TO ROOM 1138 THAT IS SECURED IN PLACE AND WILL ALSO ALLOW FREE OPERATION OF THE VAULT DOOR. PROVIDE COORDINATING 6" RUBBER BASE AROUND THE PERIMETER OF THE VAULT EQUAL OR BETTER THAN JOHNSONITE RUBBER BASE.

IN NEW ROOM 1138 PREPARE THE CONCRETE SUBFLOOR FOR THE INSTALLATION OF NEW 12"X12" VINYL RESILIENT FLOOR TILE EQUAL OR BETTER THAN ARMSTRONG IMPERIAL TEXTURE STANDARD EXCELON 'FORTRESS WHITE' OR OTHER COLOR APPROVED DURING THE SUBMITTAL PHASE OF THE CONTRACT. PROVIDE 6" HIGH RUBBER BASE AROUND THE PERIMETER OF THE ROOM AND THE CONCRETE BASE THAT THE SINK IS ON EQUAL OR BETTER THAN JOHNSONITE.

AT THE OPENING BETWEEN 1138 AND 1135 THE EXISTING VCT SHALL BE CUT EVENLY FOR A SMOOTH TRANSITION BETWEEN THE NEW AND THE EXISTING VCT AND BETWEEN THE VCT LAID IN DIFFERENT DIRECTIONS. ALL WALLS IN 1138 AND 1138A SHALL BE PREPARED FOR NEW PAINT FINISH. PREPARE ALL EXISTING PLASTER WALLS FOR THE NEW PAINT FINISH. TAPE, FINISH AND PRIME ALL DRYWALL ON MASONRY WALLS READY FOR NEW PAINT FINISH. PAINT SHALL BE EGGSHELL FINISH EQUAL OR BETTER THAN ICI 'PEARL WHITE'.

ALL COLORS SHALL BE VERIFIED DURING THE SUBMITTAL PHASE OF THE CONTRACT.

NEW ACOUSTICAL LAY-IN CEILING SHALL BE 15/16" SUSPENSION GRID WITH 24"X24"X5/8" MINERAL FIBER ACOUSTICAL PANELS EQUAL OR BETTER THAN CERTAINTED FINE FISSURED HFF-157 CLASS A PANELS WITH A TRIM EDGE.

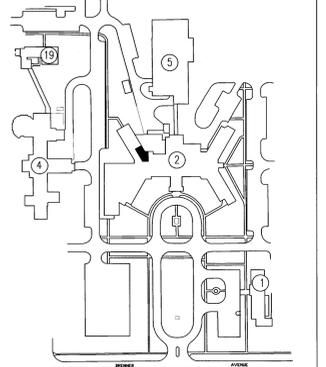
NEW LAY-IN CEILING AND GRID SHALL BE APPROXIMATELY 8"-8" ABOVE THE FINISHED FLOOR. CONTRACTOR SHALL VERIFY ALL UTILITIES, CONDUIT, PIPING AND DUCTWORK ABOVE THE CEILING AND INSTALL THE NEW LAY-IN CEILING AS HIGH AS POSSIBLE.

THE EXISTING FAN COIL UNIT SHALL REMAIN AS IS. THE NEW LAY-IN CEILING SHALL CONFORM TO THE LOCATION OF THE FAN COIL UNIT INCLUDING THE SLOPING OF NEW SUSPENSION MEMBERS IN ORDER TO MAINTAIN FREE FLOW OF AIR TO AND FROM THE FCU.

THE LOCATIONS OF THE SPRINKLER HEADS SHALL BE MODIFIED IN BOTH ROOM 1138 AND 1138A TO FIT THE NEW CEILING HT AND TO FIT IN THE CENTER OF AN ACOUSTICAL CEILING TILE.

ALL SPRINKLER HEADS WILL BE QUICK RESPONSE 3MM BULB TYPE 150 DEG. TEMP. 100 DEG AMBIENT CLG TEMP 5.6 OR HIGHER K FACTOR 1/2 IN NPT. INSTALLATION OF ALL HEADS SHALL BE IN ACCORD WITH NFPA 13.

FURNISH AND INSTALL NEW RECESSED FLUORESCENT LIGHT FIXTURES IN 1138 AND 1138A AS INDICATED ON THE PLAN. INSTALL A SWITCH BESIDE THE VAULT DOOR AS INDICATED. THE LIGHTS SHALL ALL TIE BACK TO CIRCUIT 4 IN PANEL 2EM9. THE FIXTURES SHALL BE EQUAL OR BETTER THAN LITHONIA G18 2'X4' 2 LAMPS, 32WT(48") ACRYLIC LOUVER, 120V, WITH ELECTRONIC BALLAST.



Revision	Date
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NOTE:
CONTRACTOR SHALL PREPARE FOR ON SITE WORK TO BE COMPLETED WITHIN 30 CALENDAR DAYS. 120 CALENDAR DAYS WILL BE THE CONTRACT COMPLETION TIME, BUT ALL OTHER THAN 30 CALENDAR DAYS IS INTENDED TO PROVIDE ADEQUATE TIME FOR THE SUBMITTAL PROCESS, DESIGN, FABRICATION, DELIVERY AND SCHEDULING SO THAT ALL ON SITE WORK WILL BE COMPLETED WITHIN 30 CALENDAR DAYS.

CONTRACTOR SHALL INCLUDE \$5,000,000 FOR CONTINGENCY AS PART OF THE BASE BID COST.

RECOMMEND APPROVAL		
REQUESTER	Date	
CHIEF OF SERVICE	Date	CHIEF OF STAFF
ASSOC. DIR. PATIENT CARE SVC.	Date	ASSOC. DIR. for OPERATIONS
APPROVAL BY:	Date	
MEDICAL CENTER DIRECTOR		

Drawing Title
DEMO & RENOV PLANS AND GENERAL NOTES

Approved: Safety Manager/M&O Supervisor

Approved: Chief of Facilities Management Svr.

Project Title
PHARMACY VAULT RENOVATIONS

Building Number 2

Location
W.G.(BIII) Heffner Medical Center
1601 Brenner Ave.
Salisbury NC 28144

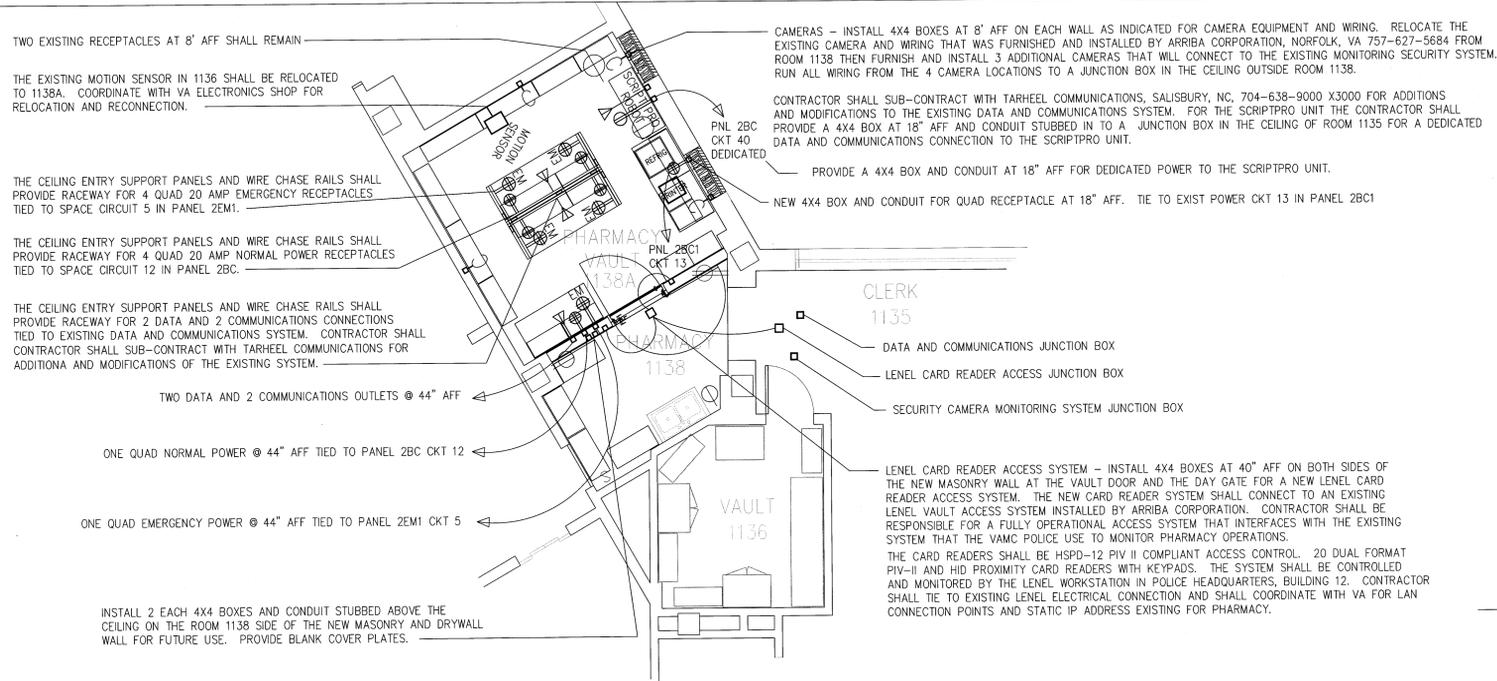
Date
7/23/12

Project No.
659-12-244

DRAWING NO.
1

DWG. 1 of 2

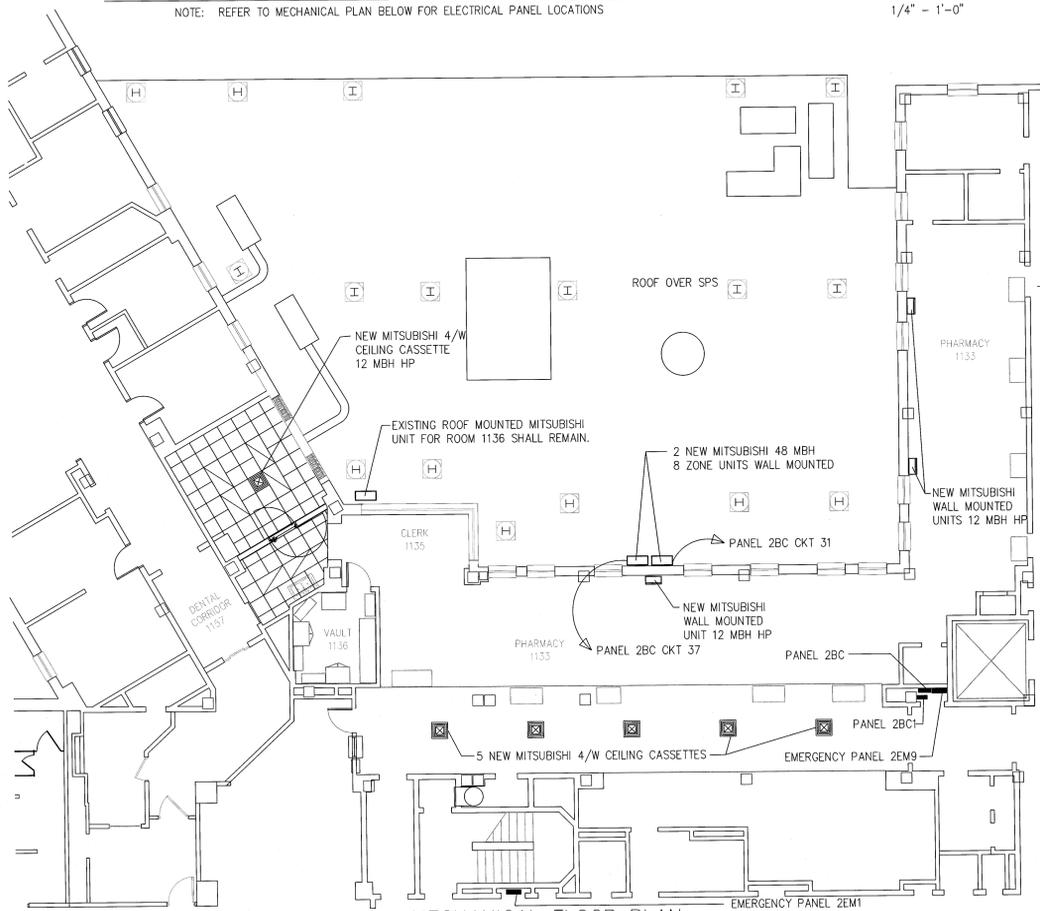




ELECTRICAL POWER, DATA, COMMUNICATIONS AND SECURITY FLOOR PLAN

NOTE: REFER TO MECHANICAL PLAN BELOW FOR ELECTRICAL PANEL LOCATIONS

1/4" - 1'-0"



MECHANICAL FLOOR PLAN

1/8" - 1'-0"

MECHANICAL GENERAL NOTES

FURNISH AND INSTALL TWO NEW MITSUBISHI OUTSIDE WALL MOUNTED 16 SEER OUTDOOR 48 MBH 8 ZONE ELECTRIC AIR CONDITIONING UNITS. THE UNITS SHALL BE MOUNTED TO THE SIDE OF THE BUILDING AS INDICATED ON THE MECHANICAL PLAN. CONTRACTOR SHALL CORE DRILL HOLES THROUGH THE EXTERIOR WALL FOR INTERIOR CONNECTIONS. ALL OPENINGS SHALL BE PATCHED AND FIRE PROOFED.

ALL UNITS AND COMPONENTS SHALL BE MITSUBISHI IN ORDER TO COORDINATE WITH EXISTING EQUIPMENT IN THE PHARMACY.

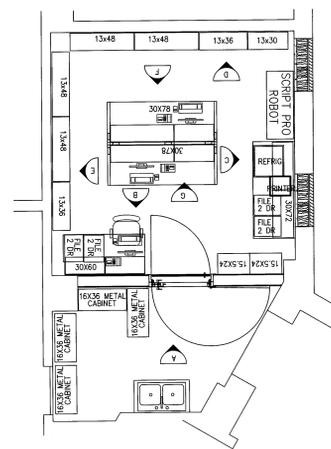
SUPPLY AND INSTALL ONE INDOOR CEILING MOUNTED 4 WAY CEILING CASSETTE IN THE NEW PHARMACY VAULT, ROOM 1138A. SUPPLY AND INSTALL 5 INDOOR CEILING MOUNTED 4 WAY DIFFUSERS IN THE DROPPED ACOUSTICAL CEILING THAT RUNS THE LENGTH OF THE MAIN PHARMACY. THE 5 CEILING CASSETTES SHALL BE EQUALLY SPACED ALONG THE LENGTH OF THE DROPPED CEILING AREA.

SUPPLY AND INSTALL 3 ADDITIONAL WALL MOUNTED UNITS AS NOTED ALONG THE EXTERIOR WALL AS INDICATED ON THE PLAN.

CONTRACTOR SHALL SUPPLY AND INSTALL TWO 5 PORT BRANCH BOXES, ALL ACCESSORIES INCLUDING PUMPS, THERMOSTATS ETC. FOR A COMPLETE OPERATING SYSTEM.

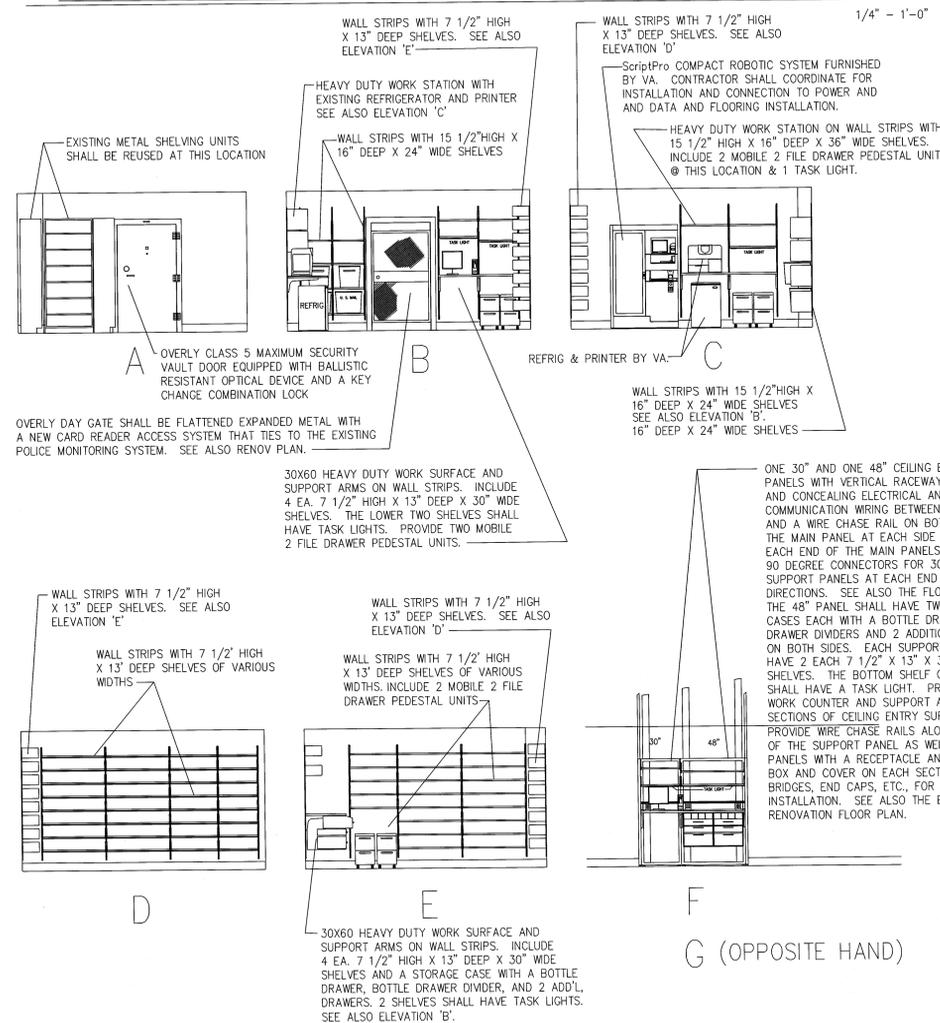
THE OUTDOOR UNITS SHALL BE CONNECTED TO SPARE CIRCUITS 31 AND 37 IN ELECTRIC PANEL 2BC. CONTRACTOR SHALL PROVIDE ALL REQUIRED WIRE, CONDUIT AND DISCONNECTS AS REQUIRED.

CONDENSATE FROM THE ROOF MOUNTED UNITS SHALL BE PIPED TO AN AREA ROOF DRAIN. CONDENSATE FROM INTERIOR UNITS SHALL BE PIPED TO THE EXISTING CONDENSATE DRAIN LINES FROM FAN COIL UNITS WHICH WILL REMAIN AS IS.



RENOVATION FLOOR PLAN - MODULAR FURNITURE SYSTEM NOTES AND ELEVATIONS

ALL MODULAR SHELVING, WORK STATIONS AND ALL COMPONENTS FOR A COMPLETE OPERATIONAL SYSTEM SHALL BE BY HERMAN MILLER Co/Struc SYSTEM AS AN ADD ON TO EXISTING PHARMACY WORK STATIONS, STORAGE, DISPENSING, LABELING AND TRACKING OPERATIONS. HERMAN MILLER PRODUCT IS AVAILABLE THROUGH CONTEMPORARY GALLERIES, IN WINSTON-SALEM, NC, 336-692-1266 AND ALFRED WILLIAMS COMPANY, CHARLOTTE, NC, 704-338-9373 AS WELL AS OTHER SUPPLIERS AND DISTRIBUTORS. VERIFY COLORS AND FINISHES OF ALL ITEMS DURING THE SUBMITTAL PHASE OF THE CONSTRUCTION CONTRACT.



Revision	Date

RECOMMEND APPROVAL			
REQUESTER	Date	CHIEF OF STAFF	Date
CHIEF OF SERVICE	Date	ASSOC. DIR. for OPERATIONS	Date
ASSOC. DIR. PATIENT CARE SVC.	Date	APPROVAL BY:	Date
		MEDICAL CENTER DIRECTOR	

Drawing Title	MECH, ELEC & FURN PLANS & GEN NOTES
Project Title	PHARMACY VAULT RENOVATIONS
Approved: Safety Manager/M&O Supervisor	
Approved: Chief of Facilities Management Svr.	

Building Number	2	Checked		Drawn	BBS
Location	W.G.(Bill) Hefner Medical Center 1601 Brenner Ave. Salisbury NC 28144				

Date	7/23/12
Project No.	659-12-244
DRAWING NO.	2
DWG	2 OF 2



Department of Veterans Affairs