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Summary of Findings

3350 La Jolla Village Drive

Healthy Buildings was asked to examine the internal environment following a past incidence of flooding on the 2nd Floor (2W) and the interstitial space above the 2nd Floor at 3350 La Jolla Village Drive in San Diego, CA on October 16 and 17, 2017. During our inspection it was observed that some areas that had already been documented as impacted by Citadel Environmental (field observation and moisture measurements taken on August 7 and 8, 2015) were under containment and it appeared that remediation had already taken place. Listed below is a summary of our findings from the inspected areas on the 2nd Floor (2W) and the interstitial space above the 2nd Floor. It should be noted that during our inspection we were unable to do intrusive/destructive testing due to positively identified asbestos containing material (ACM) per historical documentation provided by the Veterans Affairs San Diego Healthcare System (VASDHS).

Description of Affected Area

- The area involved is a 2nd Floor (2W)

Classification of Floodwaters

- **Clean Water (Category 1):** Used to identify water that does not pose an immediate health threat. This applies to waters that do not contain contaminants and includes broken water lines, malfunctioning appliances, toilets holding tanks, snow melt and rainwater. However, over time, say within 48 hours, and especially after contact with building surfaces, clean water can progress to category two, gray water.
- **Gray Water (Category 2):** This may cause a health risk since the waters may contain chemical or biological contamination. These waters include discharges from dishwashers, washing machines, sinks, showers, aquariums and waterbeds. Again time is of importance, after 48 hours in contact with building surfaces, most gray water should be reclassified as category three, black water.
- **Black Water (Category 3):** This is a positive health risk. These waters are presumed to contain multiple and potentially harmful contaminants. It includes floodwaters containing soil and any sewage waters. All raw sewage is contaminated with microbes, including bacteria, protozoans, molds, fungi and viruses. Many of these are pathogenic to humans. Microbes from this source certainly cause many diseases, including Cholera, Typhoid, Hepatitis, and numerous other gastroenteritis type illnesses. Common symptoms include diarrhea, vomiting, nausea, fever and severe abdominal cramps. Contamination from fecal matter also includes the so-called “cruise-ship virus”, correctly called Norovirus, and parasitic

illnesses due to infections from Giardia or Cryptosporidium. Any contact with contaminated water or surfaces can lead to contamination of the skin and subsequent transfer to the mouth. During and after the drying out process, unless proper precautions are taken, infections may occur through the inhalation of microbes contaminating aerosols and airborne dusts. Even the dusts themselves may trigger allergies in sensitized individuals.

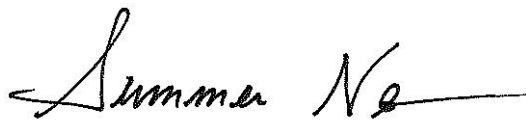
Based on the nature of the water source, we understand that the VASDHS determined that the floodwaters were judged to be black water and our observations and conclusions are based on this premise.

Recommendations

- Since the source of the water is Category 3 “black water”, all porous materials wetted by the flooding incident should ideally be removed and the area thoroughly cleaned. We recommend removal of wetted porous substrates in the following locations:
 - Room 2126 – suspect staining on the south wall
 - Room A2022.1 – visible historical moisture damage on drywall ceiling outside Room A2022.1 (visible from interstitial space).
 - Room 2069A – suspect staining on the east and west wall.
 - Room 2034 – suspect staining on the south and east wall.
 - 2nd Floor Corridor Outside Room 2099 – visible historical moisture damage and suspect staining on the south wall.
- We noted visible moisture damage in the following areas but do not appear to be due to the flood incident. These locations are not noted on the following map since the damage does not appear to be from the flooding incident.
 - Room 2103 – east wall
 - Room 2071 – north wall
- The carpet in the following areas of the building was found to be affected by the flood. All wetted carpet and padding should ideally be removed and replaced. The particular area of concern is:
 - Room 2125
- Any ceiling tiles that have visible moisture staining should be removed and replaced. The particular areas of concern are:
 - Room 2018
 - Room 2077
 - Room 2071
 - Room 2070

- We recommend any areas on the 2nd Floor that have already had remediation conducted or still require remediation that the fireproofing above that areas be abated due to intrusion of black water onto the fireproofing in the interstitial space above the 2nd Floor (2W). During our inspection we noted visible staining of the fireproofing in the following areas.
 - Above Rooms 2085, 2086 and 2024
- We recommend that any building material (ceiling tiles, fireproofing, drywall, etc.) that were noted to have been initial impacted by the flood per Citadel Environmental initial field observations and report should be removed.
- It should be noted that asbestos containing material (ACM) has been positively identified per historical documentation provided by the Veterans Affairs San Diego Healthcare System (VASDHS) on the 2nd Floor (2W) and the 2nd Floor interstitial space. Thus, we recommend removal of any building materials be conducted following all local, state and federal asbestos abatement regulations.
- You should schedule third party clearance inspection and sampling at the conclusion of the remediation work and, ideally, prior to reconstruction. This service will be provided by Healthy Buildings at the client's request.

Please contact Summer Neumann with Healthy Buildings via cell phone (714) 742-1838 or email: sneumann@healthybuildings.com if you have any additional questions.



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Attachments: photographs



Room 2018 – visibly stained ceiling tiles



Room 2126 – visible suspect staining on the south wall.



Room 2125 – visible moisture damage on the carpet.



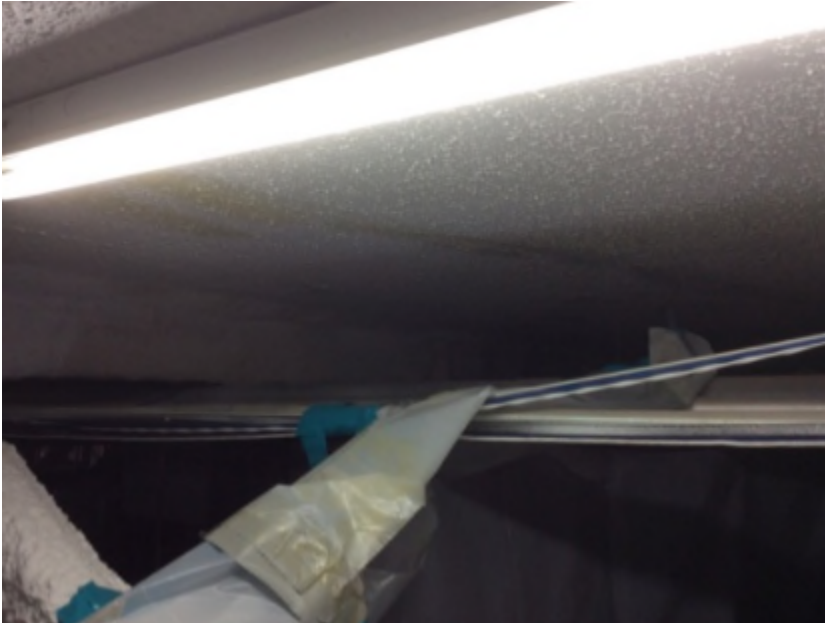
Room 2103 – appears there has been historical moisture damage on the east wall from the washing machine and does not appear to be from the flood incident.



2nd Floor Corridor Outside Room 2099 – visible moisture damage and suspect staining.



Room 2077 – Stained ceiling tiles.



Room A2022.1 – Visible moisture damage on ceiling outside Room A2022.1 (visible from interstitial space).



Visible fireproofing debris and stained fireproofing in the interstitial space).



Visible stained fireproofing above Room 2085 and Room 2086.



Visible stained fireproofing above Room 2024.



Room 2071 – Appears there has been historical moisture damage on the north wall from the sink and not the flood incident.



Room 2071 – stained ceiling tile.



Room 2070 – stained ceiling tile.



Room 2069A – suspect staining on the east and west wall.



Room 2034 – suspect staining on the south and east wall.

