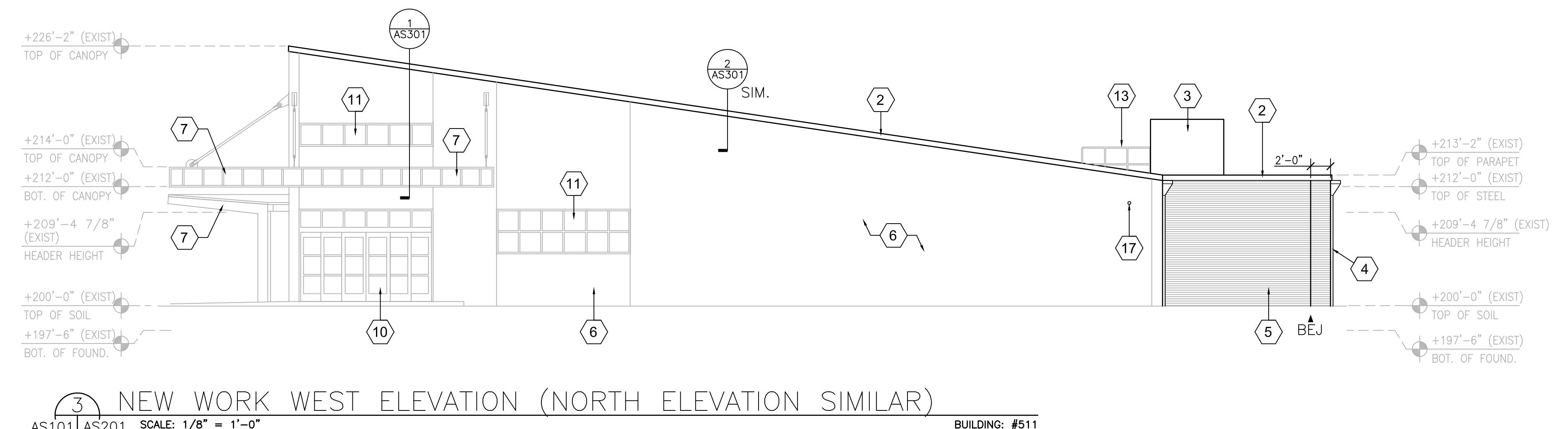
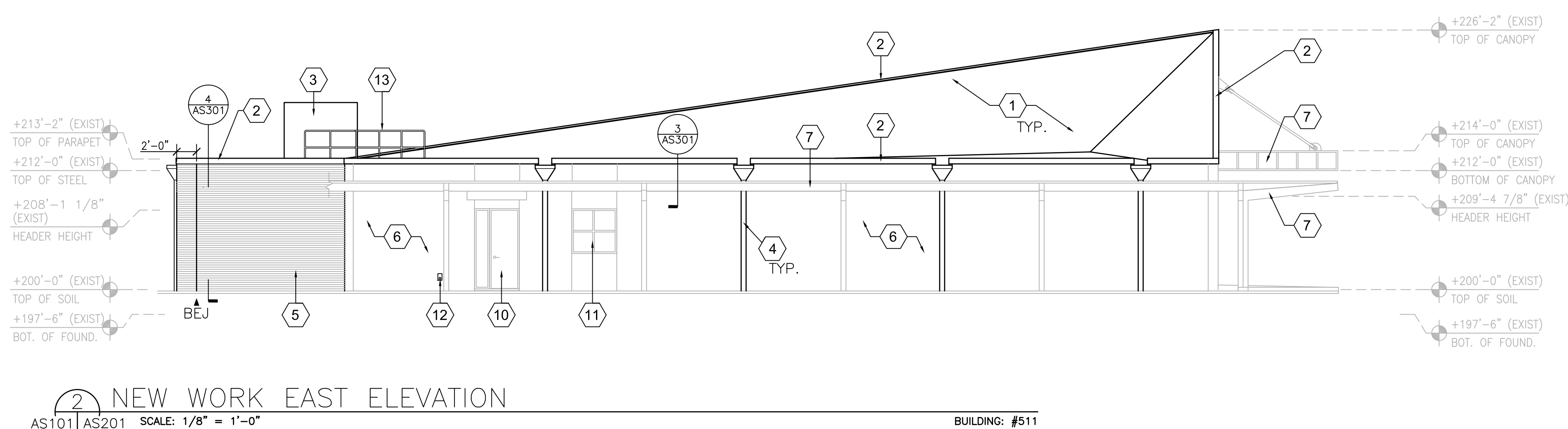
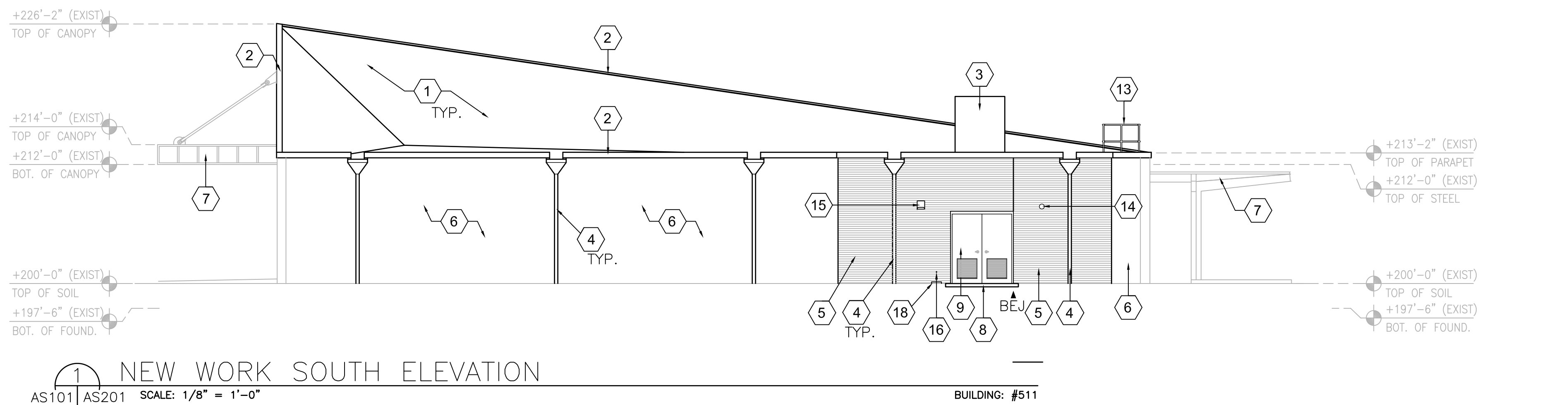


A  
B  
C  
D  
E  
F

three inches = one foot  
one and one half inches = one foot  
one inch = one foot  
three quarters inch = one foot  
one half inch = one foot  
one quarter inch = one foot  
one eighth inch = one foot  
one sixteenth inch = one foot



NEW WORK ELEVATION NOTES

1. INSTALL 3/4" P.T. PLYWOOD, NEW ROOF MEMBRANE AND RIGID INSULATION, SEE SHEET AS103 FOR ADDITIONAL INFORMATION.
2. INSTALL NEW PARAPET COPING, SEE SHEET AS103 FOR ADDITIONAL INFORMATION.
3. INSTALL NEW CONDENSING UNIT, SEE MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
4. INSTALL NEW SCUPPER AND DOWNSPOUT, TYP. SEE SHEET AS103 FOR ADDITIONAL INFORMATION.
5. NEW BRICK VENEER AND MORTAR TO MATCH EXISTING EXACTLY IN COLOR AND SIZE, SEE NEW WORK PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
6. EXISTING BRICK VENEER TO REMAIN.
7. EXISTING CANOPY TO REMAIN.
8. NEW CONCRETE PAD, SEE NEW WORK PLAN FOR ADDITIONAL INFORMATION.
9. NEW H.M. DOOR AND FRAME. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
10. EXISTING DOOR AND FRAME TO REMAIN.
11. EXISTING STOREFRONT GLAZING SYSTEM TO REMAIN.
12. NEW WALL HYDRANT 24" ABOVE FINISHED FLOOR, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
13. INSTALL NEW GALVANIZED STEEL GUARDRAIL, 1 1/2" DIAMETER MOUNTED TO ROOF DECK, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
14. NEW SPRINKLER ALARM BELL, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. LOC. SUPPER SEALED SPRINKLER DRAWINGS AND PER LOCAL CODES. VERIFY AND COORDINATE LOCATION WITH VA REPRESENTATIVE PRIOR TO INSTALLATION.
15. NEW CUT OFF MINI WALL PACK, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. MOUNT TOP OF FIXTURE AT 8'-0" A.F.F.
16. SPRINKLER MAIN DRAIN TERMINATION AND PREFABRICATED CONCRETE SPLASH BLOCK. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
17. PROPOSED SPRINKLER INSPECTOR'S TEST TERMINATION, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. SPRINKLER DESIGNER TO VERIFY/COORDINATE LOCATION OF INSPECTOR'S TEST TERMINATION WITH VA PRIOR TO INSTALLATION.
18. CONCRETE SPLASH BLOCK AT SPRINKLER DRAIN.

PHASING:  
THIS JOB SHALL BE DONE IN A MINIMUM OF THREE PHASES. DURING EACH PHASE THE G.C. SHALL MAINTAIN THE OTHER PORTION OF THE BUILDING IN FULL OPERATING MODE. G.C. SHALL INSTALL CONSTRUCTION BARRIERS TO PROTECT OPERATIONAL AREA OF BUILDING. SEE SHEETS AD101 AND AS101 FOR LOCATIONS AND ADDITIONAL INFORMATION. G.C. SHALL REVIEW PHASING PLAN ON G1002 AND COORDINATE WITH THE VA REPRESENTATIVE. ANY PHASING CONCERNS SHALL BE BROUGHT TO VA'S ATTENTION PRIOR TO COMMENCING WORK. PHASE 1 CONSTRUCTION, INCLUDING THE INSTALLATION OF ALL EQUIPMENT SHOWN WITHIN THAT PHASE, SHALL BE COMPLETE, TESTED AND OPERATIONAL BEFORE PROCEEDING TO THE NEXT PHASE. ALL PHASES SHALL BE FULLY OPERATIONAL AND ACTIVATED BY THE VA PRIOR TO PROCEEDING TO THE SUBSEQUENT PHASE. CONTRACTOR SHALL ALLOW 2 WEEKS BETWEEN THE COMPLETION/ACCEPTANCE OF PHASE 2 AND THE START OF PHASE 3 TO ALLOW TIME FOR THE VA TO ACTIVATE THE COMPLETED AREA, AND REMOVE FURNISHINGS FROM THE FOLLOWING PHASE. WARRANTY ON ANY COMPLETED PHASES OF WORK SHALL NOT BEGIN UNTIL THE COMPLETION AND ACCEPTANCE OF THE ENTIRE JOB.

ROOFING NOTE:  
CONTRACTOR SHALL PERFORM WORK ON ROOF ASSURING ROOF IS WATERTIGHT AT THE END OF EACH WORK DAY TO PREVENT DAMAGE TO THE BUILDING CONSTRUCTION AND FINISHES BELOW. COORDINATE DEMOLITION OF ROOFING AND EQUIPMENT WITH PHASING PLAN. SPACE BELOW WILL BE OCCUPIED DURING ROOFING WORK. NOISE SHALL BE KEPT TO A MINIMUM. CONSTRUCTION PROCEDURES THAT CREATE DISTURBING NOISES THAT ARE TRANSMITTED INTO THE OCCUPIED ROOMS BELOW SHALL BE PERFORMED AFTER NORMAL WORK HOURS OR ON WEEKENDS. SPACE BELOW SHALL ALSO BE PROTECTED FROM ANY DUST OR DEBRIS DURING DEMOLITION OPERATIONS.

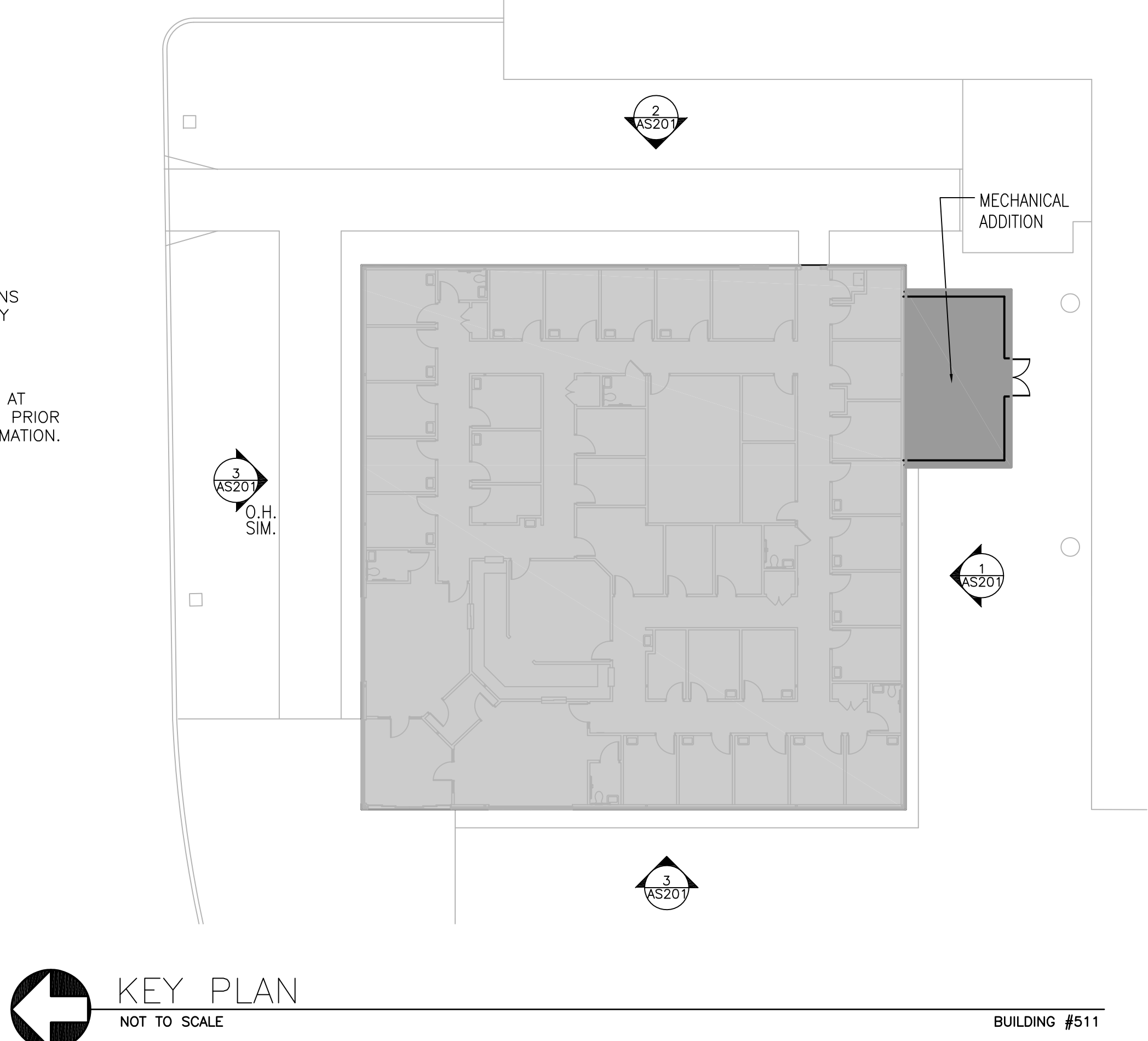
BID ALLOWANCE #2:  
G.C. SHALL PROVIDE IN BASE BID A COST TO REMOVE 20% OF EXISTING ROOF SURFACE METAL DECKING AND INSTALL NEW METAL ROOF DECK THAT MATCHES EXISTING IN HEIGHT, GAUGE, RIB SPACING, SIZE AND FASTENING METHOD. IF 20% IS NOT REQUIRED ONCE DEMOLITION AND INSPECTION HAS BEEN COMPLETED THEN THE G.C. SHALL CREDIT BACK THE PERCENTAGE PORTION OF THE 20% NOT USED TO THE VA.

GENERAL NEW WORK ELEVATION NOTES

1. RICHMOND VETERAN'S ADMINISTRATION IS RESPONSIBLE FOR THE REMOVAL OF ALL MEDICAL EQUIPMENT, MEDICAL, AND OFFICE FURNITURE, AND ALL ACCESSORIES REQUIRED TO BE REMOVED PRIOR TO WORK COMMENCING IN ORDER FOR G.C. TO COMMENCE WITH SCOPE OF WORK IN THIS CONTRACT. G.C. AND VA REPRESENTATIVE TO COORDINATE ITEMS TO BE MOVED AND STORED PRIOR TO THE G.C. COMMENCING WITH ANY WORK. ANY FURNITURE, EQUIPMENT OR BUILDING FINISHES SCHEDULED TO REMAIN OR TO BE REUSED SHALL BE PROTECTED BY THE G.C. AT ALL TIMES. G.C. SHALL GIVE VA AMPLE TIME REQUIRED TO MOVE ITEMS BEFORE EACH PHASE. SEE PHASING NOTE.
2. SEE PLUMBING, ELECTRICAL, MECHANICAL, CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON ANY ITEMS TO BE REMOVED, OR REMOVED, SALVAGED, AND REINSTALLED.
3. ARCHITECTURAL DRAWINGS ONLY APPROXIMATE LOCATION OF EQUIPMENT IN MECHANICAL ADDITION. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR PRECISE LOCATIONS OF EQUIPMENT IN THE MECHANICAL ADDITION.
4. G.C. SHALL PROVIDE ALL REQUIRED CONSTRUCTION AND WARNING SIGNS AS REQUIRED FOR THE VA SPECIFICATIONS OR AS DEEMED NECESSARY BY THE VA REPRESENTATIVE OR VA SAFETY MANUAL.
5. G.C. SHALL MAINTAIN THE EXISTING BUILDING IN A WATERTIGHT STATE THROUGHOUT CONSTRUCTION. ANY DAMAGE CAUSED BY G.C. OR G.C. SUBCONTRACTORS SHALL BE REPAIRED TO MATCH EXISTING LIKE NEW AT THEIR OWN COST. PHOTOS OF EXISTING CONDITIONS SHALL BE TAKEN PRIOR TO START OF ANY WORK. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6. G.C. SHALL MAINTAIN CONSTRUCTION BARRIERS AND REQUIRED ITEMS TO MAKE CONSTRUCTION LIMITS DUST TIGHT. AREAS THAT ARE TO BE KEPT OPEN AND OPERATIONAL SHALL BE KEPT FREE OF DUST AND ANY CONSTRUCTION DEBRIS.
7. ANY ITEMS OF CONSTRUCTION CREATING EXCESSIVE NOISE WILL NEED TO BE DONE AFTER HOURS. SEE ROOFING NOTE THIS SHEET.

NEW WORK ELEVATION LEGEND

- EXISTING ITEM TO REMAIN
- NEW ITEM
- NEW BRICK VENEER TO MATCH EXISTING EXACTLY
- B.E.J. BUILDING EXPANSION JOINT



<p>Revision #1</p> <p>Revisions</p> <p>Date</p>	<p>CONSULTANTS:</p> <p><b>VHB</b></p> <p>Vanasse Hangen Brustlin, Inc.</p> <p>Transportation Land Development Environmental Services</p> <p>Two Columbus Center 4500 Main Street, Suite 400 Virginia Beach, Virginia 23462 757.490.0132 • FAX 757.490.0136</p> <p><b>Pace</b></p> <p>MECHANICAL ELECTRICAL ENGINEERS</p> <p>DRONKS BEACH, VA • 757-669-1223</p> <p><b>SPEIGHT, MARSHALL &amp; FRANCIS, P.C.</b></p> <p>STRUCTURAL ENGINEERS</p> <p>2125 MCCOMB WAY SUITE 103 VIRGINIA BEACH VA 23464 PHONE (757) 427-1020 FAX (757) 427-3919 WWW.SMF-VA.COM</p>	<p>ARCHITECT:</p> <p><b>INNOVATE</b></p> <p>Architecture • Interiors</p> <p>441 WASHINGTON STREET PORTSMOUTH, VA 23704 (P) 757.393.9900 (F) 757.393.9907</p>	<p>Drawing Title</p> <p>NEW WORK ELEVATIONS, NEW WORK ELEVATION NOTES, GENERAL NEW WORK ELEVATION NOTES, NEW WORK ELEVATION LEGEND, PHASING NOTE, ROOFING NOTE AND BID ALLOWANCE #2</p> <p>Approved Project Director</p>	<p>Project Title</p> <p>ROOF RENOVATION AND MECHANICAL ADDITION FOR THE RICHMOND YELLOW CLINIC</p> <p>Location</p> <p>VAMC, RICHMOND, VIRGINIA</p> <p>Date</p> <p>03 - 30 - 12</p> <p>Checked</p> <p>PG</p> <p>Drawn</p> <p>TS</p>	<p>Project Number</p> <p>652-12-109</p> <p>Building Number</p> <p>511</p> <p>Drawing Number</p> <p>AS201</p> <p>Dwg. 17 of 48</p>	<p>Office of Construction and Facilities Management</p> <p>Department of Veterans Affairs</p>
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