

## SECTION 01010 GENERAL REQUIREMENTS

### 1.1 GENERAL INTENTION

- A. Contractor shall completely prepare site for building operations, including demolition and removal of existing structures, and furnish labor and materials and perform work for doors and door entrances, demo plaster wall for Knee Wall, opening west wall for new door Building 5 HR room 106 into room 108 as required by drawings and specifications.
- B. Visits to the site by Bidders may be made only by appointment with the Medical Center Engineering Officer.
- C. All employees of general contractor and subcontractors shall comply with VA security management program and obtain permission of the VA police, be identified by project and employer, and restricted from unauthorized access.
- D. Prior to commencing work, general contractor shall provide proof that a OSHA certified "competent person" (CP) (29 CFR 1926.20(b)(2)) will maintain a presence at the work site whenever the general or subcontractors are present.
- E. Training:
  - 1. Beginning July 31, 2005, all employees of general contractor or subcontractors shall have the required OSHA certified Construction Safety course and/or other relevant competency training based on the project hazards and complexity, State and Federal regulations and VA requirements with input from the ICRA team.
  - 2. Submit training records of all such employees for approval before the start of work.

### 1.2 STATEMENT OF BID ITEM(S)

- A. ITEM 1, //GENERAL CONSTRUCTION: Zip Walls, Negative air for 106-6, site to be vacuumed so that dust is minimal, walk off mats to be used. No additional corrections or additions without the written approval of the contracting officer. Questions should be directed to the COTR. Room 106; Remove patio doors and store in Building 1 room B830, remove carpet and any underlayment. cut opening in south wall of 106 approx 70 inches in width, leaving an 18 inch soffit and staggering the rectangular opening so that one half is ADA accessible the other half for standing ambulatory people, finish with drywall, add ledger board with an overhang . Overhang to the South side. Remove Wall paper/patch and paint. Color scheme to be provided by Lori Knutson-hill. North West Wall room 106 approx 16 inches in from the north wall cut a door opening, finish with pocket door. Finish floor trim and paint. Carpet squares on the floor, patch any defect on the floor prior to carpet. Room 100A remove carpet and /or any wall paper/.patch and paint with color scheme replace with carpet squares, same as room 106. Remove and replace the North East Entry door for swing on opposite side of original door. Remove Handicap operators ,door opener from South East door and relocate them to the North East door. Add a Proximity card reader and wiring to the NE door. Remove solid core door from frame. Remove strike and hinges and patch and paint. Paint room as per color scheme by Lori Knutson-hill.

Remove ½ door and replace it with the solid core from room 100A or replace it with the another solid core door paint as to scheme. Utilize Hardware from room 100A. Room 100 remove carpet, remove any wall paper/patch and paint as color scheme. Carpet to be the same as room 106.

**B. Phasing:**

1. Demo NW wall room 106 and install Pocket door 36" width. Electrical to be relocated within wall.
2. Split room 106 with zip wall east to west, Seal hall entrance into West hallway, cut knee wall opening. Approx 70 inch width. Soffit of approx 18 inches Ceiling down ward. Electrical to be relocated within the wall. West ½ to be ADA accessible, East ½ to be accessible for ambulatory staff. Finish in Drywall add ledger board with overhang to the south into room 100A.
3. Remove Wall paper room 106 and outside 4 foot by 5 foot hall to the south of Room 106. Patch and paint to color scheme by Lori Hill, Remove Carpet room 106 and 100A and small Square South of room 106 door and frame. Remove West door Room 100A along with hinges and finish frame.
4. Remove Carpet room 100A, 106, 106A. remedy any floor discrepancies and penetrations. Remove patio doors and store in building 1 room B830, finish door patio door frame.
5. Paint 106A to color scheme supplied by Lori Knudsen-Hill.
6. Install Carpet in room 100A, 106 and 106A. Carpet type selected by Lori Knudsen-Hill.
7. Change swing of NE door, remove electrical operator and paddles from SE door and install on NE Door when swing has been changed.
8. Remove ½ door room 100 and replace it with full solid core door painted to match.
- 9.

### **1.3 SPECIFICATIONS AND DRAWINGS FOR CONTRACTOR**

- A. AFTER AWARD OF CONTRACT, 5 sets of specifications and drawings may be furnished.

### **1.4 FIRE SAFETY**

- A. Applicable Publications: Publications listed below form part of this Article to extent referenced. Publications are referenced in text by basic designations only.
1. American Society for Testing and Materials (ASTM):
    - a. E84-2005 Surface Burning Characteristics of Building Materials
  2. National Fire Protection Association (NFPA):
    - a. 10-2002 Standard for Portable Fire Extinguishers
    - b. 30-2003 Flammable and Combustible Liquids Code
    - c. 51B-2003 Standard for Fire Prevention During Welding, Cutting and Other Hot Work
    - d. 70-2005 National Electrical Code
    - e. 241-2004 Standard for Safeguarding Construction, Alteration, and Demolition Operations
  3. Occupational Safety and Health Administration (OSHA):

- a. 29 CFR 1926 Safety and Health Regulations for Construction
- B. Fire Safety Plan: Establish and maintain a fire protection program in accordance with 29 CFR 1926. Prior to start of work, prepare a plan detailing project-specific fire safety measures, including periodic status reports, and submit to Project Manager and Facility Safety Officer for review for compliance with contract requirements in accordance with Section 01340, SAMPLES AND SHOP DRAWINGS. Prior to any worker for the contractor or subcontractors beginning work, they shall undergo a safety briefing provided by the general contractor's competent person per OSHA requirements. This briefing shall include information on the construction limits, VAMC safety guidelines, means of egress, break areas, work hours, locations of restrooms, use of VAMC equipment, etc. Documentation shall be provided to the Project Manager that individuals have undergone contractor's safety briefing.
- C. Site and Building Access: Maintain free and unobstructed access to facility emergency services and for fire, police and other emergency response forces in accordance with NFPA 241.
- D. Separate temporary facilities, such as trailers, storage sheds, and dumpsters, from existing buildings and new construction by distances in accordance with NFPA 241. For small facilities with less than 6 m (20 feet) exposing overall length, separate by 3m (10 feet).
- E. Temporary Construction Partitions:
  - 1. Install and maintain temporary construction partitions to provide smoke-tight separations between construction areas and adjoining areas. Construct partitions of gypsum board or treated plywood (flame spread rating of 25 or less in accordance with ASTM E84) on both sides of fire retardant treated wood or metal steel studs. Extend the partitions through suspended ceilings to floor slab deck or roof. Seal joints and penetrations. At door openings, install Class C, ¾ hour fire/smoke rated doors with self-closing devices.
  - 2. Install fire-rated temporary construction partitions as shown on drawings to maintain integrity of existing exit stair enclosures, exit passageways, fire-rated enclosures of hazardous areas, horizontal exits, smoke barriers, vertical shafts and openings enclosures.
  - 3. Close openings in smoke barriers and fire-rated construction to maintain fire ratings. Seal penetrations with listed through-penetration firestop materials in accordance with Section 07270, FIRESTOPPING SYSTEMS.
- F. Means of Egress: Do not block exiting for occupied buildings, including paths from exits to roads. Minimize disruptions and coordinate with Project Manager and facility Safety Officer.
- G. Egress Routes for Construction Workers: Maintain free and unobstructed egress. Inspect daily. Report findings and corrective actions weekly to Project Manager and facility Safety Officer.
- H. Fire Extinguishers: Provide and maintain extinguishers in construction areas and temporary storage areas in accordance with 29 CFR 1926, NFPA 241 and NFPA 10.
- I. Flammable and Combustible Liquids: Store, dispense and use liquids in accordance with 29 CFR 1926, NFPA 241 and NFPA 30.

- J. Existing Fire Protection: Do not impair automatic sprinklers, smoke and heat detection, and fire alarm systems, except for portions immediately under construction, and temporarily for connections. Provide fire watch for impairments more than 4 hours in a 24-hour period. Request interruptions in accordance with Article, OPERATIONS AND STORAGE AREAS, and coordinate with Project Manager and facility Safety Officer. All existing or temporary fire protection systems (fire alarms, sprinklers) located in construction areas shall be tested as coordinated with the medical center. Parameters for the testing and results of any tests performed shall be recorded by the medical center and copies provided to the Project Manager.
- K. Fire Hazard Prevention and Safety Inspections: Inspect entire construction areas weekly. Coordinate with, and report findings and corrective actions weekly to Project Manager and facility Safety Officer.
- L. Smoking: Smoking is prohibited in and adjacent to construction areas inside existing buildings and additions under construction. In separate and detached buildings under construction, smoking is prohibited except in designated smoking rest areas.
- M. Dispose of waste and debris in accordance with NFPA 241. Remove from buildings daily.
- N. Perform other construction, alteration and demolition operations in accordance with 29 CFR 1926.
- O. If required, submit documentation to the Project Manager and facility Safety Officer that personnel have been trained in the fire safety aspects of working in areas with impaired structural or compartmentalization features.

#### **1.5 OPERATIONS AND STORAGE AREAS**

- A. The Contractor shall repair or pay for the repair of any damaged curbs, sidewalks, or roads.  
(FAR 52.236-10)
- B. Working space and space available for storing materials shall be inside building 5 room 106.
- C. Workmen are subject to rules of Medical Center applicable to their conduct.
- D. Execute work so as to interfere as little as possible with normal functioning of Medical Center as a whole, including operations of utility services, fire protection systems and any existing equipment, and with work being done by others. Use of equipment and tools that transmit vibrations and noises through the building structure, are not permitted in buildings that are occupied, during construction, jointly by patients or medical personnel, and Contractor's personnel, except as permitted by Project Manager where required by limited working space.
  - 1. Do not store materials and equipment in other than assigned areas.
  - 2. Schedule delivery of materials and equipment to immediate construction working areas within buildings in use by Department of Veterans Affairs in quantities sufficient for not more than two work days. Provide unobstructed access to Medical Center areas required to remain in operation.
  - 3. Where access by Medical Center personnel to vacated portions of buildings is not required, storage of Contractor's materials and equipment will be permitted subject to fire and safety requirements.
- E. Phasing:
  - 1.) Knee wall and door opening
  - 2.) Remove solid core door and ½ door fit to door frame
  - 3.) Remove and relocate the automatic door opener and operators.

- F. Medical center Infection Control personnel shall monitor for airborne disease (e.g. aspergillosis) as appropriate during construction. A baseline of conditions may be established by the medical center prior to the start of work and periodically during the construction stage to determine impact of construction activities on indoor air quality. In addition:
1. The Project Manager and VAMC Infection Control personnel shall review pressure differential monitoring documentation to verify that pressure differentials in the construction zone and in the patient-care rooms are appropriate for their settings. The requirement for negative air pressure in the construction zone shall depend on the location and type of activity. Upon notification, the contractor shall implement corrective measures to restore proper pressure differentials as needed.
  2. In case of any problem, the medical center, along with assistance from the contractor, shall conduct an environmental assessment to find and eliminate the source.
- G. In general, following preventive measures shall be adopted during construction to keep down dust and prevent mold.
1. Dampen debris to keep down dust and provide temporary construction partitions in existing structures where directed by Project Manager. Blank off ducts and diffusers to prevent circulation of dust into occupied areas during construction. The effects of blocking HVAC ducts on existing air handling systems must not impact other areas served by the operation of the HVAC systems. The method of capping ducts shall be dust tight and withstand airflow.
  2. Construct anteroom to maintain negative airflow from clean area through anteroom and into work area when required by Project Manager.
  3. High risk patient care areas may require additional measures like air locks, special signage, smoke and negative pressure alarms. Identify these areas clearly on the drawings and work with Medical Center personnel to achieve desired level of isolation suited to the scope of risk involved.
  4. Do not perform dust producing tasks within occupied areas without the approval of the Project Manager. For construction in any areas that will remain jointly occupied by the medical Center and Contractor's workers, the Contractor shall:
    - a. Provide dust proof fire-rated temporary drywall construction barriers to completely separate construction from the operational areas of the hospital in order to contain dirt debris and dust. Barriers shall be sealed and made presentable on hospital occupied side. Install a self-closing rated door in a metal frame, commensurate with the partition, to allow worker access. Maintain negative air at all times. A fire retardant polystyrene, 6-mil thick or greater plastic barrier meeting local fire codes may be used where dust control is the only hazard, and an agreement is reached with the Project Manager and Medical Center.
    - b. HEPA filtration is required where the exhaust dust may reenter the breathing zone. Contractor shall verify that construction exhaust to exterior is not reintroduced to the medical center through intake vents, or building openings. Install HEPA (High Efficiency Particulate Accumulator) filter vacuum system rated at 95% capture of 0.3 microns including pollen, mold spores and dust particles. Insure

continuous negative air pressures occurring within the work area. HEPA filters should have ASHRAE 85 or other profilers to extend the useful life of the HEPA. Provide both primary and secondary filtrations units. Exhaust hoses shall be heavy duty, flexible steel reinforced and exhausted so that dust is not reintroduced to the medical center.

- c. Adhesive Walk-off/Carpet Walk-off Mats, minimum 600mm x 900mm (24" x 36"), shall be used at all interior transitions from the construction area to occupied medical center area. These mats shall be changed as often as required to maintain clean work areas directly outside construction area at all times.
- d. Vacuum and wet mop all transition areas from construction to the occupied medical center at the end of each workday. Vacuum shall utilize HEPA filtration. Maintain surrounding area frequently. Remove debris as they are created. Transport these outside the construction area in containers with tightly fitting lids.

H. Final Cleanup:

- 1. Upon completion of project, or as work progresses, remove all construction debris from above ceiling, vertical shafts and utility chases that have been part of the construction.
- 2. Perform HEPA vacuum cleaning of all surfaces in the construction area. This includes walls, ceilings, cabinets, furniture (built-in or free standing), partitions, flooring, etc.
- 3. All new air ducts shall be cleaned prior to final inspection.

**1.6 PROTECTION OF EXISTING VEGETATION, STRUCTURES, EQUIPMENT, UTILITIES, AND IMPROVEMENTS**

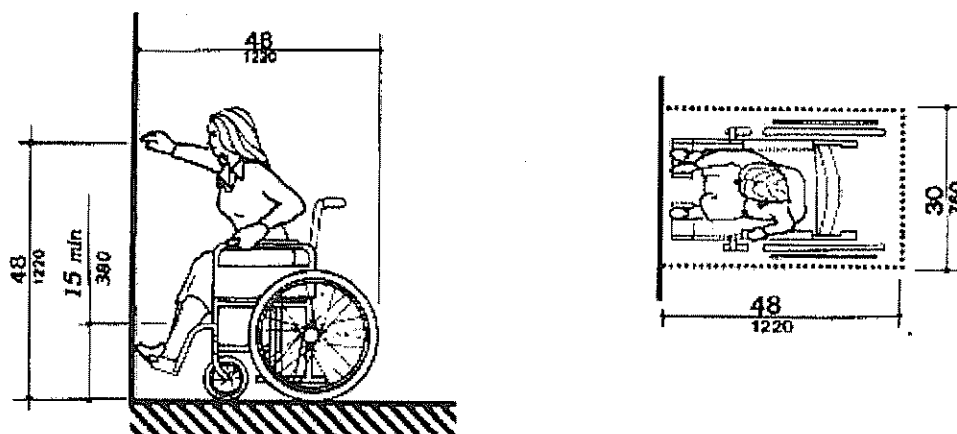
- A. The Contractor shall preserve and protect all structures, equipment, and vegetation (such as trees, shrubs, and grass) on or adjacent to the work site, which are not to be removed and which do not unreasonably interfere with the work required under this contract. The Contractor shall only remove trees when specifically authorized to do so, and shall avoid damaging vegetation that will remain in place. If any limbs or branches of trees are broken during contract performance, or by the careless operation of equipment, or by workmen, the Contractor shall trim those limbs or branches with a clean cut and paint the cut with a tree-pruning compound as directed by the Contracting Officer.
- B. The Contractor shall protect from damage all existing improvements and utilities at or near the work site and on adjacent property of a third party, the locations of which are made known to or should be known by the Contractor. The Contractor shall repair any damage to those facilities, including those that are the property of a third party, resulting from failure to comply with the requirements of this contract or failure to exercise reasonable care in performing the work. If the Contractor fails or refuses to repair the damage promptly, the Contracting Officer may have the necessary work performed and charge the cost to the Contractor.

**(FAR 52.236-9)**

- C. Refer to Section 01568, ENVIRONMENTAL PROTECTION, for additional requirements on protecting vegetation, soils and the environment. Refer to Articles, "Alterations", "Restoration", and "Operations and Storage Areas" for additional instructions concerning repair of damage to structures and site improvements.

**1.7 RESTORATION**

- A. Remove, cut, alter, replace, patch and repair existing work as necessary to install new work. Except as otherwise shown or specified, do not cut, alter or remove any structural work, and do not disturb any ducts, plumbing, steam, gas, or electric work without approval of the Project Manager. Existing work to be altered or extended and that is found to be defective in any way, shall be reported to the Project Manager before it is disturbed. Materials and workmanship used in restoring work shall conform in type and quality to that of original existing construction, except as otherwise shown or specified.
- B. Upon completion of contract, deliver work complete and undamaged. Existing work (walls, ceilings, partitions, floors, mechanical and electrical work, lawns, paving, roads, walks, etc.) disturbed or removed as a result of performing required new work, shall be patched, repaired, reinstalled, or replaced with new work, and refinished and left in as good condition as existed before commencing work.
- C. At Contractor's own expense, Contractor shall immediately restore to service and repair any damage caused by Contractor's workmen to existing piping and conduits, wires, cables, etc., of utility services or of fire protection systems and communications systems (including telephone) which are indicated on drawings and which are not scheduled for discontinuance or abandonment.
- D. Expense of repairs to such utilities and systems not shown on drawings or locations of which are unknown will be covered by adjustment to contract time and price in accordance with clause entitled "CHANGES" (FAR 52.243-4 and VAAR 852.236-88) and "DIFFERING SITE CONDITIONS" (FAR 52.236-2) of Section 01001, GENERAL CONDITIONS.
- E. Contractor may have for use of Contractor's workmen, such toilet accommodations as may be assigned to Contractor by Medical Center. Contractor shall keep such places clean and be responsible for any damage done thereto by Contractor's workmen. Failure to maintain satisfactory condition in toilets will deprive Contractor of the privilege to use such toilets.

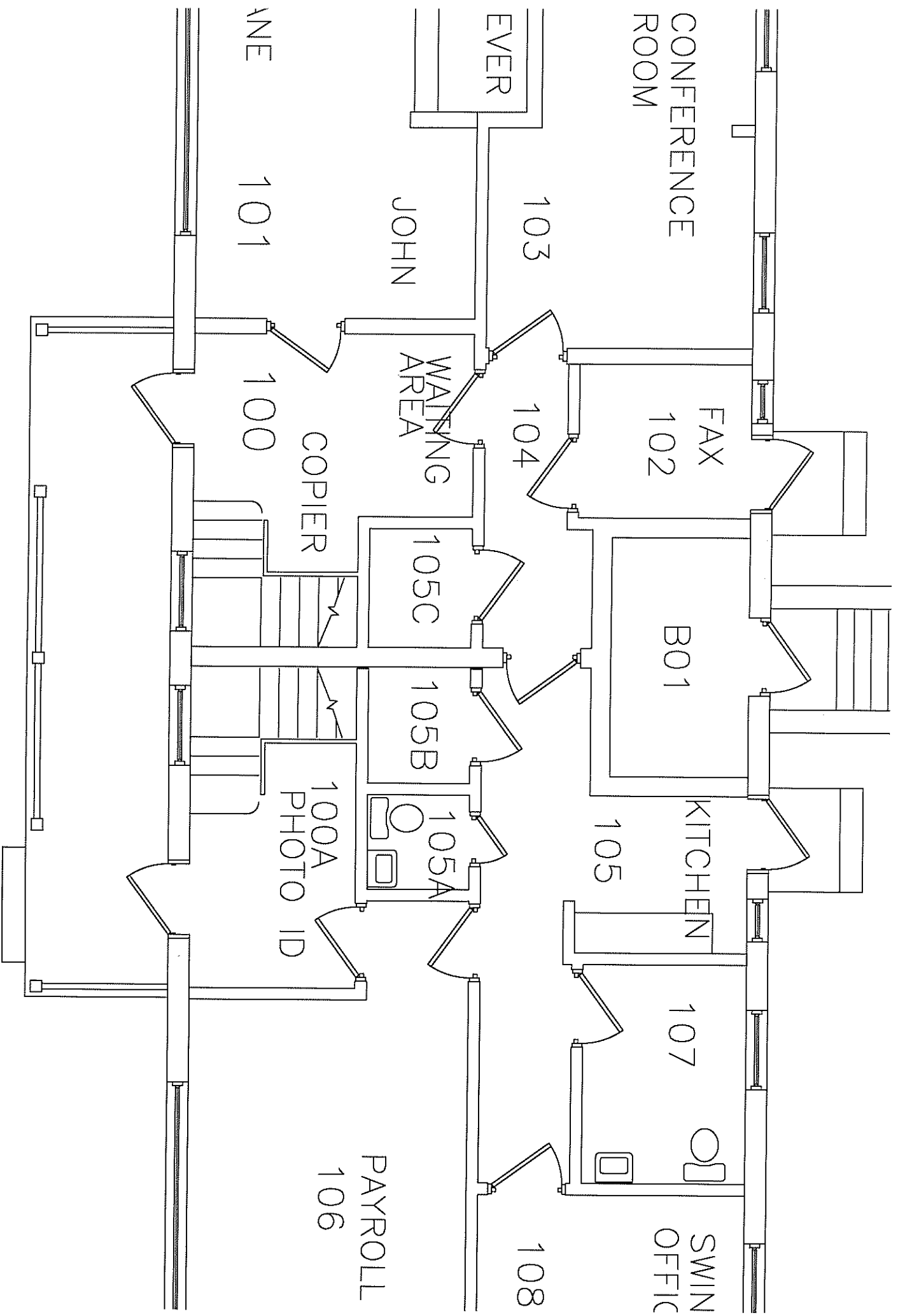


**Figure 5a**  
**High Forward Reach Limit**

Forward reach range shown in profile and plan view to be 48 inches maximum and 15 inches minimum.

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FIRST FLOOR PLAN - BUILDING 5

