

DEPARTMENT OF VETERANS AFFAIRS

VA MEDICAL CENTER

WEST ROXBURY HEALTHCARE SYSTEM

1400 VFW Parkway

West Roxbury, MA 02132

PROJECT NO. 523-400

WEST ROXBURY GARAGE

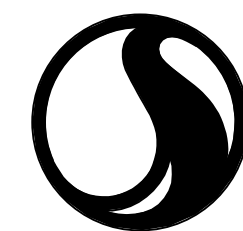


ARCHITECTS - ENGINEERS - CONSULTANTS



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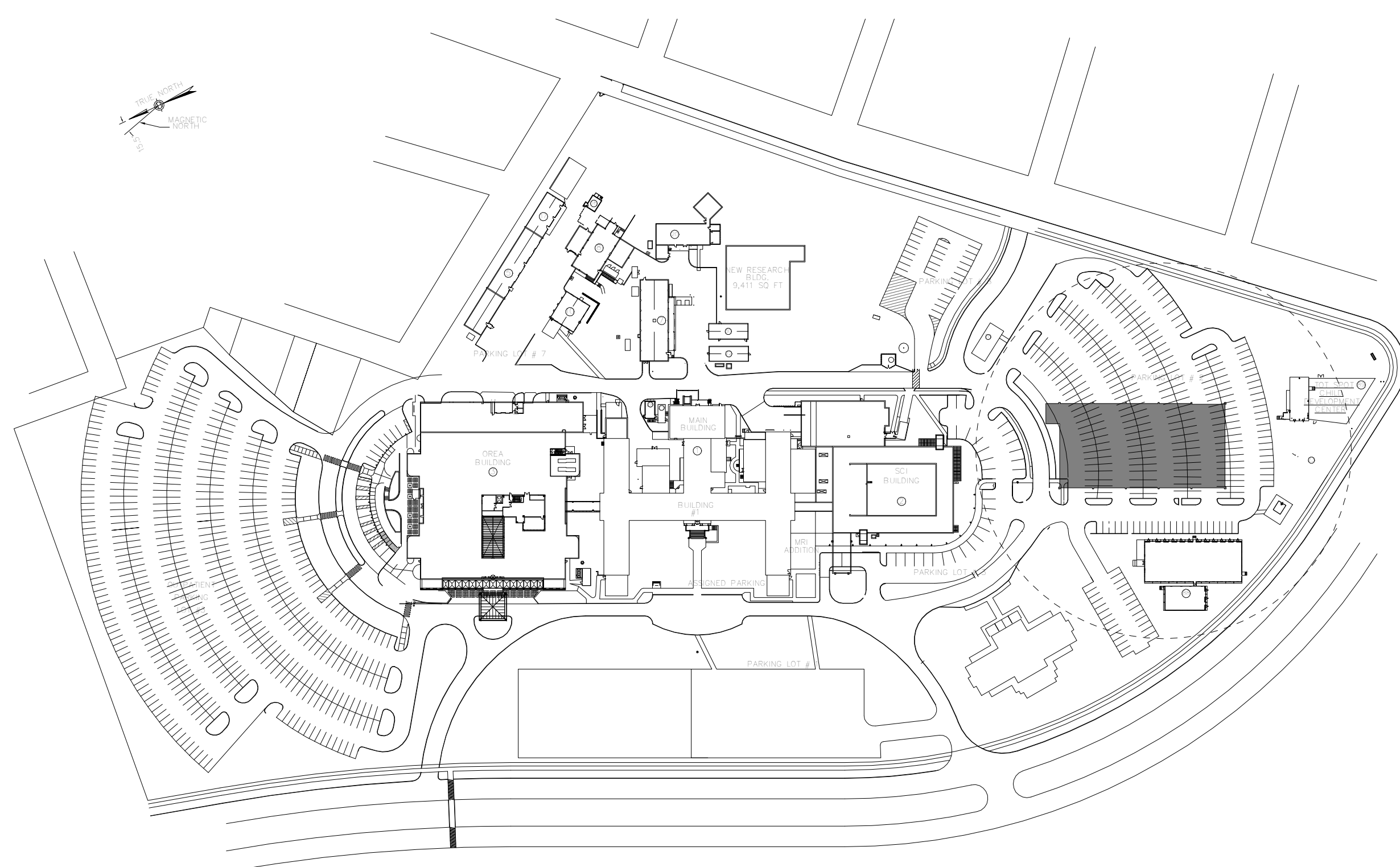
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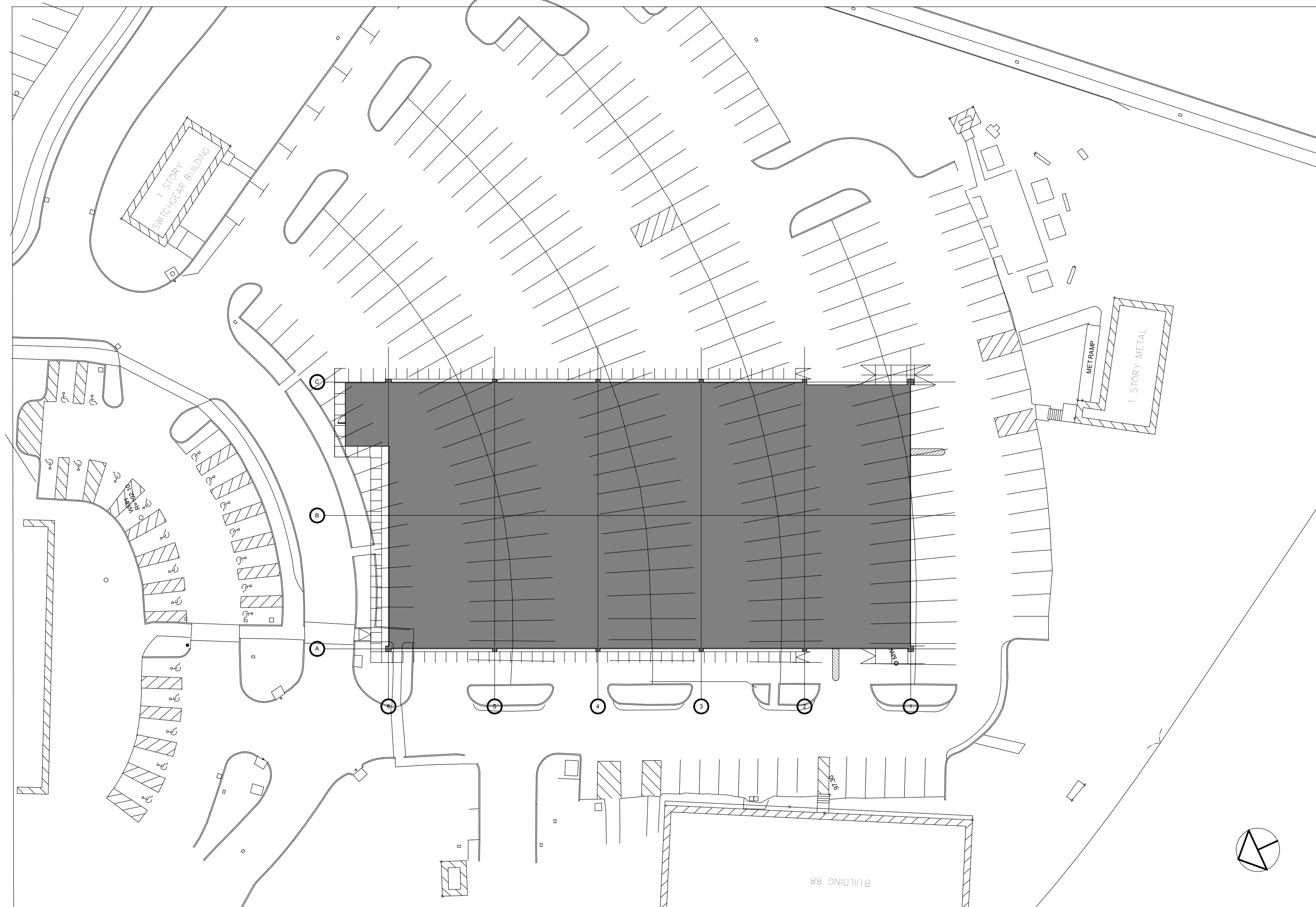
PROJECT ENGINEER

DENIS MCLAUGHLIN
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FACILITY KEY PLAN



PROJECT AREA MAP



Sheet Number	Sheet Name
General	
G000	COVER SHEET
G001	GENERAL NOTES AND MATERIAL LEGEND
G002	CODE PLAN
G003	PHASING PLAN DIAGRAM
Civil	
CD101	CIVIL - PLAN - DEMO
CS101	CIVIL - PLAN - SITE
CS101-DA	CIVIL - PLAN - SITE - DEDUCT ALTERNATE
CG101	CIVIL - PLAN - GRADINGS
CU101	CIVIL - PLAN - UTILITIES
CS501	CIVIL - DETAILS - SITE
CS502	CIVIL - DETAILS - SITE
CS503	CIVIL - DETAILS - SITE
Landscape	
LP101	LANDSCAPE - PLAN - PLANTING
Architectural	
AS101	PARKING LAYOUT - LEVEL 1
AS102	PARKING LAYOUT - LEVEL 2-4
AS103	PARKING LAYOUT - LEVEL 5
AS106	PLANS - RCPS - ROOFS
AS110	PLANS - ENLARGED
AS200	ELEVATIONS EXTERIOR
AS201	ELEVATIONS EXTERIOR
AS202	ELEVATIONS EXTERIOR - ENLARGED
AS210	ELEVATIONS INTERIOR
AS300	BUILDING SECTIONS
AS310	WALL SECTIONS
AS320	DETAILS ENVELOPE
AS321	DETAILS - ENVELOPE
AS330	DETAILS - CURTAINWALL
AS331	DETAILS - CURTAINWALL
AS400	ENLARGED PLANS - STAIR AND ELEVATOR
AS401	SECTIONS - STAIR AND ELEVATOR
AS402	PLANS AND SECTIONS - RAMP
AS501	DETAILS STAIR AND RAILING
AS502	DETAILS GATES AND FENCING
AS600	SCHEDULES - ROOMS AND SIGNAGE
AS601	SCHEDULE - DOORS, FRAMES AND TYPES
AS602	SCHEDULES - WINDOW AND CURTAINWALL
Structural	
SS001	STRUCTURAL - GENERAL NOTES
SF101	STRUCTURAL - PLAN LEVEL 1/FOUNDATION
SF102	STRUCTURAL - TYPICAL CONCRETE SECTIONS AND DETAILS
SF103	STRUCTURAL - FOUNDATIONS SECTIONS
SF104	STRUCTURAL - FOUNDATIONS SECTIONS
SF105	STRUCTURAL - FOUNDATIONS SECTIONS
SS102	STRUCTURAL - PLAN - LEVEL 2
SS103	STRUCTURAL - PLAN - LEVEL 3
SS104	STRUCTURAL - PLAN - LEVEL 4
SS105	STRUCTURAL - PLAN - LEVEL 5
SS501	STRUCTURAL - TYPICAL PRECAST SECTIONS AND DETAILS
SS502	STRUCTURAL - FRAMING SECTIONS
SS503	STRUCTURAL - FRAMING SECTIONS
Plumbing	
PL001	PLUMBING - LEGEND AND GENERAL NOTES
PL100	PLUMBING - PLAN - UNDERSLAB
PL101	PLUMBING - PLAN - LEVEL 1
PL102	PLUMBING - PLAN - LEVEL 2-4
PL103	PLUMBING - PLAN - LEVEL 5
PL301	PLUMBING - ENLARGED PLANS AND SECTIONS
PL501	PLUMBING - DETAILS AND SCHEDULES
Mechanical	
MH001	MECHANICAL - LEGEND AND GENERAL NOTES
MH101	MECHANICAL - PLAN - LEVEL 1
MH102	MECHANICAL - PLAN - LEVEL 2
MH103	MECHANICAL - PLAN - LEVEL 3
MH501	MECHANICAL - DETAILS
MH601	MECHANICAL - SCHEDULES
Electrical	
E001	ELECTRICAL - LEGEND AND GENERAL NOTES
E002	ELECTRICAL - ONE-LINE RISER DIAGRAM
E003	ELECTRICAL - SYSTEMS - ONE-LINE RISER DIAGRAMS
ES100	ELECTRICAL - SITE PLAN DEMO
ES101	ELECTRICAL - SITE PLAN NEW
ES101A	ELECTRICAL - NEW SITE PLAN - ALTERNATE PARKING
ES501	ELECTRICAL - SITE DETAILS
EL101	ELECTRICAL - LIGHTING PLAN - LEVEL 1
EL102	ELECTRICAL - LIGHTING PLAN - LEVEL 2
EL103	ELECTRICAL - LIGHTING PLAN - LEVEL 3
EL104	ELECTRICAL - LIGHTING PLAN - LEVEL 4
EL105	ELECTRICAL - LIGHTING PLAN - LEVEL 5
EP101	ELECTRICAL - POWER PLAN - LEVEL 1
EP102	ELECTRICAL - POWER PLAN - LEVEL 2
EP103	ELECTRICAL - POWER PLAN - LEVEL 3
EP104	ELECTRICAL - POWER PLAN - LEVEL 4
EP105	ELECTRICAL - POWER PLAN - LEVEL 5
EJ101	ELECTRICAL - SYSTEMS PLANS LEVEL 1
EJ102	ELECTRICAL - SYSTEMS PLANS LEVEL 2
EJ103	ELECTRICAL - SYSTEMS PLANS LEVEL 3
EJ104	ELECTRICAL - SYSTEMS PLANS LEVEL 4
EJ105	ELECTRICAL - SYSTEMS PLANS LEVEL 5
E401	ELECTRICAL - LARGE SCALE PLANS
E402	ELECTRICAL - LARGE SCALE PLANS
E403	ELECTRICAL - LARGE SCALE PLANS
E404	ELECTRICAL - LARGE SCALE PLANS
E501	ELECTRICAL - DETAILS
E502	ELECTRICAL - DETAILS
E503	ELECTRICAL - DETAILS
E601	ELECTRICAL - SCHEDULES AND DIAGRAMS
E602	ELECTRICAL - SCHEDULES AND DIAGRAMS
Fire Protection	
FP-001	FIRE PROTECTION - TITLE SHEET
FP-101	FIRE PROTECTION - PLAN - LEVEL 1/FOUNDATION
FP-102	FIRE PROTECTION - PLAN - LEVEL 2
FP-103	FIRE PROTECTION - PLAN - LEVEL 3
FP-104	FIRE PROTECTION - PLAN - LEVEL 4
FP-105	FIRE PROTECTION - PLAN - LEVEL 5

100% BID DOCUMENTS



Project Number
523-400
Building Number
?
Drawing Number
G000
Dwg: 1 of 99

Office of
Facilities
Management



1 GROUND LEVEL CODE PLAN
1/16" = 1'-0"

2 LEVEL 2-4 CODE PLAN
1/16" = 1'-0"

Applicable Codes : The VA has adopted the most recent edition of the following codes:

- 2012 IBC
- NFPA 101 2012 Life Safety Code
- NFPA National Fire Codes with the exception of NFPA 5000 and NFPA 900
- Occupational Safety and Health Administration (OSHA) Standards
- VA Seismic Design Requirements, 11-19.8
- National Electrical Code (NEC)
- International Plumbing Code (IPC)
- Safety Codes for Elevators and Escalators, American Society of Mechanical Engineers (ASME) A 17.1
- ASME Boiler and Pressure Vessel Code
- ASME Code for Pressure Piping
- Architectural Barriers Act Accessibility Standards (ADAAS) including VA supplement, Barrier Free Design Guide (PG-18-13)
- Building Code Requirements for Reinforced Concrete, American Concrete Institute and Commentary (ACI 318)
- Manual for Steel Construction and Safety Signs. Stated in the General Requirements Section 01010 of the VA Master Construction Specification Energy Policy Act of 2005 (EPACT)
- DOE Interim Final Rule: Energy Conservation Standards for New Federal, Commercial and Multifamily High-Rise Residential Buildings and New Low-Rise Residential Buildings, 10 CFR Parts 443, 434, and 435
- Executive Order 13423: Strengthening Federal Environmental, Energy, and Transportation Management.
- The Provisions for Construction and Safety Signs. Stated in the General Requirements Section 01010 of the VA Master Construction Specification.
- Ventilation for Acceptable Indoor Air Quality - ASHRAE Standard 62.1 - 2004.
- Safety Standard for Refrigeration Systems - ASHRAE Standard 15 - 2007

NOTES:

1. NFPA 101 primarily addresses life safety and fire protection features while the IBC addresses a wide range of considerations, including, but not limited to, structural strength, seismic stability, sanitation, adequate light and ventilation, and emergency egress. VA buildings must meet the requirements of NFPA 101 and documents referenced by NFPA 101 in order to comply with the accreditation requirements of The Joint Commission. Designers shall comply with the requirements of the latest edition of NFPA 101 and documents referenced therein. Design features not addressed by NFPA 101 or documents referenced therein shall comply with the requirements of the latest edition of the IBC or as otherwise indicated. The requirements of NFPA 101 and documents referenced therein shall be addressed by both the IBC as well as NFPA 101 or a document referenced by NFPA 101, the requirements of NFPA 101 or the document referenced by NFPA 101 shall be used exclusively (this applies even if the IBC requirements are different).

Storage Occupancies:

42.8.1.3 Open Parking Structures. Open parking Structures shall comply with 42.8.1.3.1 through 42.8.1.3.3.

42.8.1.3.1. Each parking level shall have wall openings open to the atmosphere for an area of not less than 1.4 s.f. for each linear foot of its exterior perimeter. [88A:5.5.1]
42.8.1.3.2. The openings addressed in 42.8.1.3.1 shall be distributed over 40 percent of the buildings perimeter or uniformly over two opposing sides. [88A:5.5.2]
42.8.1.3.3. Interior wall lines and column lines shall be at least 20% open, with openings distributed to provide ventilation [88A:5.5.3]

Construction: Type II (000)

5.1.1 Parking structures shall be building using one of the types of construction defined in NFPA 220, except as otherwise amended in this standard.

5.1.2 Open parking structures shall be of Type I or Type II construction as defined in NFPA 220.

5.1.4 Open parking structures of Type II(000) shall be permitted to be of unlimited area where both of the following conditions are met:

5.1.4 Open parking structures of Type II(000) shall be permitted to be of unlimited area where both of the following conditions are met:

- (1) The height does not exceed 75 ft.
- (2) The horizontal distance from any point on any parking level to an exterior wall opening on a street, an alley, a courtyard, or other similar permanent open space does not exceed 200 ft.

Floors: _____

5.3.1.2 Asphalt shall be permitted on grade.

Fire Sprinkler Systems:

6.4.1 Automatic sprinkler systems shall conform to NFPA 13.

6.4.4 Automatic sprinkler systems shall not be required in open parking structures.

Standpipes:

6.5.1 Parking structures exceeding a height of 50 ft or having

6.5.2 Class I standpipe systems of the manual dry pipe shall be permitted in open parking structures.

Section Alarm and Communications Systems:

6.6.3 Fire alarm systems shall not be required.

Equipment Requirements

42.8.3.5 Extinguishment

Doors:

11. *Journal of Management Education* 31(10):1109-1120

Stairs:

7.2.2.2.2.2 In open pumping structures, joints complying with 7.2.2.2.1 (enclosures) shall not be required.

42.8.2.2.6.1 Ramps shall be permitted in accordance with any of the following condition:

(2) In a ramp-type open parking structure with open vehicle ramps not subject to closure, the ramps shall be permitted to serve in lieu of the second means of egress from floors above the level of exit.

(2) Escaping structures extending only one floor level below the level of exit discharge ramp discharges directly outside at the street level. [88A:4.1.3]

(3) For parking structures extending only one floor level below the level of exit discharge, a vehicle ramp leading directly to the outside shall be permitted to serve in lieu of the required exit. The exit shall be a door or shutter that is installed therein. [88A:4.1.4]

88A 4.1

of Refuge:

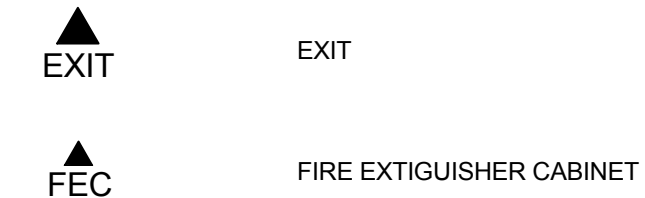
42.8.2.2.9.2 In open-air par

Judgment of Means of Egress:

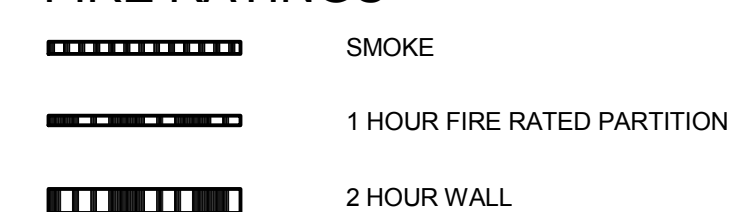
42.8.2.5.1 Dead Ends shall

Maximum Travel Distance to Exits:

Table 42.8.2.6.1 - Open Parking Structure - Not Protected throughout - 300 ft.



FIRE RATINGS



100% BID DOCUMENTS

[illegible]

1 LEVEL 1 PHASING PLAN
1/32" = 1'-0"

2 LEVEL 2 PHASING PLAN
1/32" = 1'-0"

3 LEVEL 3 PHASING PLAN
1/32" = 1'-0"

ISOMETRIC KEY

4 LEVEL 4 PHASING PLAN
1/32" = 1'-0"

5 LEVEL 5 PHASING PLAN
1/32" = 1'-0"

- NOTES:
- 1) FULL HEIGHT ENTRY TOWER, ELEVATORS AND STAIRS TO BE COMPLETED AS PART OF PHASE 1.
 - 2) ANTI CLIMB FENCE TO BE MOUNTED AT THE HIGHEST PHASE COMPLETED - TO BE MOVED TO LATER PHASES AS ADDED.
 - 3) STAIR 2 AND RAILINGS TO BE BUILT TO THE HIGHEST PHASE COMPLETED - STAIR 2 ENCLOSURE TO BE COMPLETED IN PHASE 4.
 - 4) STAIR 1 AND RAILS TO BE COMPLETED AS PART OF PHASE 1 - PROVIDE FULL HEIGHT CHAIN LINK SECURITY FENCE AND GATE AT HIGHEST PHASE COMPLETED - MOVE IF REQUIRED IF LATER PHASES ARE ADDED. OMIT OR REMOVE IF PROJECT IS FULLY EXECUTED.
 - 5) SPANDREL CLOSURE TO BE PROVIDED AT END OF HIGHEST LEVEL OF COMPLETION TO BE MOVED IF LATER PHASES ARE ADDED.
 - 6) ELEVATORS TO BE COMPLETED FULL HEIGHT OF TOWER, PROGRAM STOP TO HIGHEST LEVEL OF COMPLETION, WILL REQUIRE ADDITIONAL STOPS TO BE PROGRAMMED IF LATER PHASES ARE ADDED.

PHASE 1

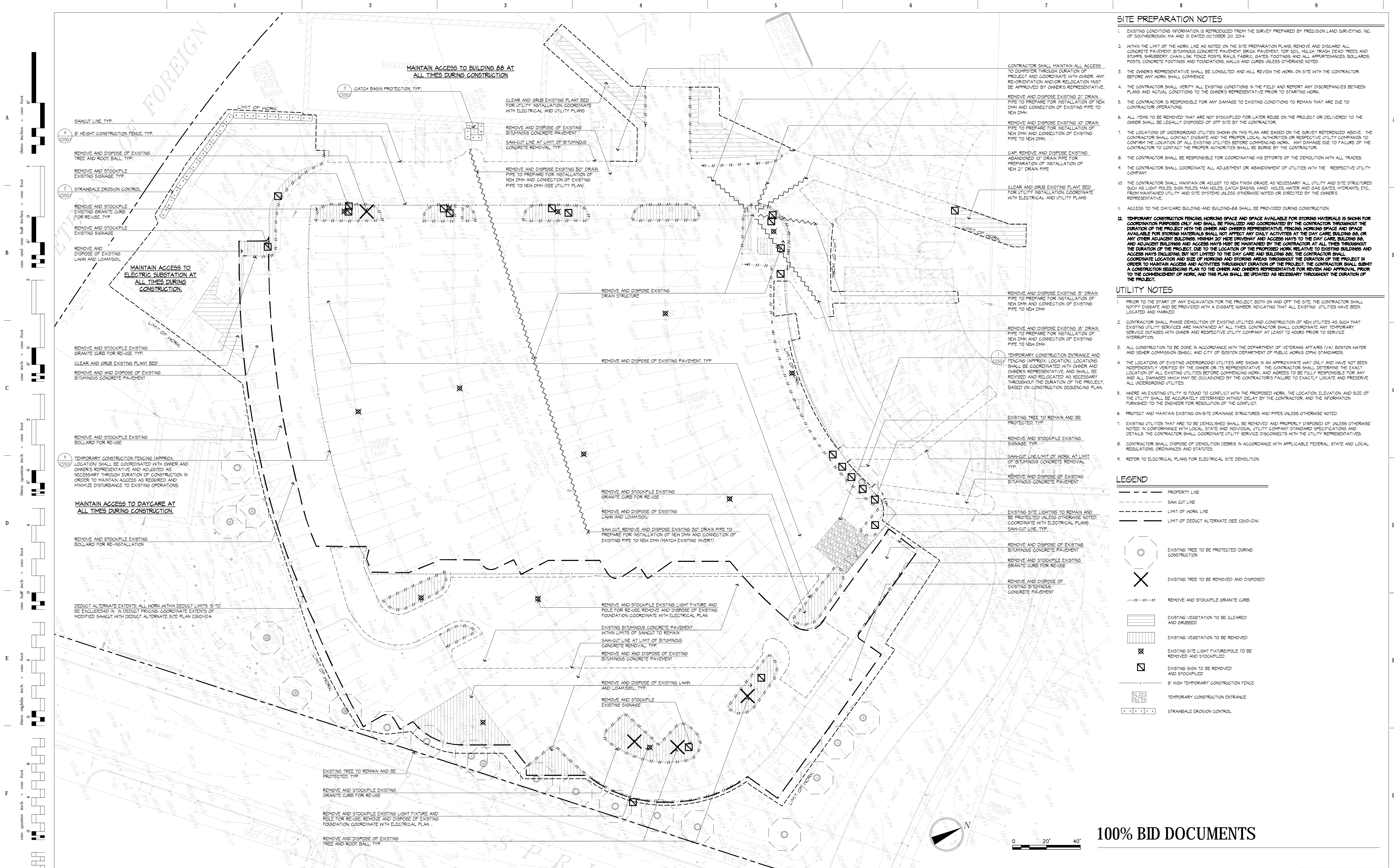
PHASE 2

PHASE 3

PHASE 4

100% BID DOCUMENTS

<div> <div> <div>Revisions:</div> <div></div> </div> <div> <div>Date</div> <div></div> </div> </div>		<div>CONSULTANTS:</div> <div> <div>SPECIFICATIONS:</div> <div> <div>Lowell Specifications</div> <div>34 Marc Avenue</div> <div>Topsham, ME 04802</div> <div>Tel: (207) 406-4001</div> <div>Email: keith@lowellspecs.com</div> </div> </div>	<div> <div> <div> <div>MAINE</div> <div>REGISTERED ARCHITECT</div> <div>NO. 4001</div> <div>DAVID C. WEBSTER</div> <div>CAMBRIDGE, MASS.</div> </div> <div>  </div> </div> </div>	<div>ARCHITECT/ENGINEERS:</div> <div> <div> <div> <div>P D T</div> <div>ARCHITECTS</div> </div> <div> <div>49 DARTMOUTH STREET</div> <div>PORTLAND, ME 04101</div> <div>207-775-1059</div> <div>www.pdtarchts.com</div> </div> </div> <div> <div> <div>Stantec</div> <div>482 Payne Road</div> <div>Scarborough, ME 04074</div> <div>207-879-1838</div> <div>Fax: (207) 883-3376</div> </div> <div> <div>BECKER</div> <div>STRUCTURAL ENGINEERS</div> <div>75 York Street, Portland, Maine 04101</div> <div>207.879.1838 • beckerstructural.com</div> </div> </div> </div>	<div> <div> <div>Drawing Title</div> <div>PHASING PLAN DIAGRAM</div> </div> <div> <div>Approved: Project Director</div> <div> <div>DENIS MCLAUGHLIN</div> <div>VA -JAMAICA PLAIN, MA</div> <div>(857) - 364-5419</div> </div> </div> </div>	<div> <div> <div>Project Title</div> <div>WEST ROXBURY GARAGE</div> </div> <div> <div>Location</div> <div>VAMC - West Roxbury, MA 02132</div> </div> </div>	<div> <div> <div>Project Number</div> <div>523-400</div> </div> <div> <div>Building Number</div> <div>?</div> </div> </div>	<div> <div> <div>Drawing Number</div> <div>G003</div> </div> <div> <div>Dwg: 4 of 99</div> </div> </div>	<div> <div>Office of Facilities Management</div> <div> <div>  <div>Department of Veterans Affairs</div> </div> </div> </div>
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SITE PREPARATION NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEYING, INC. OF SCARBOROUGH, MA AND IS DATED OCTOBER 30, 2014.
- WITHIN THE LIMIT OF THE WORK LINE AS NOTED ON THE SITE PREPARATION PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MISC. TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
- THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
- ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
- THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, GATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ACCESS TO THE DAYCARE BUILDING AND BUILDING-88 SHALL BE PROVIDED DURING CONSTRUCTION.

12. TEMPORARY CONSTRUCTION FENCING, WORKING SPACE AND SPACE AVAILABLE FOR STORING MATERIALS IS SHOWN FOR COORDINATION PURPOSES ONLY AND SHALL BE FINALIZED AND COORDINATED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT WITH THE OWNER AND OWNER'S REPRESENTATIVE. FENCING, WORKING SPACE AND SPACE AVAILABLE FOR STORING MATERIALS SHALL NOT AFFECT ANY DAILY ACTIVITIES AT THE DAY CARE BUILDING 88, OR ANY OTHER ADJACENT BUILDINGS. MINIMUM 20' WIDE DRIVEWAY AND ACCESS HAYS TO THE DAY CARE BUILDING 88, AND ADJACENT BUILDINGS AND ACCESS HAYS MUST BE MAINTAINED BY THE CONTRACTOR AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. DUE TO THE LOCATION OF THE PROPOSED WORK RELATIVE TO EXISTING BUILDINGS AND ACCESS HAYS (INCLUDING, BUT NOT LIMITED TO THE DAY CARE AND BUILDING 88), THE CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF WORKING AND STORING AREAS THROUGHOUT THE DURATION OF THE PROJECT IN ORDER TO MAINTAIN ACCESS AND ACTIVITIES THROUGHOUT DURATION OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SEQUENCING PLAN TO THE OWNER AND OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF WORK, AND THIS PLAN SHALL BE UPDATED AS NECESSARY THROUGHOUT THE DURATION OF THE PROJECT.

UTILITY NOTES

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR SHALL PHASE DEMOLITION OF EXISTING UTILITIES AND CONSTRUCTION OF NEW UTILITIES AS SUCH THAT EXISTING UTILITY SERVICES ARE MAINTAINED AT ALL TIMES. CONTRACTOR SHALL COORDINATE ANY TEMPORARY SERVICE OUTAGES WITH OWNER AND RESPECTIVE UTILITY COMPANY AT LEAST 12 HOURS PRIOR TO SERVICE INTERRUPTION.
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE DEPARTMENT OF VETERANS AFFAIRS (VA), BOSTON WATER AND SEWER COMMISSION (BWS), AND CITY OF BOSTON DEPARTMENT OF PUBLIC WORKS (DPW) STANDARDS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.

- EXISTING UTILITIES THAT ARE TO BE DEMOLISHED SHALL BE REMOVED AND PROPERLY DISPOSED OF, UNLESS OTHERWISE NOTED IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL SITE DEMOLITION.

LEGEND

- PROPERTY LINE
- SAW CUT LINE
- LIMIT OF WORK LINE
- LIMIT OF DEDUCT ALTERNATE (SEE CS010A)
- EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION
- EXISTING TREE TO BE REMOVED AND DISPOSED
- REMOVE AND STOCKPILE GRANITE CURB
- EXISTING VEGETATION TO BE CLEARED AND GRUBBED
- EXISTING VEGETATION TO BE REMOVED
- EXISTING SITE LIGHT FIXTURE/POLE TO BE REMOVED AND STOCKPILED
- EXISTING SIGN TO BE REMOVED AND STOCKPILED
- 8' HIGH TEMPORARY CONSTRUCTION FENCE
- TEMPORARY CONSTRUCTION ENTRANCE
- STRANDBALE EROSION CONTROL

100% BID DOCUMENTS

		CONSULTANTS:				ARCHITECT/ENGINEERS:								<div>Drawing Title CIVIL - PLAN - DEMO</div> <div>Approved: Project Director</div>		<div>Project Title WEST ROXBURY GARAGE</div> <div>Location VAMC - West Roxbury, MA 02132</div>		<div>Project Number 523-400</div> <div>Building Number ?</div> <div>Drawing Number CD101</div>		<div>Office of Facilities Management</div> <div> Department of Veterans Affairs</div>			
		SPECIFICATIONS:		LOWELL SPECIFICATIONS 50 Fernald Road Freeport, ME 04032 Tel: (207) 865-4518 Fax: (207) 865-1136		ARCHITECTURE INTERIOR DESIGN PLANNING		49 DARTMOUTH STREET PORTLAND, ME 04101 207-775-1059 www.pdtarchs.com		Stantec 482 Payne Road Scarborough, ME 04074 Tel: (207) 883-3355 Fax: (207) 883-3376		75 York Street, Portland, Maine 04101 207.879.1838 ■ beckerstructural.com				Date 06/15/2015		Checked TM		Drawn JM			
Revisions:		Date																					

LAYOUT AND MATERIALS NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEYING, INC. OF SOUTHBOROUGH, MA AND IS DATED OCTOBER 20, 2014.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DISSEMINATE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF BOSTON, MA.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL FACES, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN: ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING. ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE. ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- FOR LAYOUT AND DIMENSIONING OF BUILDINGS, SEE ARCHITECTURAL DRAWINGS.
- SCREENED IMAGES SHOWN EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPOSED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

LAYOUT AND MATERIALS LEGEND

- PROPERTY LINE
- LIMIT OF WORK LINE
- SAW CUT LINE
- CEMENT CONCRETE PAVEMENT
- CEMENT CONCRETE PAVEMENT WITH INTEGRAL CURB
- BITUMINOUS CONCRETE PAVEMENT
- BITUMINOUS CONCRETE CURB
- VERTICAL GRANITE CURB, TYP.
- CROSSWALK STRIPING, 6" WIDE PAINTED LINES
- SITE LIGHT - COORDINATE WITH ELECTRICAL PLANS

100% BID DOCUMENTS

CONSULTANTS:

SPECIFICATIONS:
Lowell Specifications
50 Fernald Road
Freeport, ME 04032
Tel: (207) 865-4518
Fax: (207) 865-1136

ARCHITECT/ENGINEERS:

ARCHITECTURE
INTERIOR DESIGN
PLANNING
PDT ARCHITECTS
49 DARTMOUTH STREET
PORTLAND, ME 04101
207-775-1059
www.pdtao.com



Stantec
482 Payne Road
Scarborough, ME 04074
Tel: (207) 883-3355
Fax: (207) 883-3376



Drawing Title
CIVIL - PLAN - SITE

Approved: Project Director

Project Title
WEST ROXBURY GARAGE

Location
VAMC - West Roxbury, MA 02132

Date
06/15/2015

Checked
TM

Drawn
JM

Project Number
523-400

Building Number
?

Drawing Number
CS101

Dwg. of ###

Office of
Facilities
Management

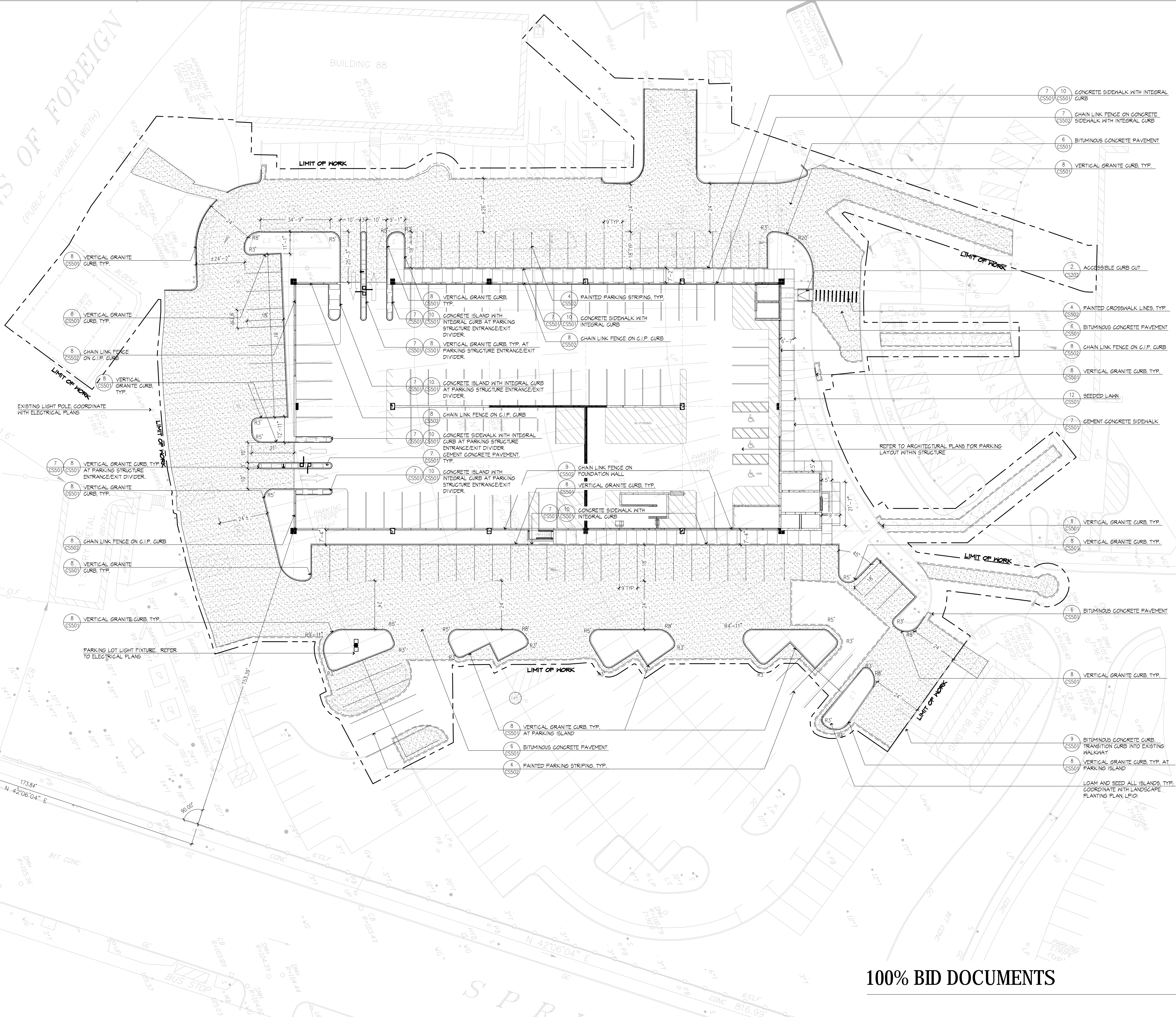


LAYOUT AND MATERIALS NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEYING, INC. OF SOUTHBOROUGH, MA AND IS DATED OCTOBER 20, 2014.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DISSEAT AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF BOSTON, MA.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL FACES, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING. ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE. ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- FOR LAYOUT AND DIMENSIONING OF BUILDINGS, SEE ARCHITECTURAL DRAWINGS.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPOSED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

LAYOUT AND MATERIALS LEGEND

- PROPERTY LINE
- LIMIT OF WORK LINE
- SAW CUT LINE LINE
- CEMENT CONCRETE PAVEMENT
- CEMENT CONCRETE PAVEMENT WITH INTEGRAL CURB
- BITUMINOUS CONCRETE PAVEMENT
- BITUMINOUS CONCRETE CURB
- VERTICAL GRANITE CURB
- CROSSWALK STRIPING, 6" WIDE PAINTED LINES
- SITE LIGHT - COORDINATE WITH ELECTRICAL PLANS



100% BID DOCUMENTS

		CONSULTANTS:				ARCHITECT/ENGINEERS:				<div>Project Title CIVIL - PLAN - SITE DEDUCT ALTERNATE</div> <div>Approved: Project Director</div>		<div>Project Title WEST ROXBURY GARAGE</div> <div>Location VAMC - West Roxbury, MA 02132</div> <div>Date 06/15/2015</div>		<div>Project Number 523-400</div> <div>Building Number ?</div> <div>Checked TM</div>		<div>Drawing Number CS101-DA</div> <div>Dwg: of ###</div> <div> Department of Veterans Affairs</div>	
		SPECIFICATIONS:				<div>ARCHITECTS</div> <div>49 DARTMOUTH STREET PORTLAND, ME 04101 207-775-1059 www.pdarchs.com</div>		<div>Stantec</div> <div>482 Payne Road Scarborough, ME 04074 Tel: (207) 883-3355 Fax: (207) 883-3376</div>		<div>BECKER STRUCTURAL ENGINEERS</div> <div>75 York Street, Portland, Maine 04101 207.879.1838 ■ beckerstructural.com</div>		<div>Date 06/15/2015</div> <div>Drawn JM</div>					
Revisions:		Date															

UTILITY LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- DOUBLE CATCH BASIN
- CURB INLET
- DRAIN LINE (EXIST.)
- DRAIN LINE
- SEWER LINE (EXIST.)
- SEWER LINE
- WATER LINE
- ELECTRIC DUCTBANK
- TELECOM DUCTBANK
- LIMIT OF WORK LINE
- SAV CUT LINE
- PROPERTY LINE
- CLEAN OUT
- WATER GATE
- HYDRANT
- INTERCEPTOR
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- TAPPING SLEEVE AND VALVE
- BWS "DON'T DUMP" PLAQUE
- DROP OVER DRAIN MANHOLE (SEE DETAIL)
- DODMH

DODMH5
R=97.04
(N)=90.00 (DMH-1)
(OUT)=90.22 (S OUT)
(INSPECTION I)

DMH-4
R=96.70
(N)=90.43 (DMH-1)
(N)=90.01 (CB-2)
(OUT)=90.43 (DODMH5)
(INSPECTION G)

CB-2
R=96.38
(N)=91.60 (DMH-3)
(OUT)=94.00 (DMH-4)
(INSPECTION H)

"DON'T DUMP" PLAQUE
(TYP.-ALL INLETS)

CONTRACTOR SHALL RELOCATE
EXISTING SEWER FORCE MAIN
AS NEEDED TO AVOID CONFLICTS
WITH GARAGE. EXISTING FORCE
MAIN LOCATION AND DISCHARGE
POINT UNKNOWN. CONTRACTOR
SHALL TRACE/LOCATE PRIOR TO
CONSTRUCTION.

PROPOSED INFILTRATION SYSTEM 2
(LIMITS: 6' X 123'.1 ROW, 120'
OF 30" PERF. HDPE PIPE LAID
FLAT, SURROUNDED BY STONE.
BOTTOM OF STONE = 91.10.
PIPE INVERT = 91.60.(SEE DETAIL)
(INSPECTION T)

CB-3
R=97.82
(OUT)=91.00 (CB-2)
(INSPECTION F)

DCB-1
R=98.27
(OUT)=93.50 (NE INV)
(OUT)=94.15 (DMH-2)
(INSPECTION D)

DMH-3
R=99.41
(N)=90.00 (DMH-2)
(OUT)=90.00 (DMH-4)
(INSPECTION E)

INSPECTION W SHALL BE A
PER DIEM INSPECTION FOR
THE DURATION OF THE BWS
DRAIN LINE BETWEEN
DODMH1 AND DODMH5 (TYP.)
(INSPECTION W)

PROPOSED ELECTRIC AND
LIGHTING (APPROXIMATE
LOCATIONS) TO BE PRICED
AS ALTERNATE (SEE
ELECTRICAL PLANS FOR
COORDINATION AND FINAL
LOCATIONS)

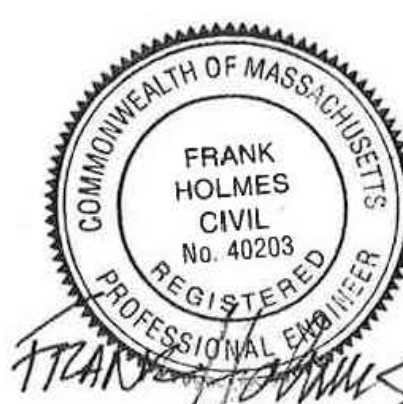
PROPOSED ELECTRICAL AND LIGHTING
LAYOUT SHOWN ON THIS PLAN FOR
COORDINATION PURPOSES. REFER TO
ELECTRICAL PLANS FOR ADDITIONAL
INFORMATION.

1. PARCEL NUMBERS	XXXXXXXXXX
2. WARD	#XX
3. PROPERTY LOCATION	ADDRESS
4. NEIGHBORHOOD	NAME
5. SITE ZIP	XXXXX
6. OWNER / PROPONENT	NAME
7. OWNER / PROPONENT ADDRESS	NAME ADDRESS 1 ADDRESS 2 TOWN ZIP
8. PROPONENT	XXXXXXXXXXXX
9. PROPONENT TELEPHONE	XXX.XXX.XXXX
10. TYPE OF PREMISE	HOSPITAL
11. EXISTING BWS ACCOUNT	XXXXX(METER# XXXX)

SITE PLAN NUMBER #XXXXX

CONSULTANTS:

SPECIFICATIONS:
Lowell Specifications
50 Fernald Road
Freeport, ME 04032
Tel: (207) 865-4518
Fax: (207) 865-1136



ARCHITECT/ENGINEERS:

PDT ARCHITECTS
ARCHITECTURE
INTERIOR DESIGN
PLANNING
49 DARTMOUTH STREET
PORTLAND, ME 04101
207-775-1059
www.pdtrch.com



Stantec
482 Payne Road
Scarborough, ME 04074
Tel: (207) 883-3355
Fax: (207) 883-3376



Drawing Title

CIVIL - PLAN - UTILITIES

Approved: Project Director

UTILITY NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEYING, INC. OF SOUTHBOROUGH, MA AND IS DATED OCTOBER 20, 2014.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DISSE AND BE PROVIDED WITH A DISSE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR SHALL ADJUST UTILITY ELEMENTS MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE DEPARTMENT OF VETERANS AFFAIRS (VA), BOSTON WATER AND SEWER COMMISSION (BWSC), AND CITY OF BOSTON DEPARTMENT OF PUBLIC WORKS (DPW) STANDARDS.
- ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF BOSTON OR MASSDOT, AND SHALL BE DONE BY CONTRACTORS LICENSED TO PERFORM SUCH WORK IN THE CITY AND ROADWAY.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE AND VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D2034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS.
- SITE LIGHTING IS SHOWN ON THIS PLAN FOR COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS FOR EXACT TYPE AND LOCATION.
- REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- REFER TO PLUMBING PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDINGS WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- ALL GEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 56) VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER CITY REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.0 FEET OF GROUND COVER AND A MINIMUM OF 10 FOOT SEPARATION FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
- EXISTING UTILITIES THAT ARE TO BE DEMOLISHED SHALL BE REMOVED AND PROPERLY DISPOSED OF, UNLESS OTHERWISE NOTED IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- CONTRACTOR SHALL PROVIDE OWNER WITH TWO HARD COPIES AND ONE ELECTRONIC AUTOCAD FORMAT DRAWING OF THE AS-BUILT CONDITION.
- LOCATION OF ELECTRIC & COMMUNICATIONS UNDERGROUND STRUCTURES & UTILITIES IS FOR COORDINATION PURPOSES ONLY. SEE ELECTRICAL ENGINEERS DRAWING & SPECIFICATIONS FOR LOCATION, SIZE, & DETAILS OF ALL CONDUITS, DUCTBANKS & MANHOLES.

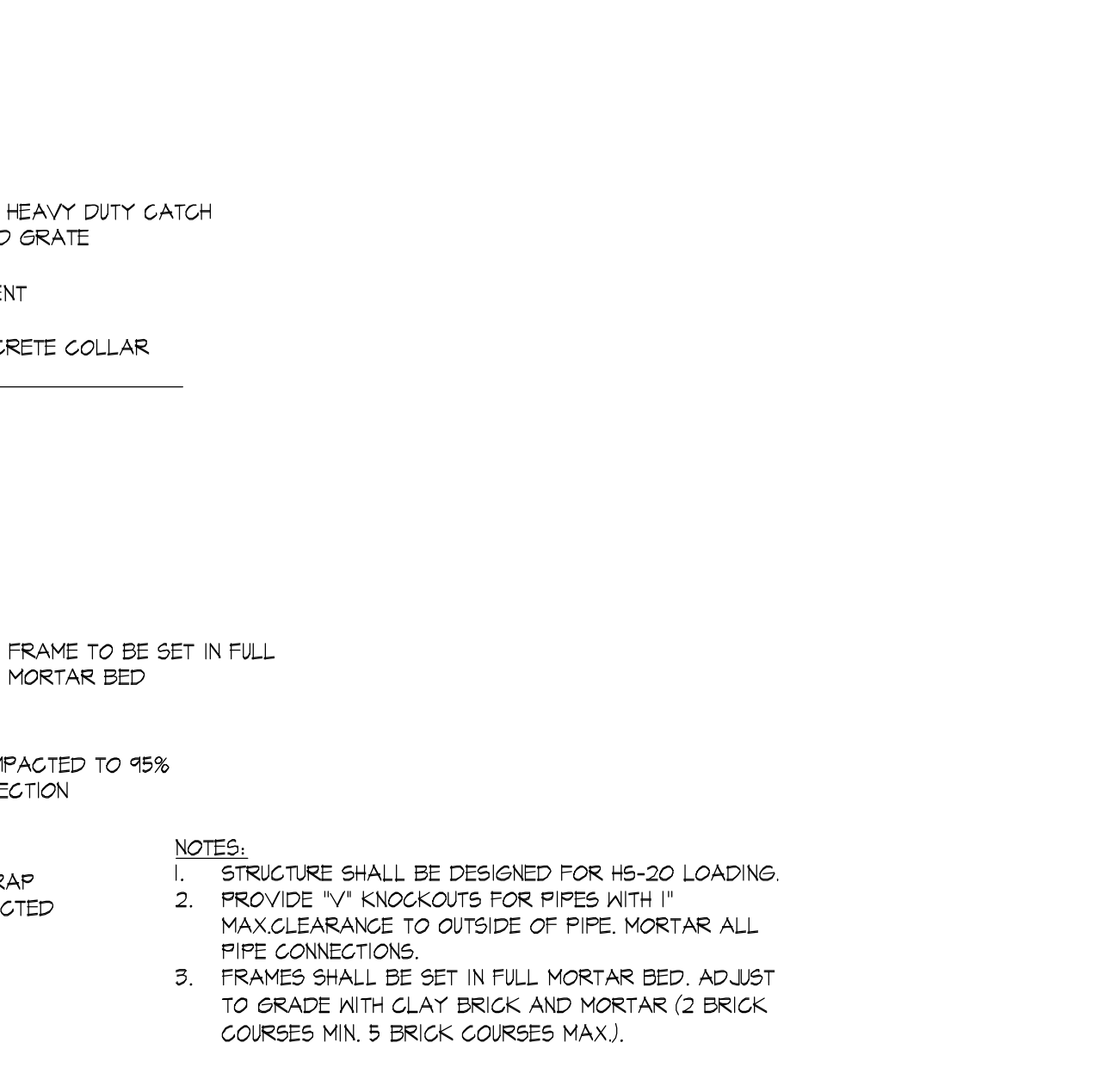
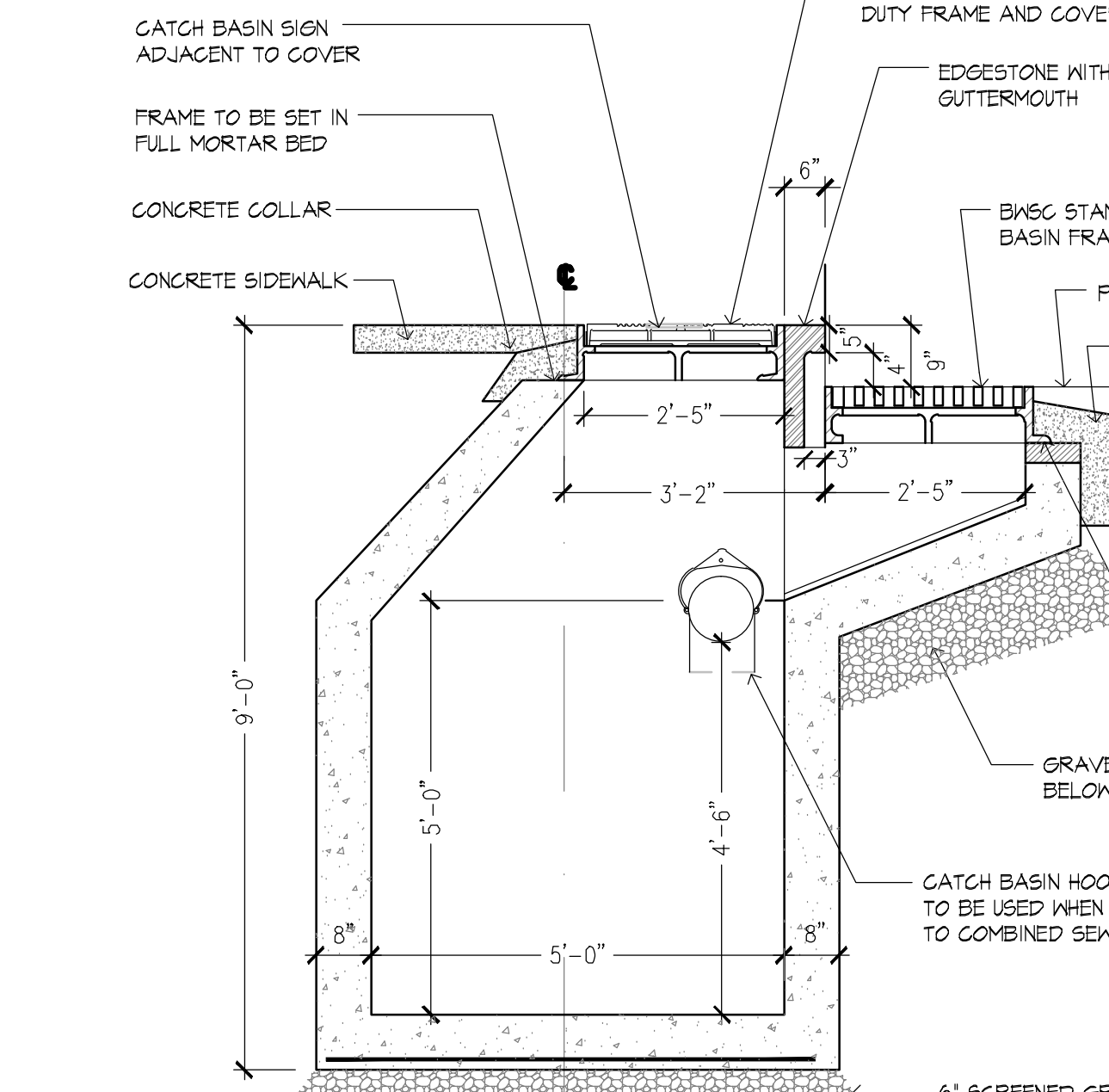
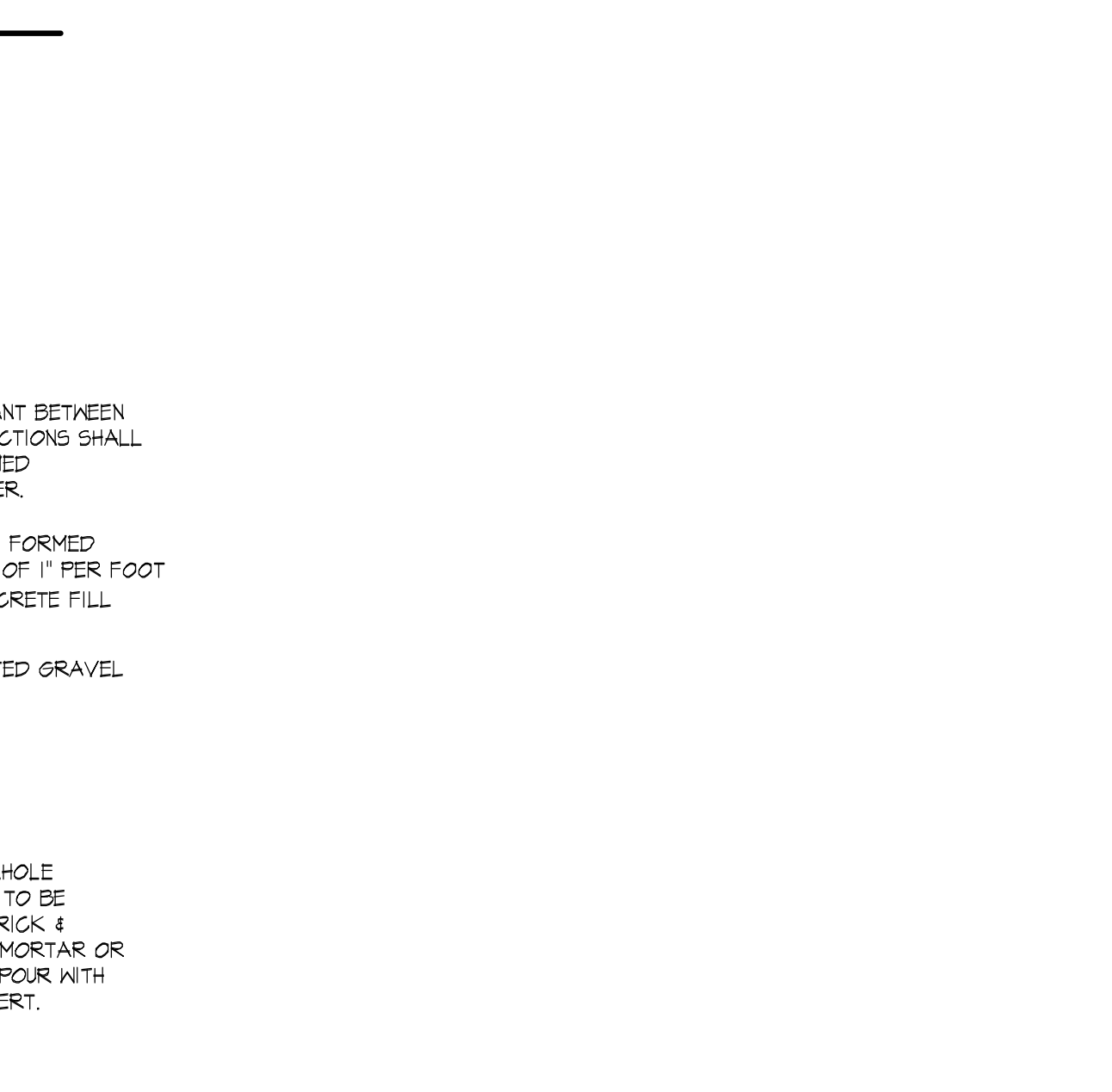
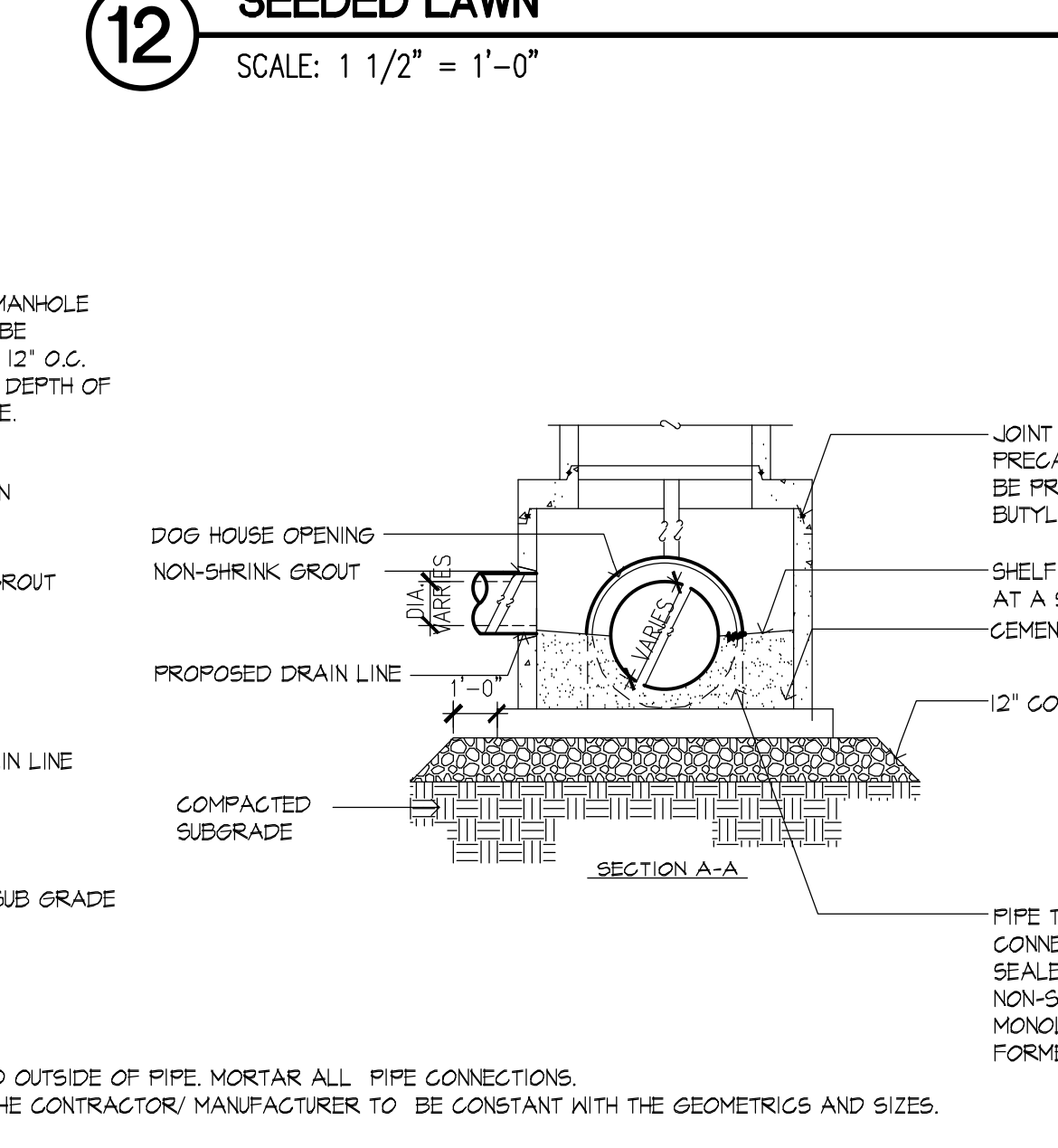
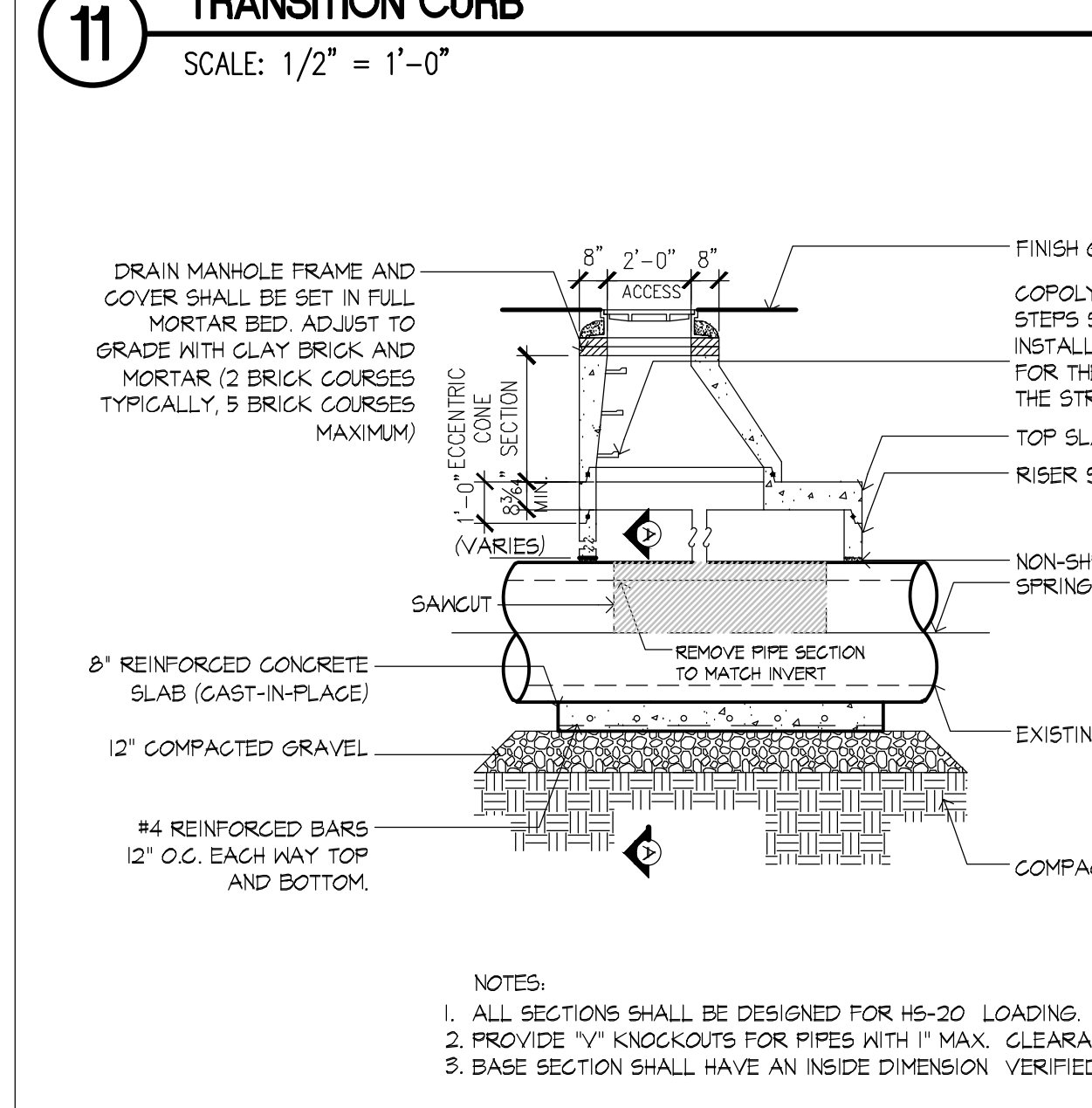
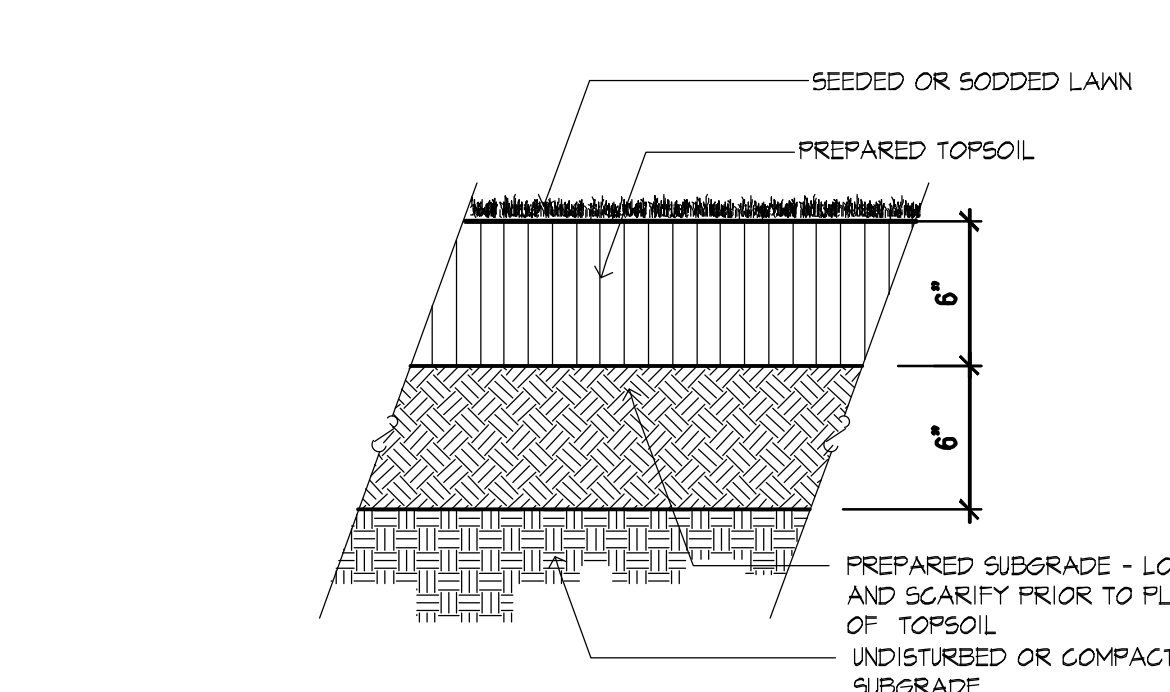
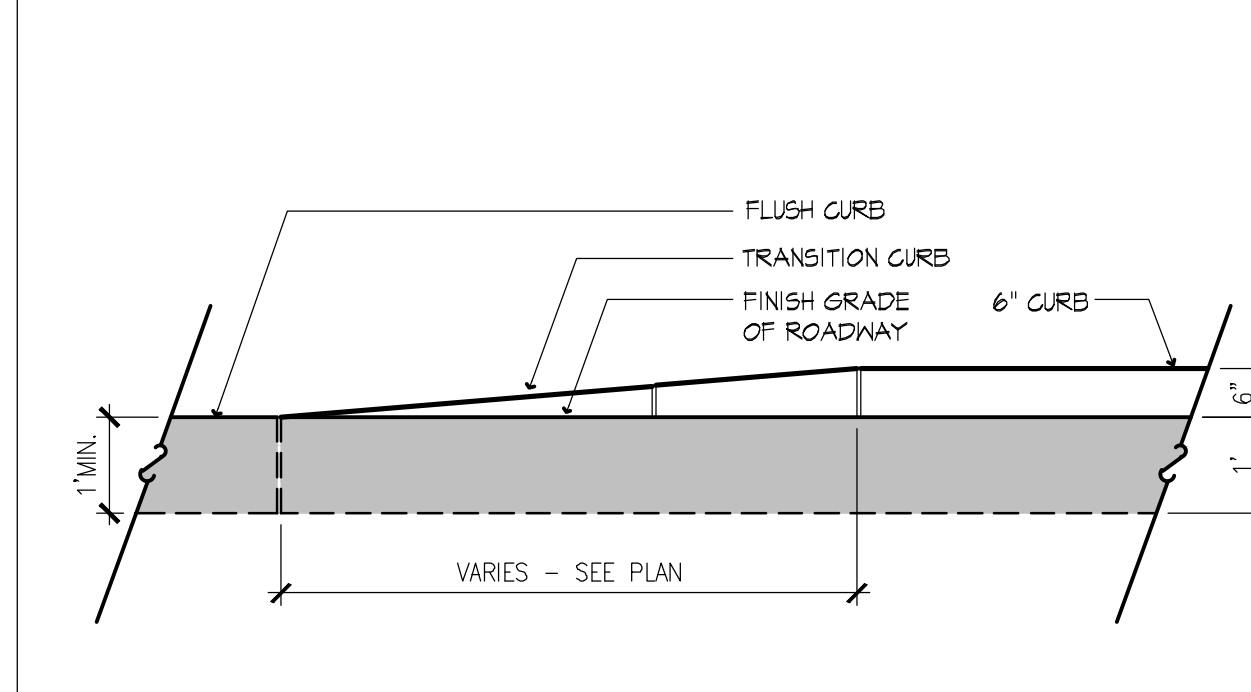
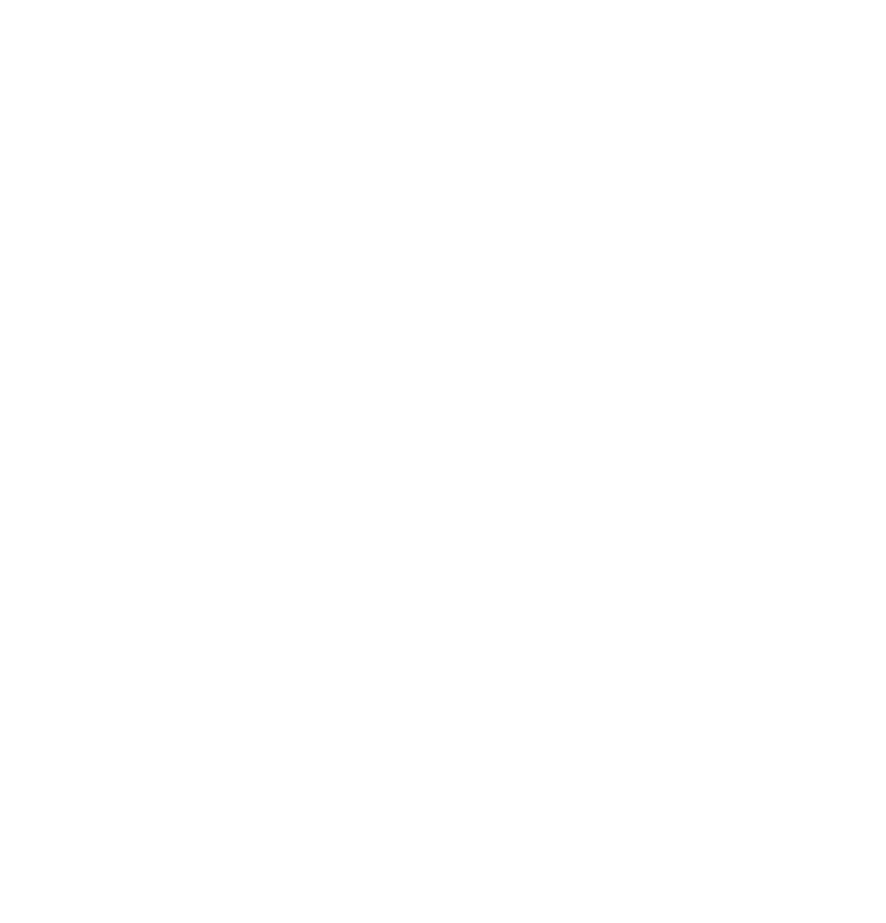
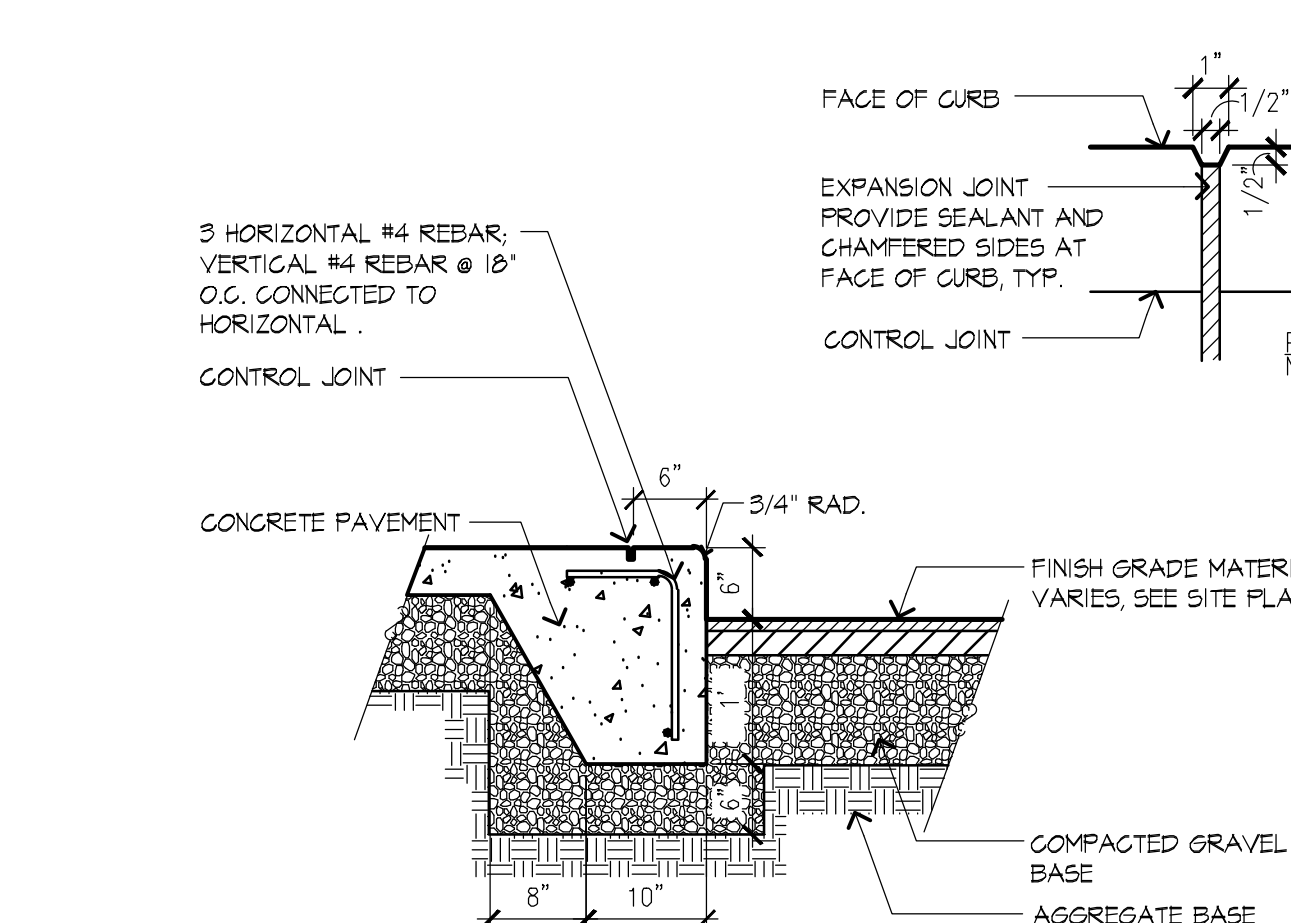
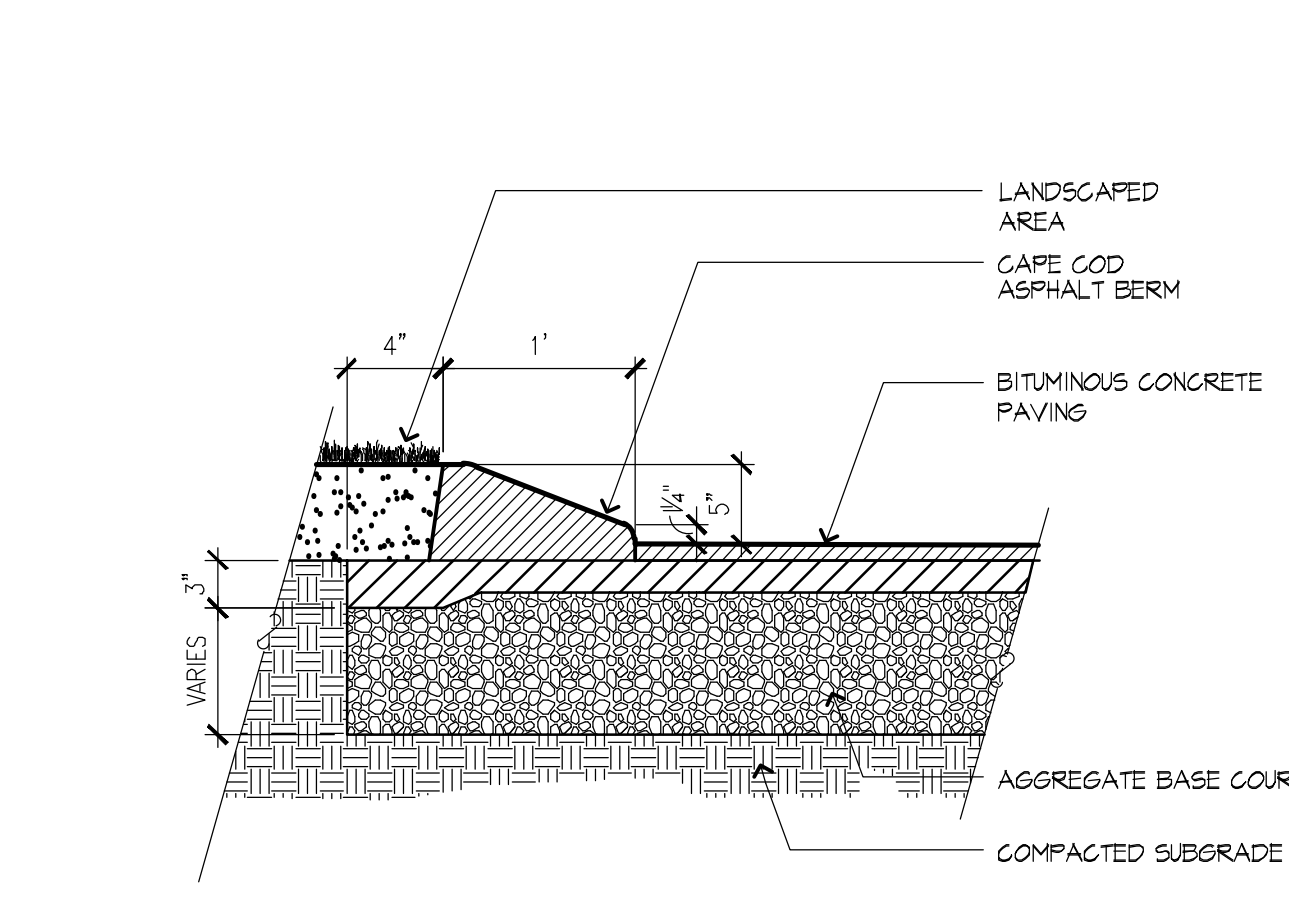
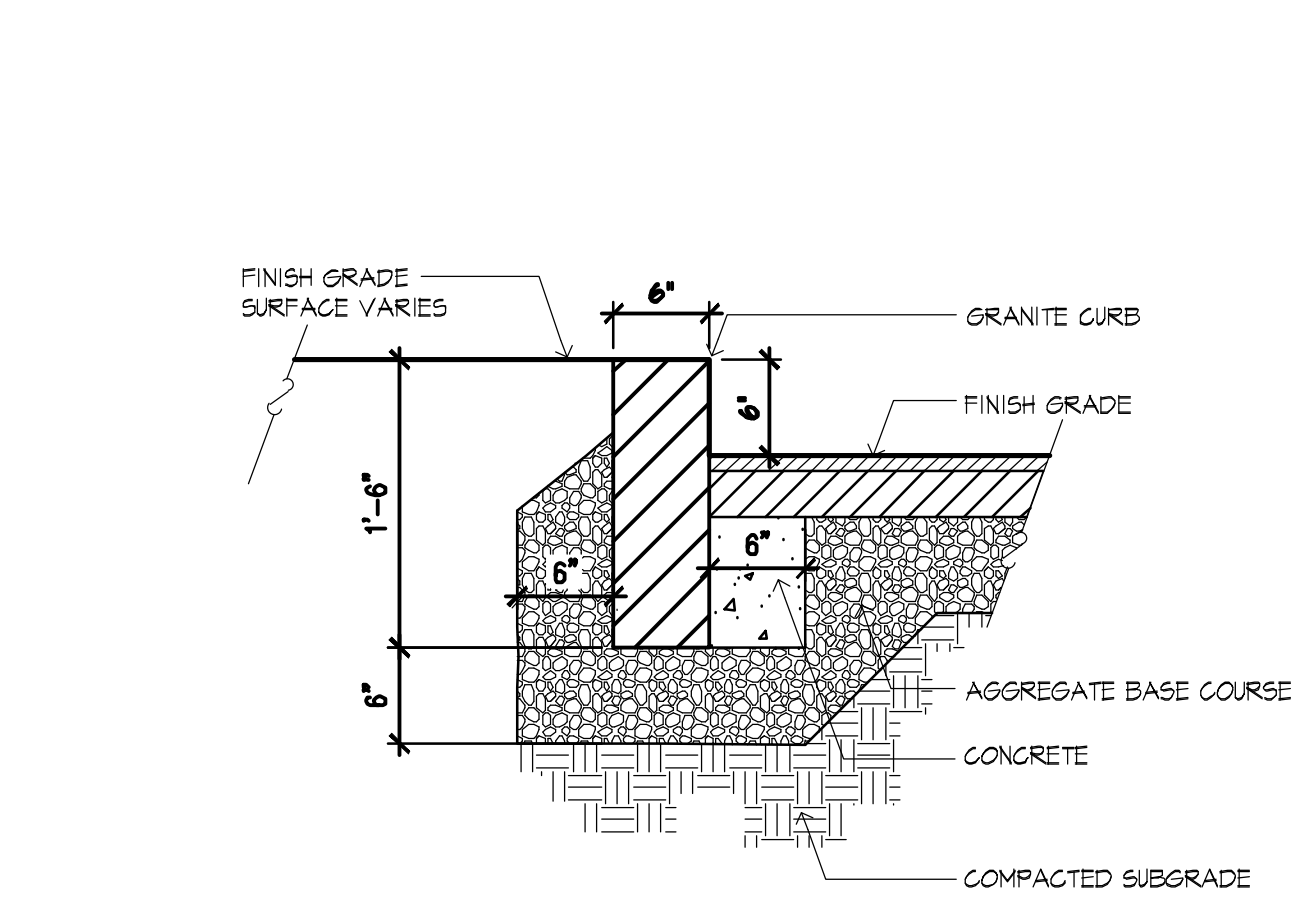
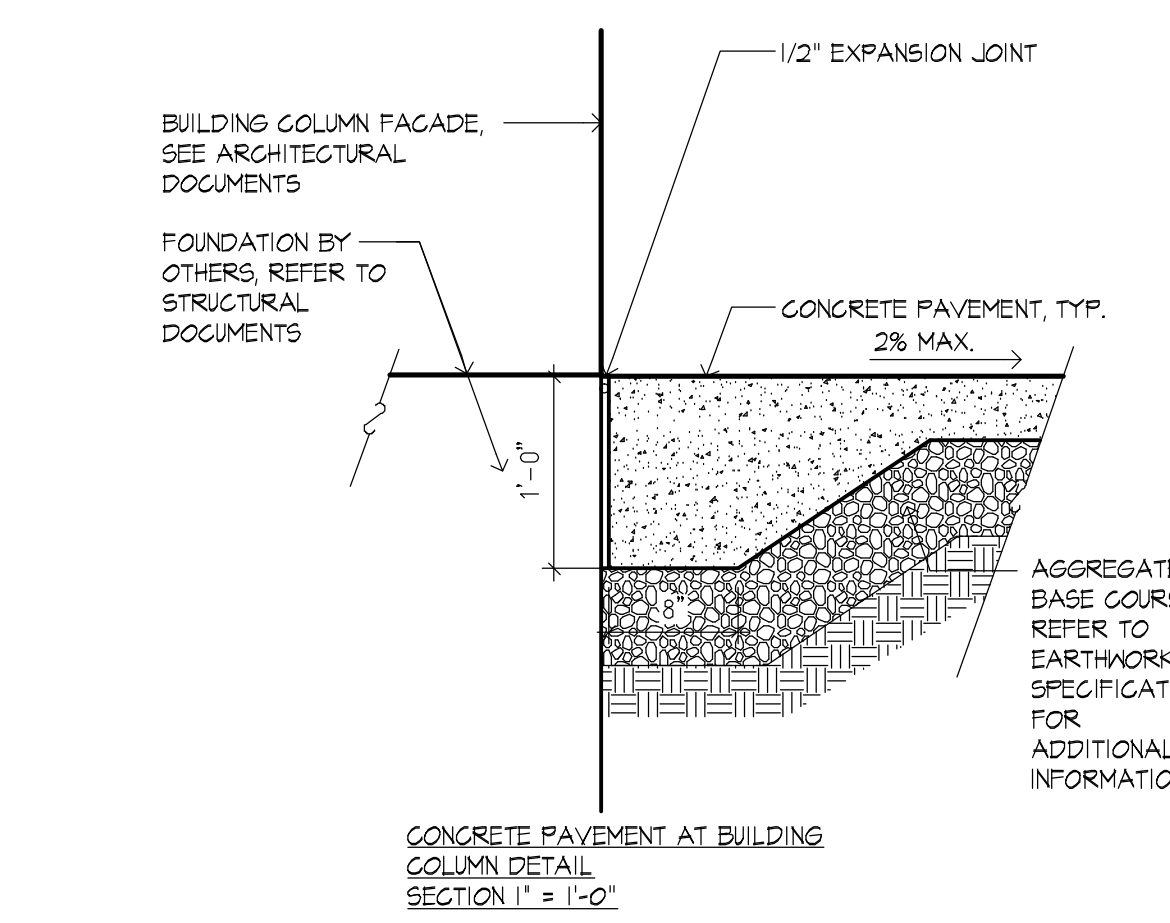
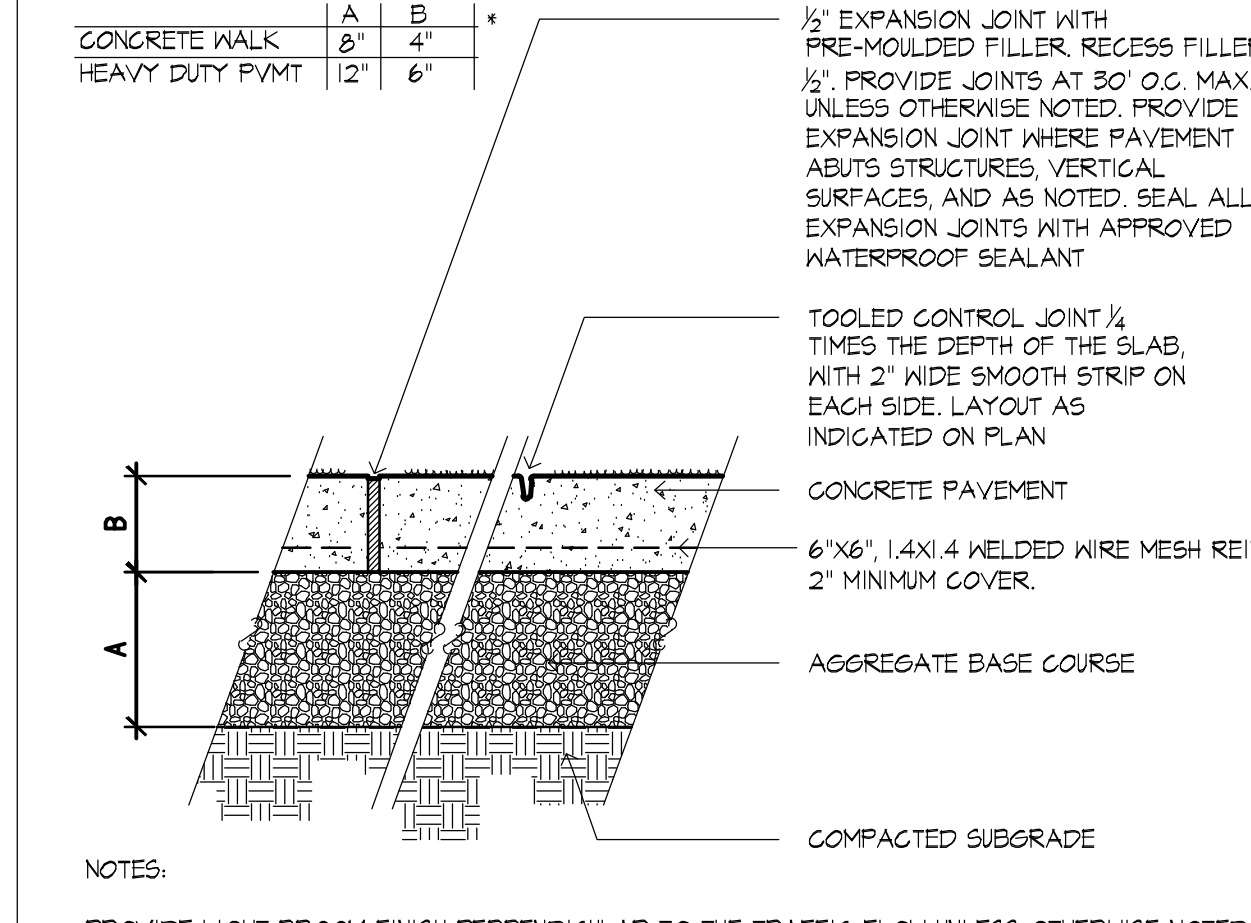
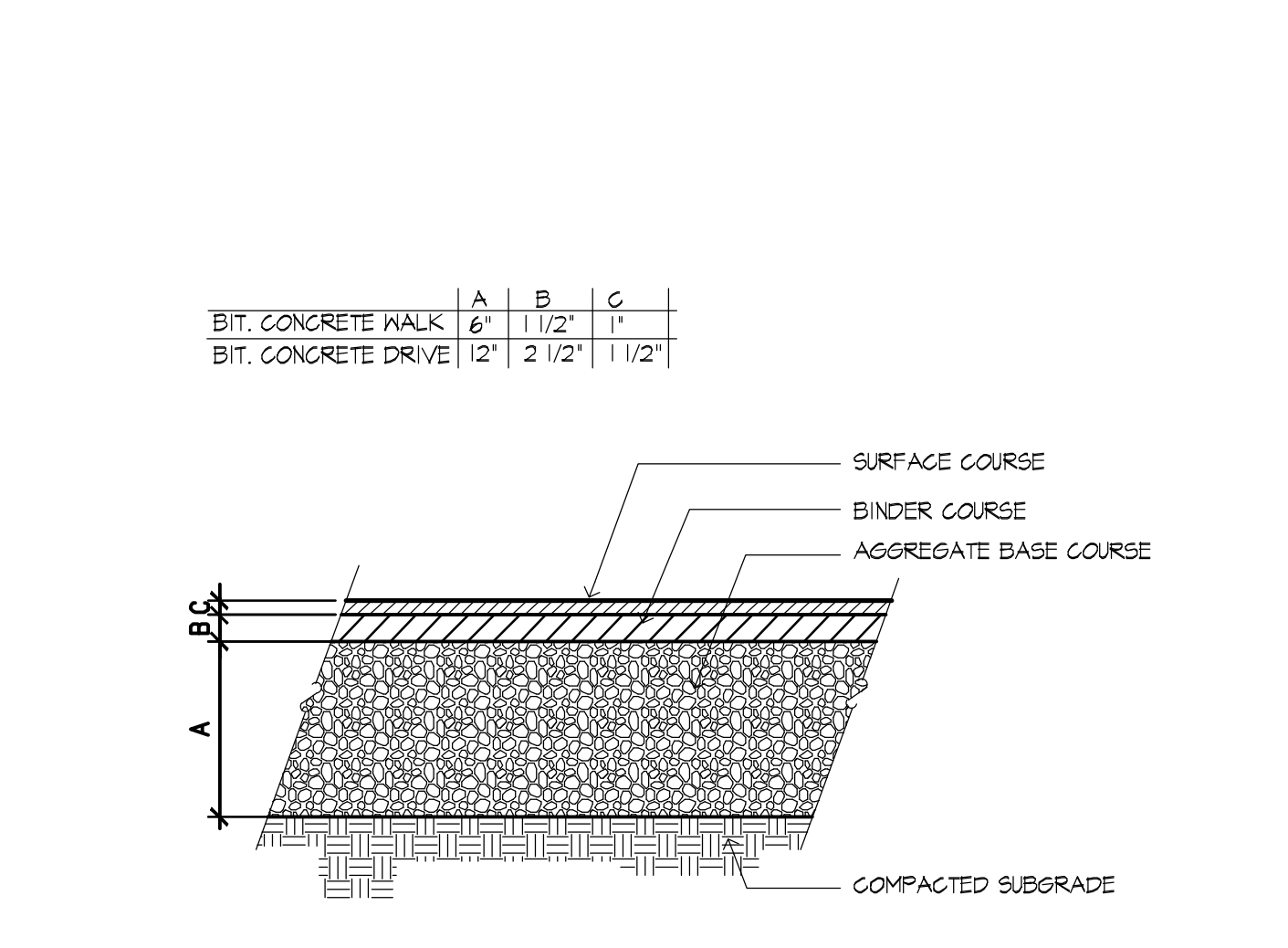
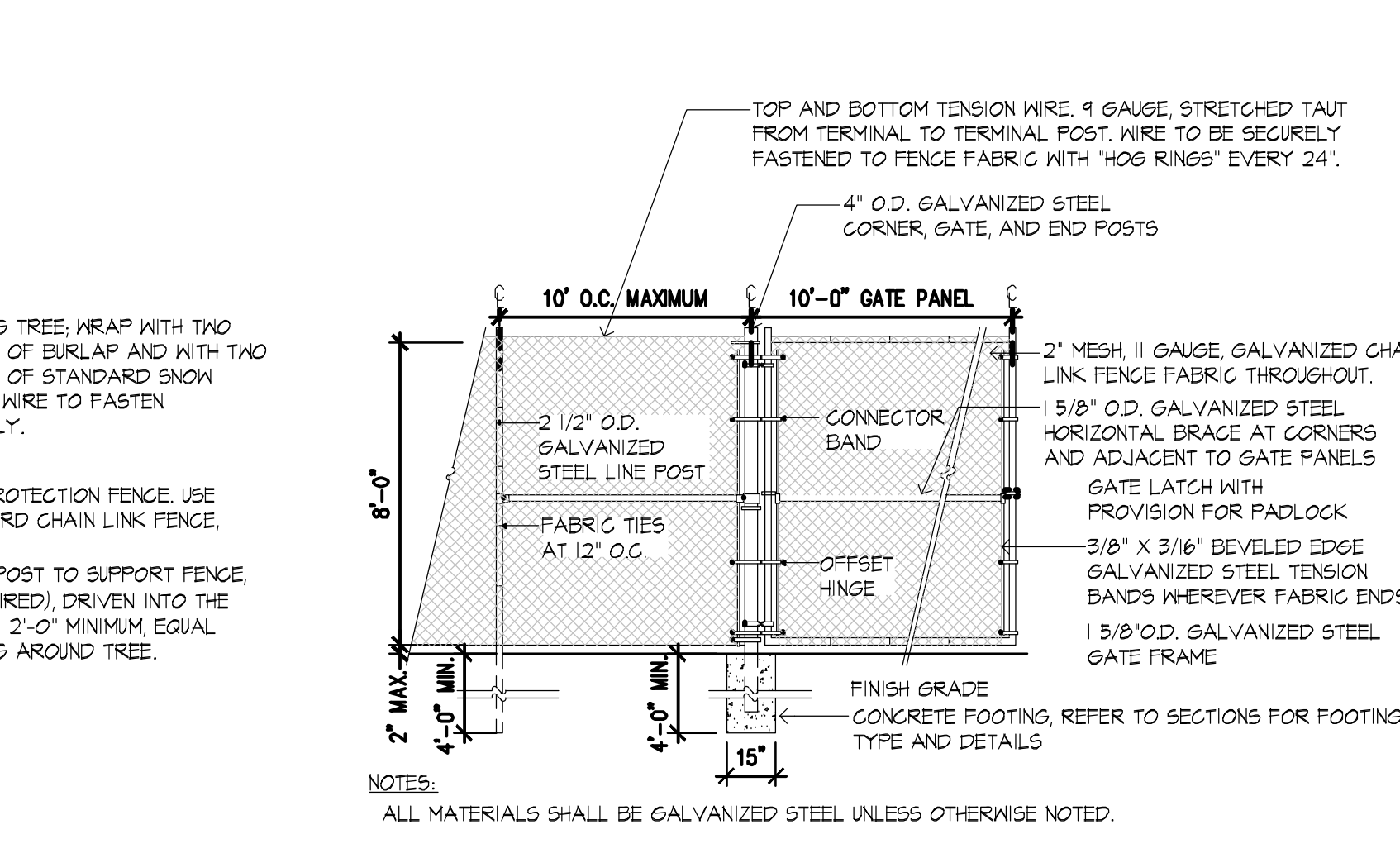
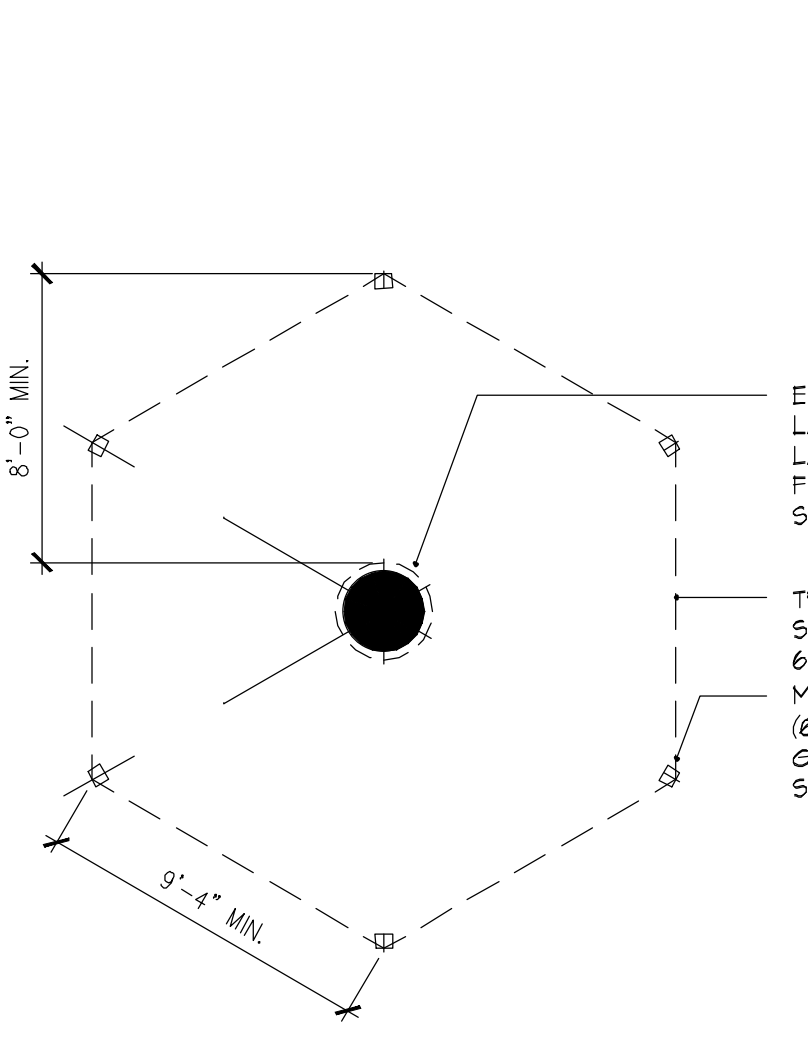
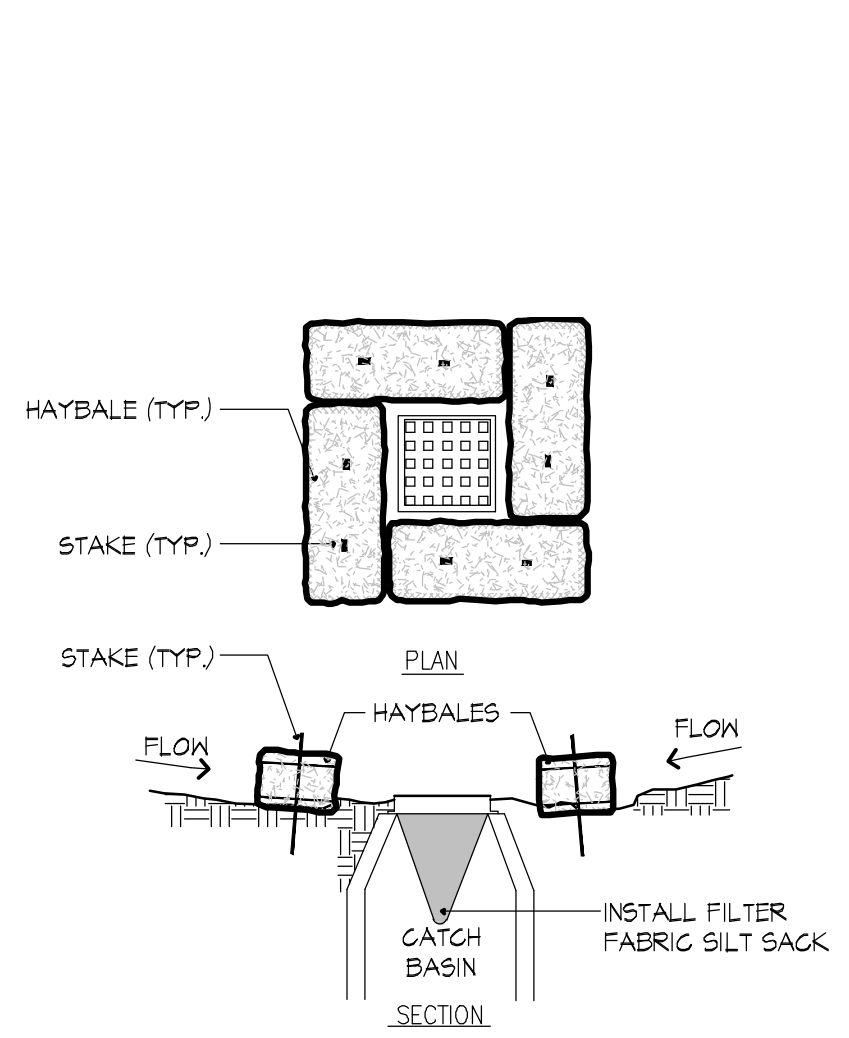
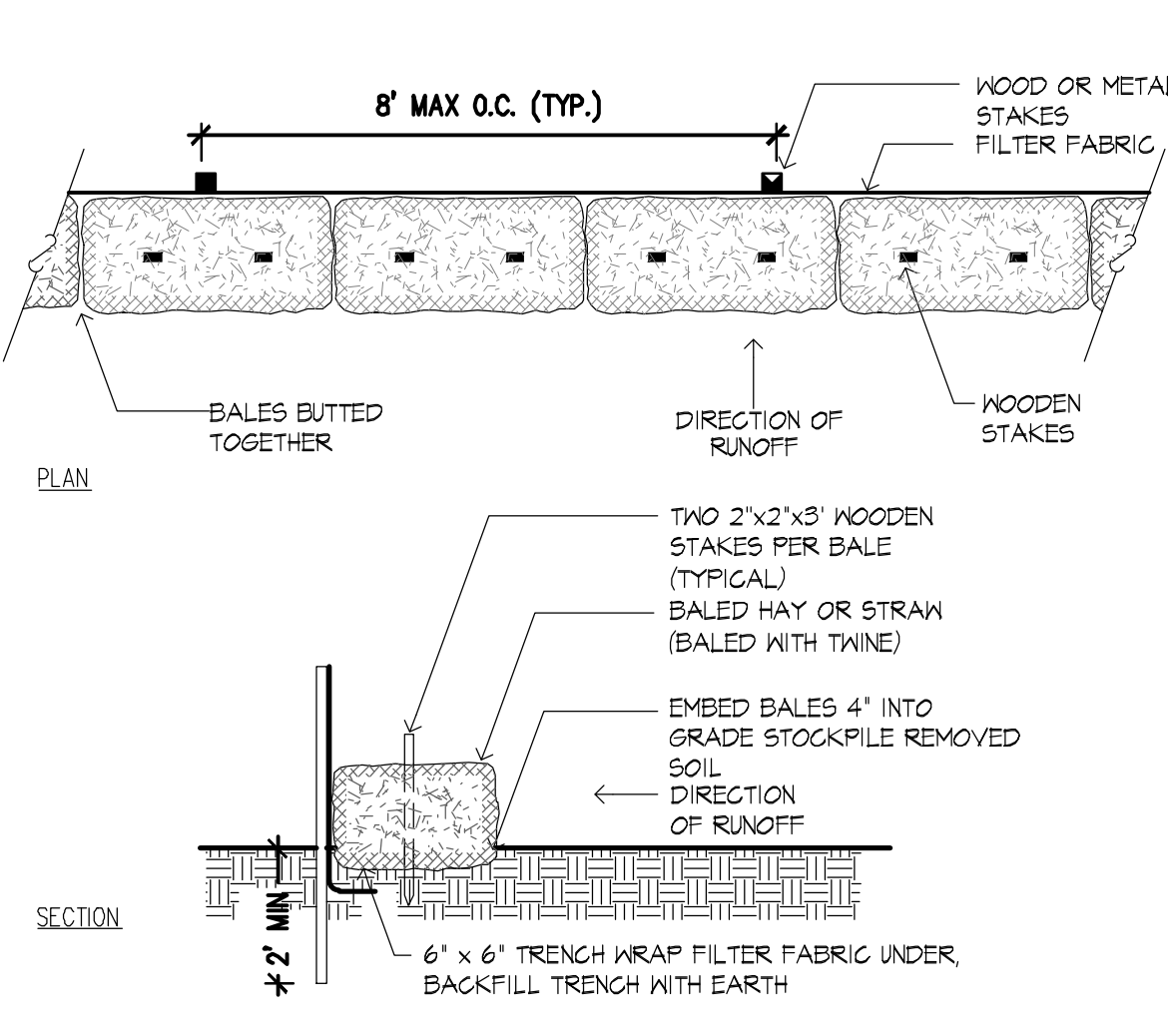
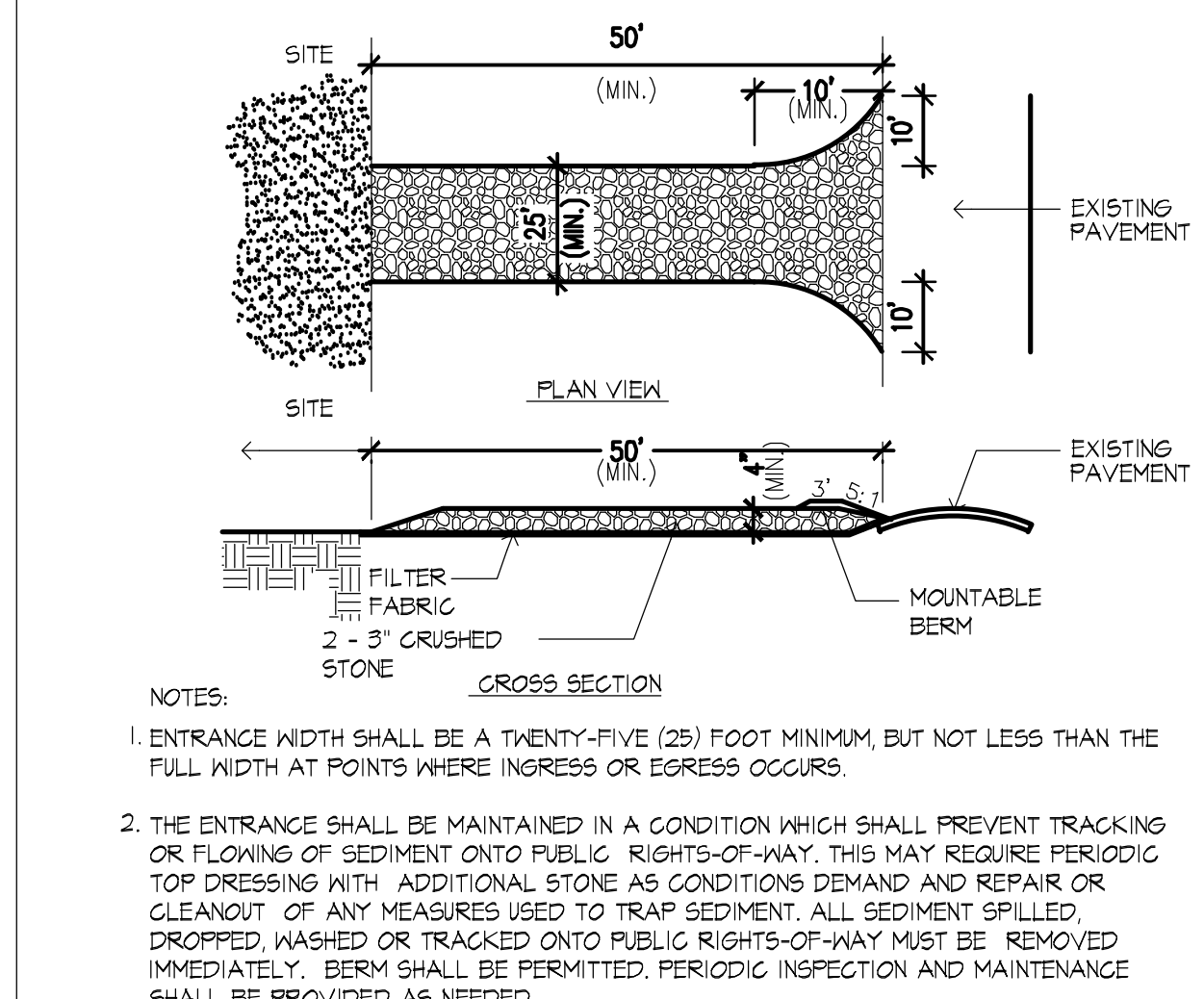
BWS INSPECTIONS:

(A) NEW DROP OVER DRAIN MANHOLE & CONNECTION TO EXISTING PIPE (DODMH1):	BWSC INSPECTOR	DATE
(B) NEW DRAIN MANHOLE (DMH-2):	BWSC INSPECTOR	DATE
(C) NEW DRAIN MANHOLE (DMH-11):	BWSC INSPECTOR	DATE
(D) NEW DOUBLE CATCH BASIN WITH "DON'T DUMP" PLAQUE (DCB-1):	BWSC INSPECTOR	DATE
(E) NEW DRAIN MANHOLE (DMH-3):	BWSC INSPECTOR	DATE
(F) NEW CATCH BASIN WITH "DON'T DUMP" PLAQUE (CB-3):	BWSC INSPECTOR	DATE
(G) NEW DRAIN MANHOLE (DMH-4):	BWSC INSPECTOR	DATE
(H) NEW CATCH BASIN WITH "DON'T DUMP" PLAQUE (CB-2):	BWSC INSPECTOR	DATE
(I) NEW DROP OVER DRAIN MANHOLE & CONNECTION TO EXISTING PIPE (DODMH5):	BWSC INSPECTOR	DATE
(J) NEW DRAIN MANHOLE AND CONNECTION TO EXISTING PIPE (DMH-9):	BWSC INSPECTOR	DATE
(K) NEW DRAIN MANHOLE (DMH-8):	BWSC INSPECTOR	DATE
(L) NEW DRAIN MANHOLE (DMH-7):	BWSC INSPECTOR	DATE
(M) NEW DRAIN MANHOLE (DMH-6):	BWSC INSPECTOR	DATE
(N) NEW SEWER CONNECTION AT EXISTING SEWER MANHOLE (EXSMH-2):	BWSC INSPECTOR	DATE
(O) NEW DRAIN MANHOLE (DMH-10):	BWSC INSPECTOR	DATE
(P) NEW SEWER MANHOLE WITH OIL & GREASE SEPARATOR (INTERCEPTOR):	BWSC INSPECTOR	DATE
(Q) CORPORATION STOP CONNECTION FOR 1-1/2" WATER SERVICE:	BWSC INSPECTOR	DATE
(R) NEW DRAIN STRUCTURE WITH "DON'T DUMP" PLAQUE (CURB INLET):	BWSC INSPECTOR	DATE
(S) NEW INFILTRATION SYSTEM 1:	BWSC INSPECTOR	DATE
(T) NEW INFILTRATION SYSTEM 2:	BWSC INSPECTOR	DATE
(U) NEW HYDRANT:	BWSC INSPECTOR	DATE
(V) 6" CLASS 56 CLDI TAPPING SLEEVE & VALVE CONNECTION:	BWSC INSPECTOR	DATE
(W) PER DIEM FOR BWS DRAIN LINE RELOCATION:	BWSC INSPECTOR	DATE
(X) AS-BUILT SIGN-OFF:	BWSC INSPECTOR	DATE

100% BID DOCUMENTS

Project Title WEST ROXBURY GARAGE			Project Number 523-400	
Location VAMC - West Roxbury, MA 02132			Building Number ?	
Date 06/15/2015			Drawing Number CU101	
Checked TM	Drawn SB	Dwg. of ###		





100% BID DOCUMENTS

CONSULTANTS: SPECIFICATIONS: Lowell Specifications 50 Fernald Road Freeport, ME 04032 Tel: (207) 865-4518 Fax: (207) 865-1136		ARCHITECT/ENGINEERS: FRANK HOLMES CIVIL ENGINEER REGISTERED PROFESSIONAL ENGINEER P.D.T. ARCHITECTS ARCHITECTURE INTERIOR DESIGN PLANNING 49 DARTMOUTH STREET PORTLAND, ME 04101 207-775-1059 www.pdtaarch.com		Stantec 482 Payne Road Scarborough, ME 04074 Tel: (207) 883-3355 Fax: (207) 883-3376		BECKER STRUCTURAL ENGINEERS 75 York Street, Portland, Maine 04101 207.879.1838 ■ beckerstructural.com		Project Title WEST ROXBURY GARAGE Location VAMC - West Roxbury, MA 02132 Date 06/15/2015 Checked TM Drawn SB		Project Number 523-400 Building Number ? Drawing Number CS501 Dwg. of ###		Office of Facilities Management Department of Veterans Affairs	
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