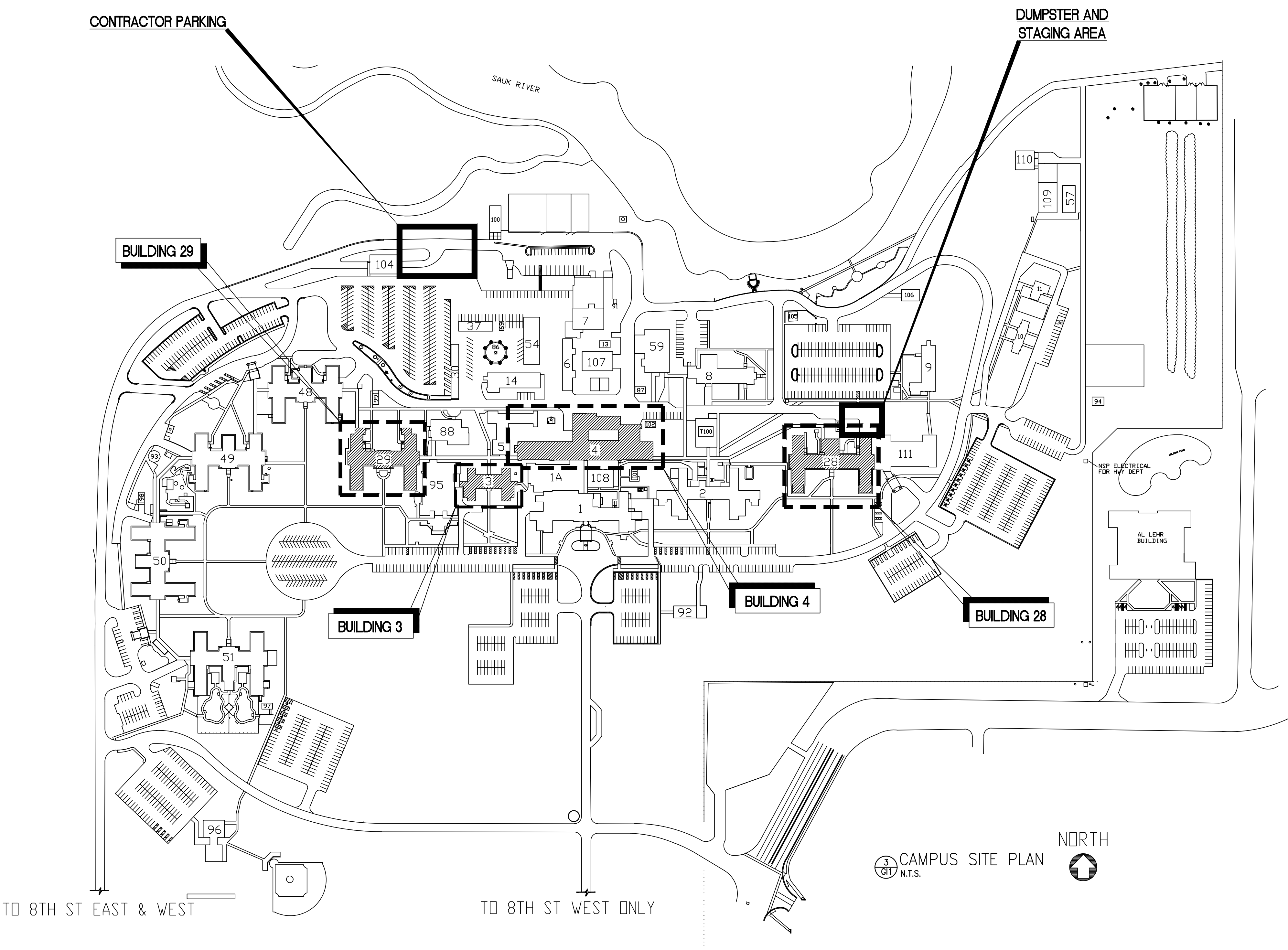


# Building 3, 4, 28, & 29 Carpet Replacement

## St. Cloud VA Health Care System

### Main Campus, St. Cloud, Minnesota



**GENERAL CONDITIONS**

All dimensions on drawings are approximate; Drawings are not to be scaled. It is the responsibility of the contractor to verify all field conditions and physical dimensions that influence the construction area.

It is recommended that contractors visit the proposed construction site prior to submitting their bids and they are encouraged to do so.

Contractor shall adhere strictly to State and Federal Occupational Safety and Health Administration ( OSHA ) Standards.

Contractor shall park only in the designated parking areas and are not to park on the lawn areas; the only exception is to load or unload supplies or equipment.

Contractor is responsible for the safeguarding of their tools and equipment. All tools and equipment are not to be left unattended and are to be secured at all times when the contractor is not present, or the construction site is not supervised by the contractor.

All VA property is to be safeguarded from damage. Any damaged VA property is to be restored to original condition prior to damage or replaced completely. This includes installation, labor, and procurement expenses.

All demolished material becomes the property and the responsibility of the contractor with the exception of specified items designated either in the plans or verbally requested by the CDR to be retained by the VA.

Offsite disposal of the demolished items, per specified guidelines, is the responsibility of the contractor.

Contractor must control demolition and construction dust from facility by erecting a dust barrier and ventilation with hepa filters. If venting to outside, the contractor will insure negative air pressure is maintained in encapsulated work area. When transporting debris, wet down sufficiently to prevent dust spreading.

If scaffolding is used, it must be used in accordance with (OSHA) regulations and is to be enclosed for the first eight feet above ground at end of each working day, until dismantled. Ladders must be removed and locked up at the end of each working day to prevent unauthorized persons from having access.

Clean all debris from construction site to the satisfaction of the CDR.

Contractor is responsible for erecting a barrier around work site to prevent patients, staff and visitors from entering construction site. This fence may be a plastic snow fence at open trench areas. All other areas require a metal chain-link fence be erected. Fencing to be 8' high, with top and bottom rail.

Provide vehicle/equipment and materials swinging gate (lockable). Provide swinging mandor gate with emergency egress capabilities. Coordinate construction materials and location of fence with CDR.

Contractor is responsible for repairing and replacing any damaged lawn. The restoration will be performed by a landscape contractor that regularly does sodding as part of their business. All damaged lawn will be overcut by 6' or more to accomodate full width rolls of sod. Top soil to be tilled and graded to a smooth matching grade of undamaged lawn. Sod to be thoroughly saturated with water upon placement. The contractor is responsible for watering new sod until project acceptance by the CDR.

Access to all buildings and parking areas must be maintained throughout the project.

Contractors are to coordinate all work with the Contracting Officers Representative. (CDR.)

- SHEET INDEX**
- GENERAL:**  
G11 COVER SHEET
- ARCHITECTURAL:**  
AS1 BUILDING 3 - SECOND FLOOR PLAN  
AS2 BUILDING 4 - FIRST FLOOR PLAN  
AS3 BUILDING 4 - SECOND FLOOR PLAN  
AS4 BUILDING 28 - BASEMENT FLOOR PLAN  
AS5 BUILDING 28 - FIRST AND SECOND FLOOR PLANS  
AS6 BUILDING 29 - BASEMENT FLOOR PLAN  
AS7 BUILDING 29 - FIRST FLOOR PLAN

AMENDMENT NO. 1

3/18/13

REVISION

DATE

JLG architects

Alexandria  
525 Broadway Street  
Alexandria, MN 56308  
phone 320.759.9030  
facsimile 320.759.9062  
www.jlgarchitects.com  
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DANIEL J. MILLER, AIA  
DATE: 12-31-2012  
REG. NO.

APPROVED: SERVICE LINE DIRECTOR

DATE:

APPROVED: INFECTION CONTROL NURSE

DATE:

APPROVED: GENS COORDINATOR

DATE:

APPROVED: PATIENT SAFETY

DATE:

APPROVED: PROJECTS SECTION MANAGER

DATE:

APPROVED: CHIEF OF POLICE

DATE:

APPROVED: DIRECTOR EMS

DATE:

APPROVED: SAFETY MANAGER

DATE:

DRAWING TITLE

PROJECT COVER SHEET

PROJECT TITLE

REPLACE CARPET BLDGS 3, 4, 28, & 29

DATE

12.31.2012

DATE

AS NOTED

PROJECT NO.

656-13-239

DATE

3/18/13

CHECKED BY

RWM

DRAWN

NJE

LOCATION

V.A. MEDICAL CENTER ST. CLOUD, MN 56309

DWG. NO.

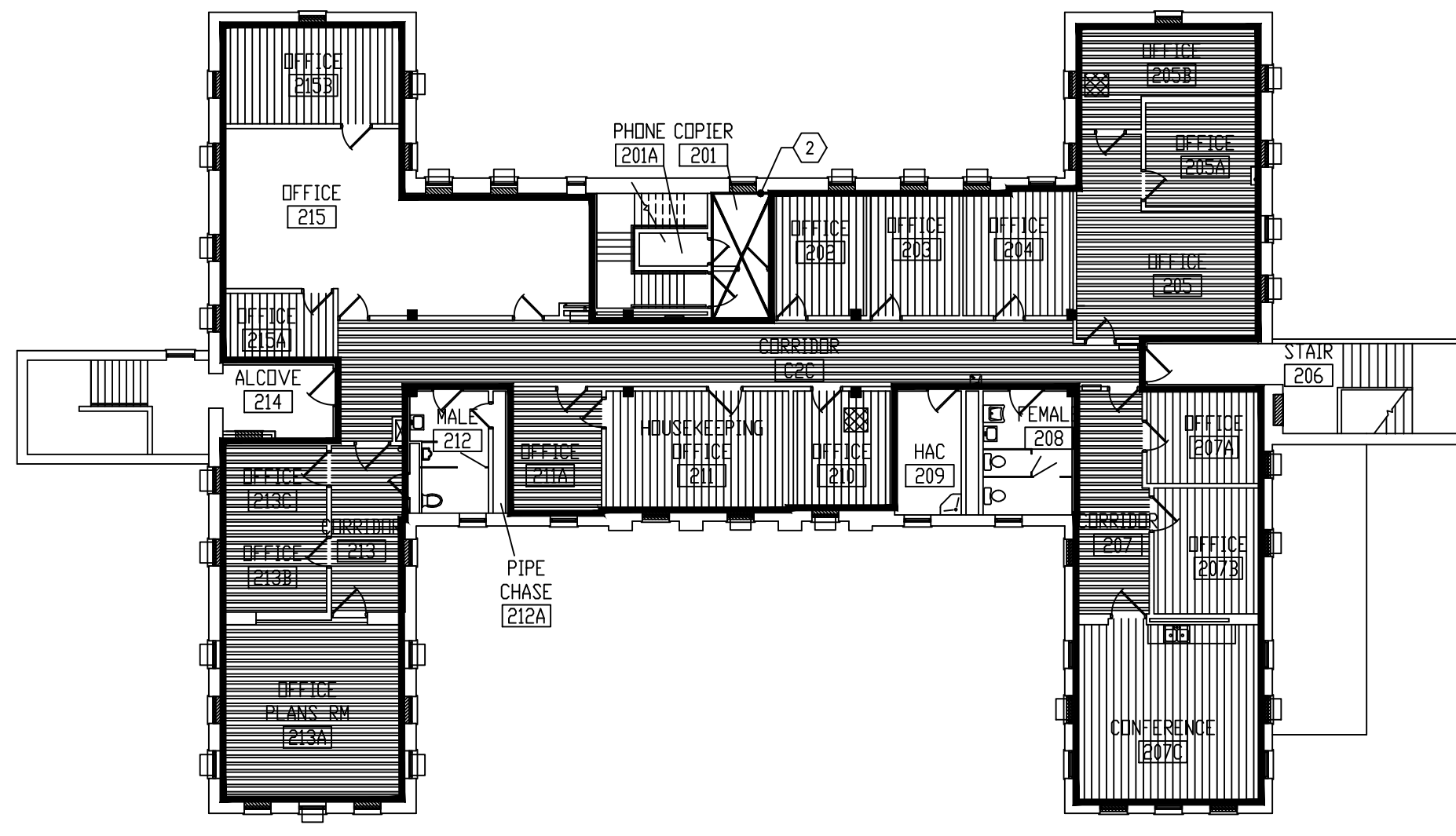
G11

DWG. 1 OF 8

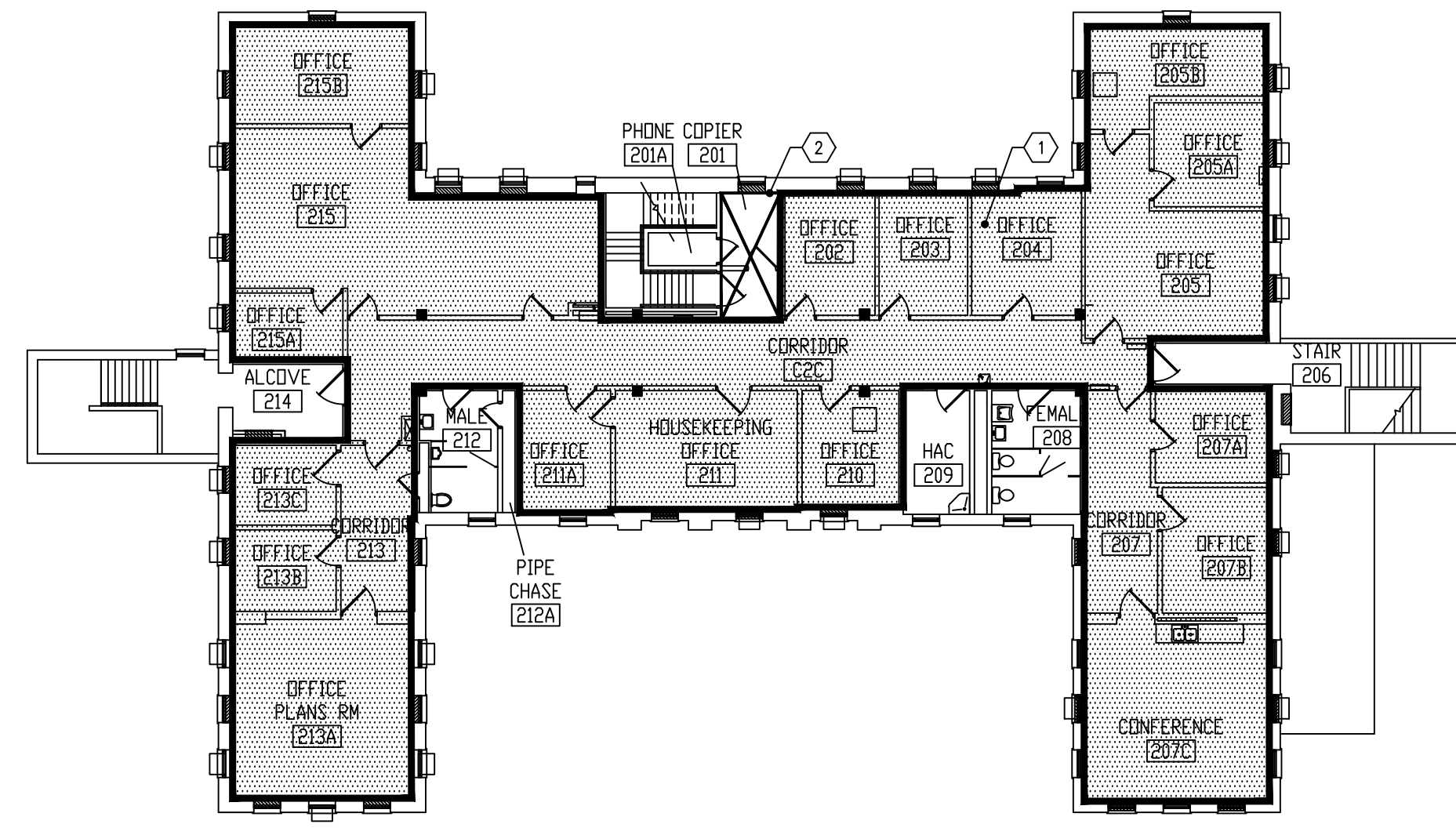
VAMC

SAINT CLOUD MN

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2 BLDG 3: SECOND FLOOR - CARPET REPLACEMENT PLAN  
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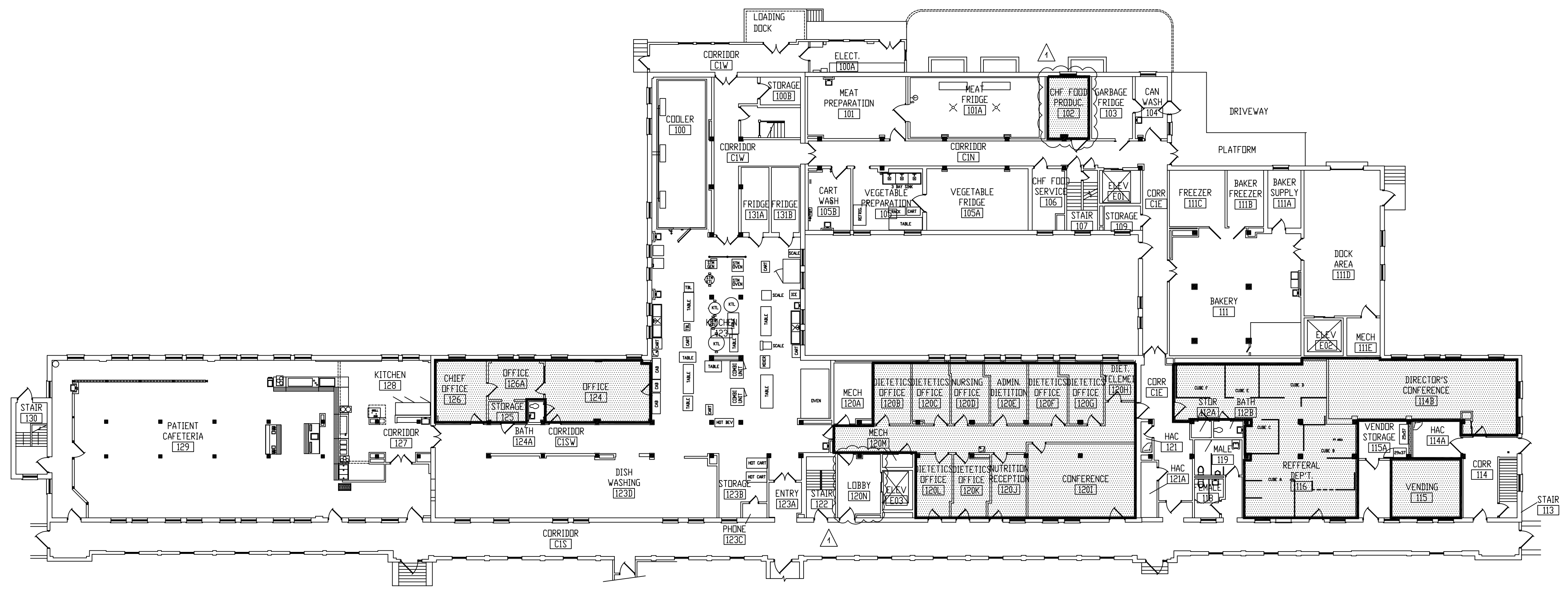
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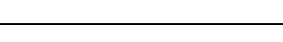
100% CONSTRUCTION DOCUMENTS - FOR CONSTRUCTION

AMENDMENT NO. 1	3/18/13	DATE	NO	REVISION	DATE	JLG architects	Alexandria 525 Broadway Street Alexandria, MN 56308 phone 320.759.9030 facsimile 320.759.9062 www.jlgarchitects.com copyright © 2012	STAMP/SEAL I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY A PERSON WHOSE NAME AND LICENSE NUMBER ARE SHOWN HEREON, AND THAT I AM A duly Licensed Architect under the laws of the State of Minnesota. DANIEL J. MILLER, AIA REG. NO. 42818 DATE: 12-31-2012	DRAWING TITLE BUILDING 3, 2ND FLOOR CARPET REPLACEMENT AREA PLAN	PROJECT TITLE REPLACE CARPET BLDGS 3, 4, 28, & 29	DATE 12-31-2012 PRINT SCALE AS NOTED PROJECT NO. 656-13-239	SHEET NO. 2 OF 8



2 BLDG 4: FIRST FLOOR - CARPET REPLACEMENT PLAN  
AS2 1/16" = 1'-0"

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 <p>Alexandria 525 Broadway Street Alexandria, MN 56308 phone 320.759.9030 facsimile 320.759.9062 www.jlgarchitects.com copyright © 2012</p>	<p>STAMPED: I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, AND CONTRACT DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSEST SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF MINNESOTA.</p> <p> MN 420016 DANIEL L. MILLER, AIA REGD. NO. DATE: 12-31-2012</p>	<p>DRAWING TITLE BUILDING 4, FIRST LEVEL CARPET REPLACEMENT AREA PLAN</p>	<p>PROJECT TITLE REPLACE CARPET BLDGs 3, 4, 28, &amp; 29</p>	<p>DATE 12-31-2012</p> <p>THIS DRAWING IS AS NOTED</p> <p>PROJECT NO. 646-13-239</p> <p>GEO FILE</p>	 <p>VAMC SAINT CLOUD MN</p>
	<p>DRAWING NO. 4</p> <p>DESIGNED BY RWM</p> <p>ISSUED NJE</p> <p>LOCATION VNA MEDICAL CENTER ST CLOUD, MN 56303</p>	<p>DRAWING NO. AS2</p> <p>ONG. 3 of 8</p>			



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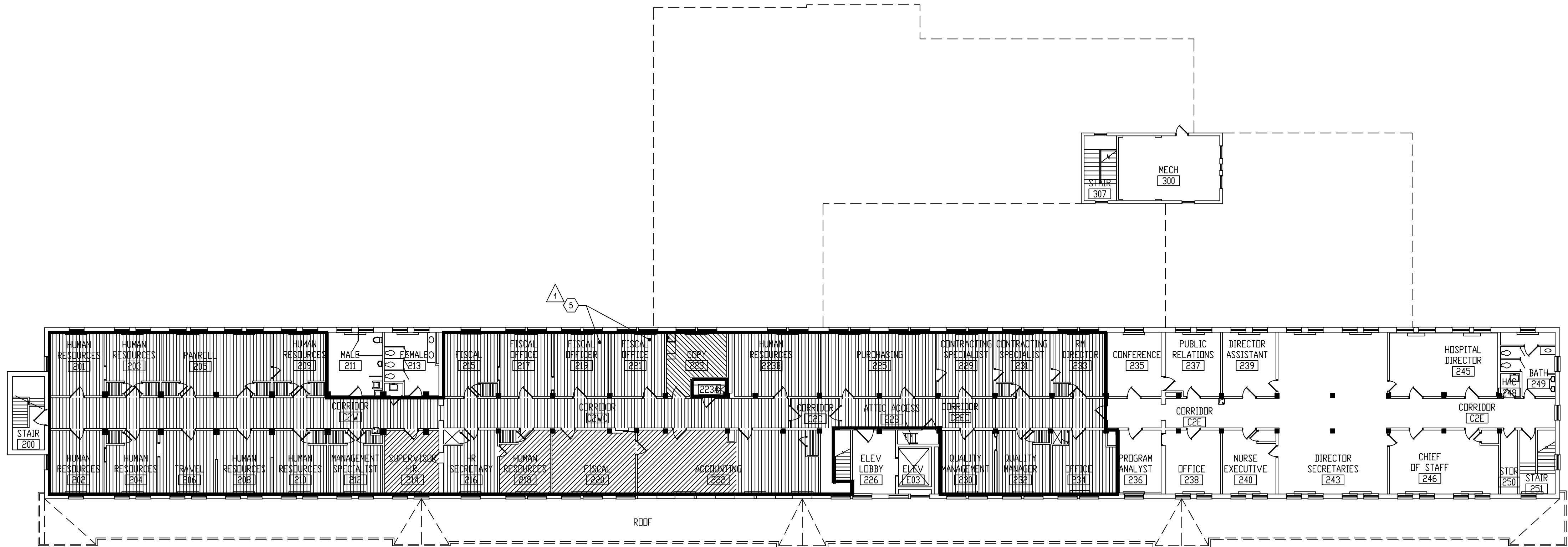
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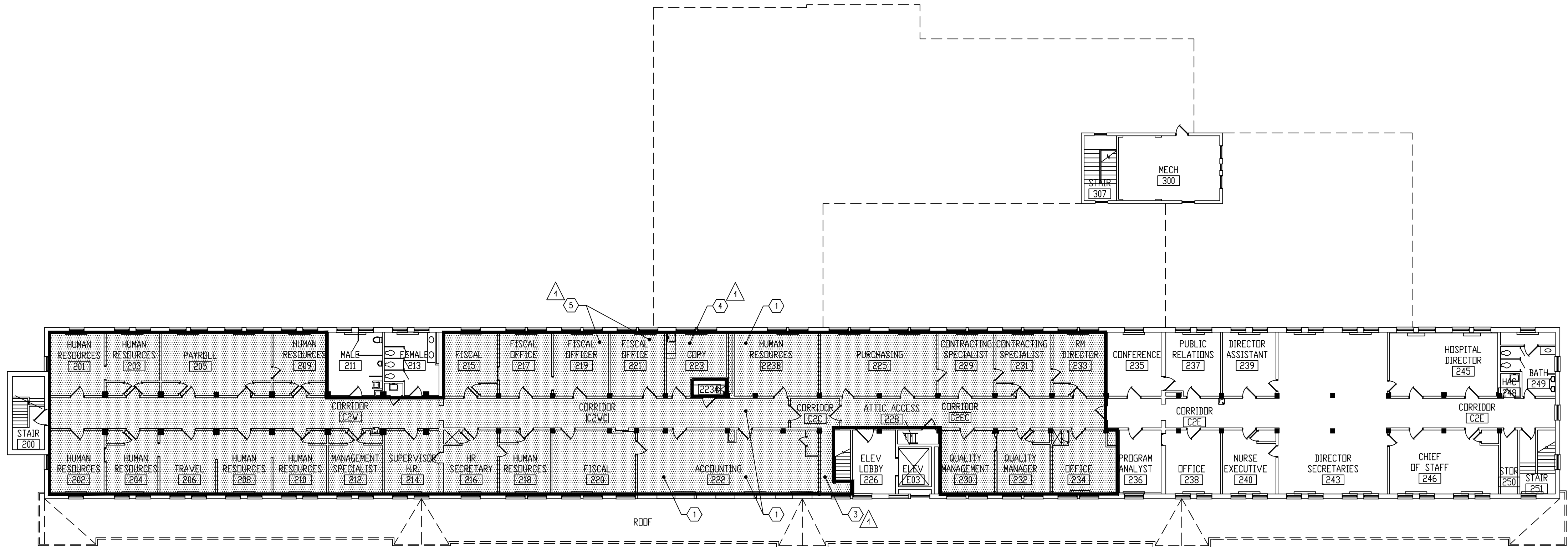
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1 BLDG 4: SECOND FLOOR - ASBESTOS ABATEMENT PLAN  
1/16" = 1'-0"



2 BLDG 4: SECOND FLOOR - CARPET REPLACEMENT PLAN  
1/16" = 1'-0"

100% CONSTRUCTION DOCUMENTS - FOR CONSTRUCTION

1	AMENDMENT NO. 1	3/18/13
No	REVISION	DATE

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REPRESENTS THE PROJECT AND PREPARED  
AND THAT ANY ADOPTED CHANGES  
UNDER THE HAND OF THE DATE OF  
DRAWING  
DANIEL J. MILLER, AIA  
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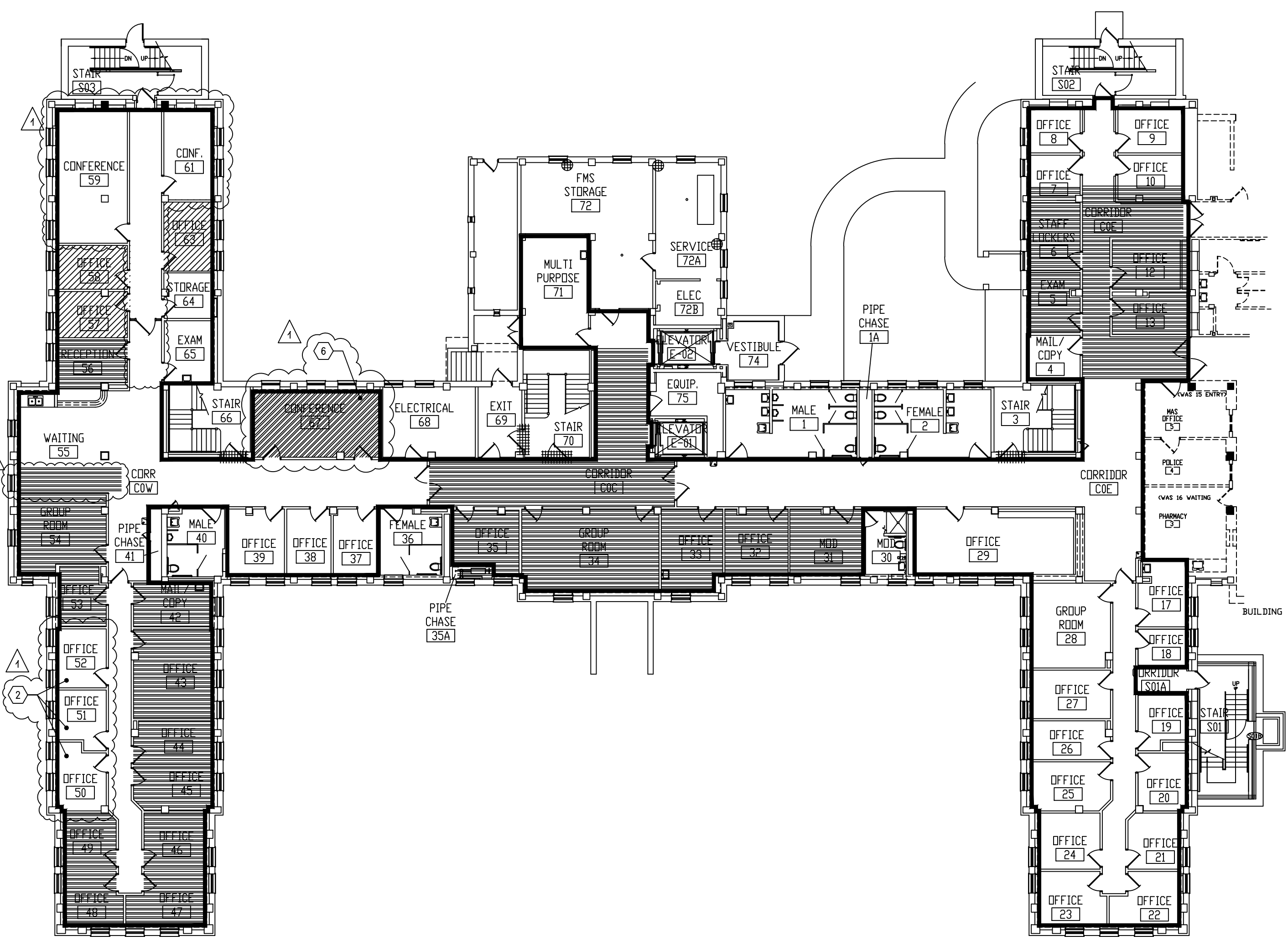
DRAWING TITLE  
BUILDING 4, SECOND LEVEL:  
CARPET REPLACEMENT  
AREA PLAN

PROJECT TITLE  
REPLACE CARPET  
BLDG 3, 4, 28, & 29  
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656-13-239

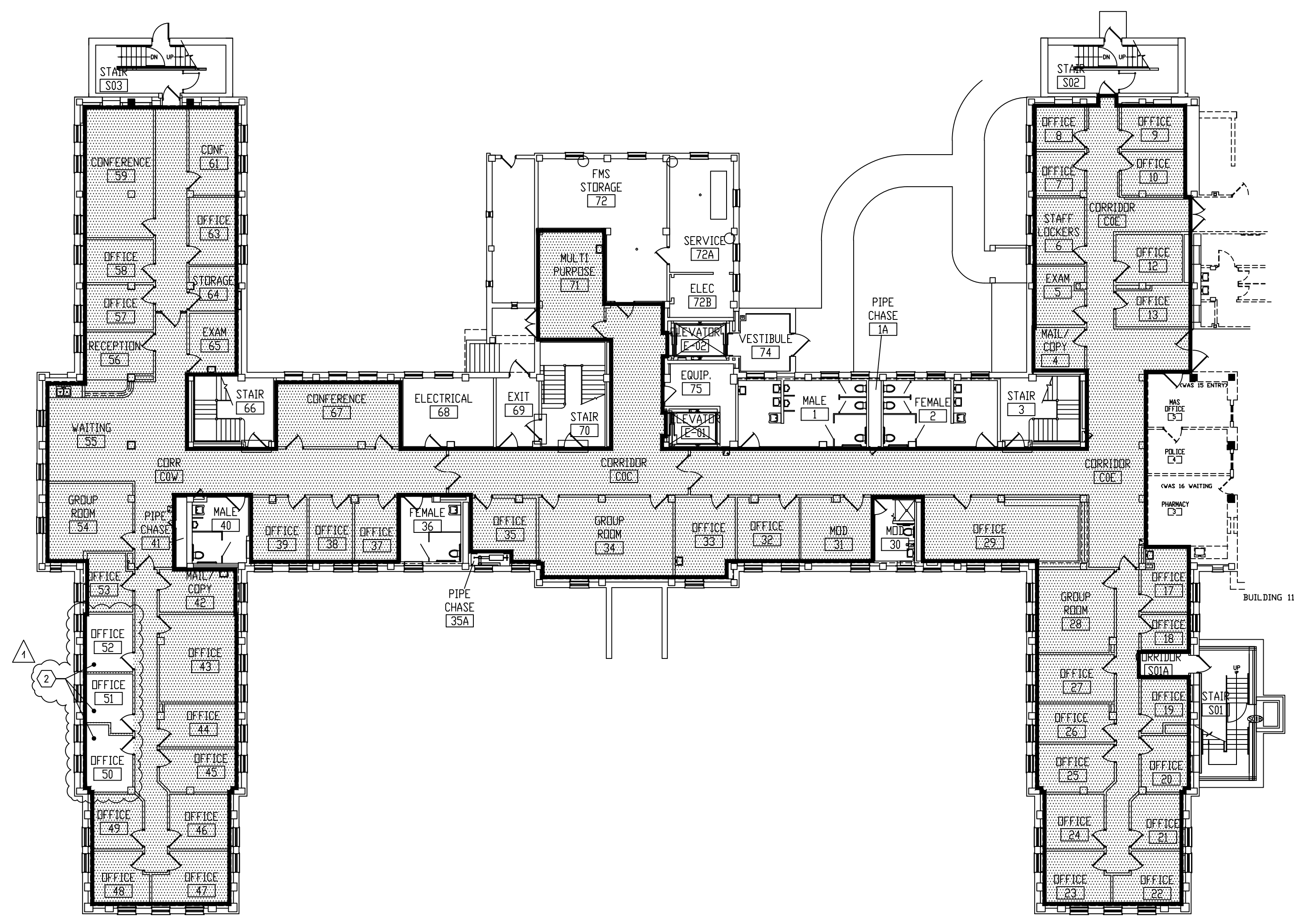
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**VAMC** SAINT CLOUD MN

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1 BLDG 28: BASEMENT FLOOR - ASBESTOS ABATEMENT PLAN  
AS4 1/16" = 1'-0"



2 BLDG 28: BASEMENT FLOOR - CARPET REPLACEMENT PLAN  
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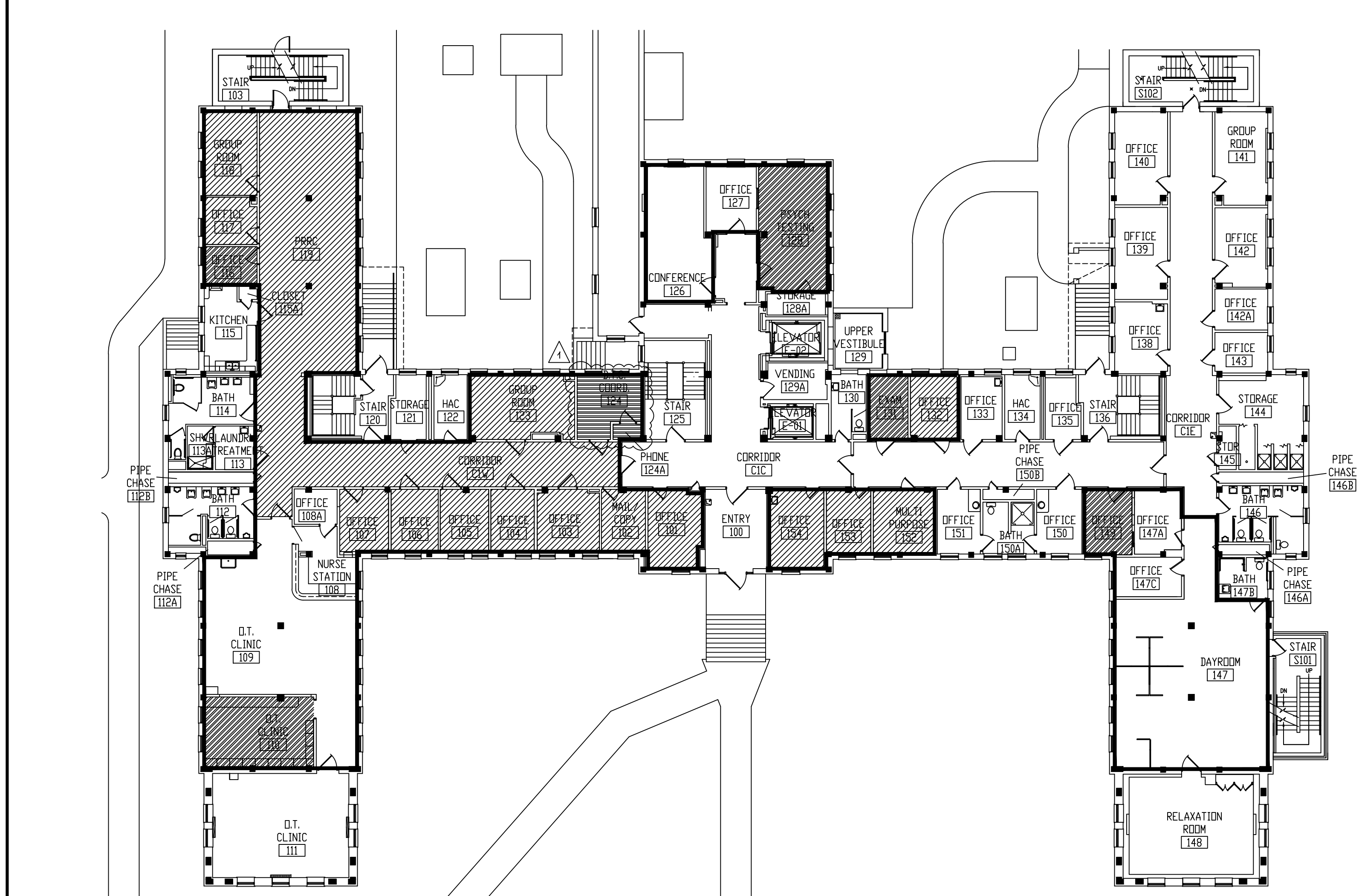
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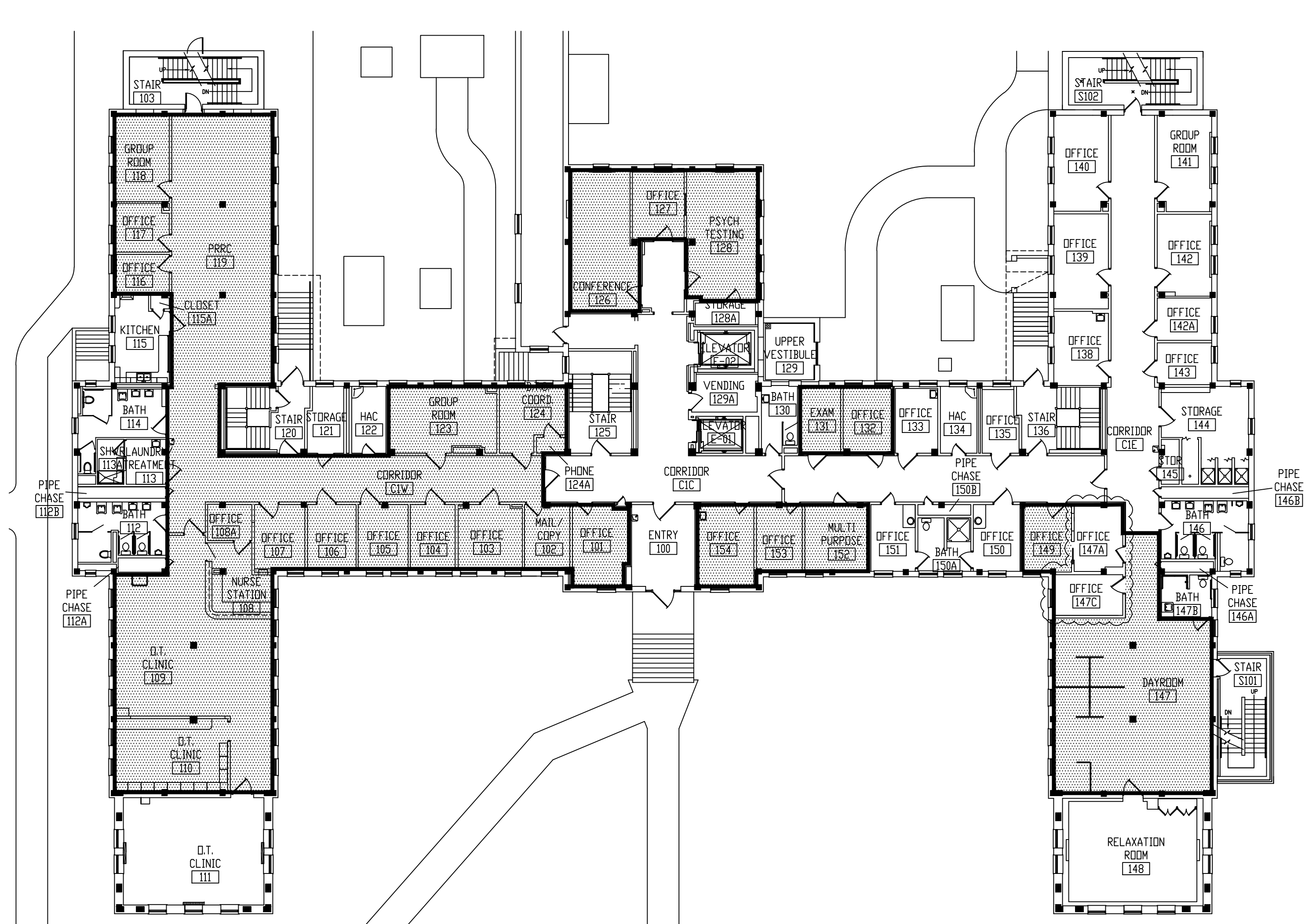


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1 2 3 4 5 6 7 8 9



BLDG 28: FIRST FLOOR - ASBESTOS ABATEMENT PLAN  
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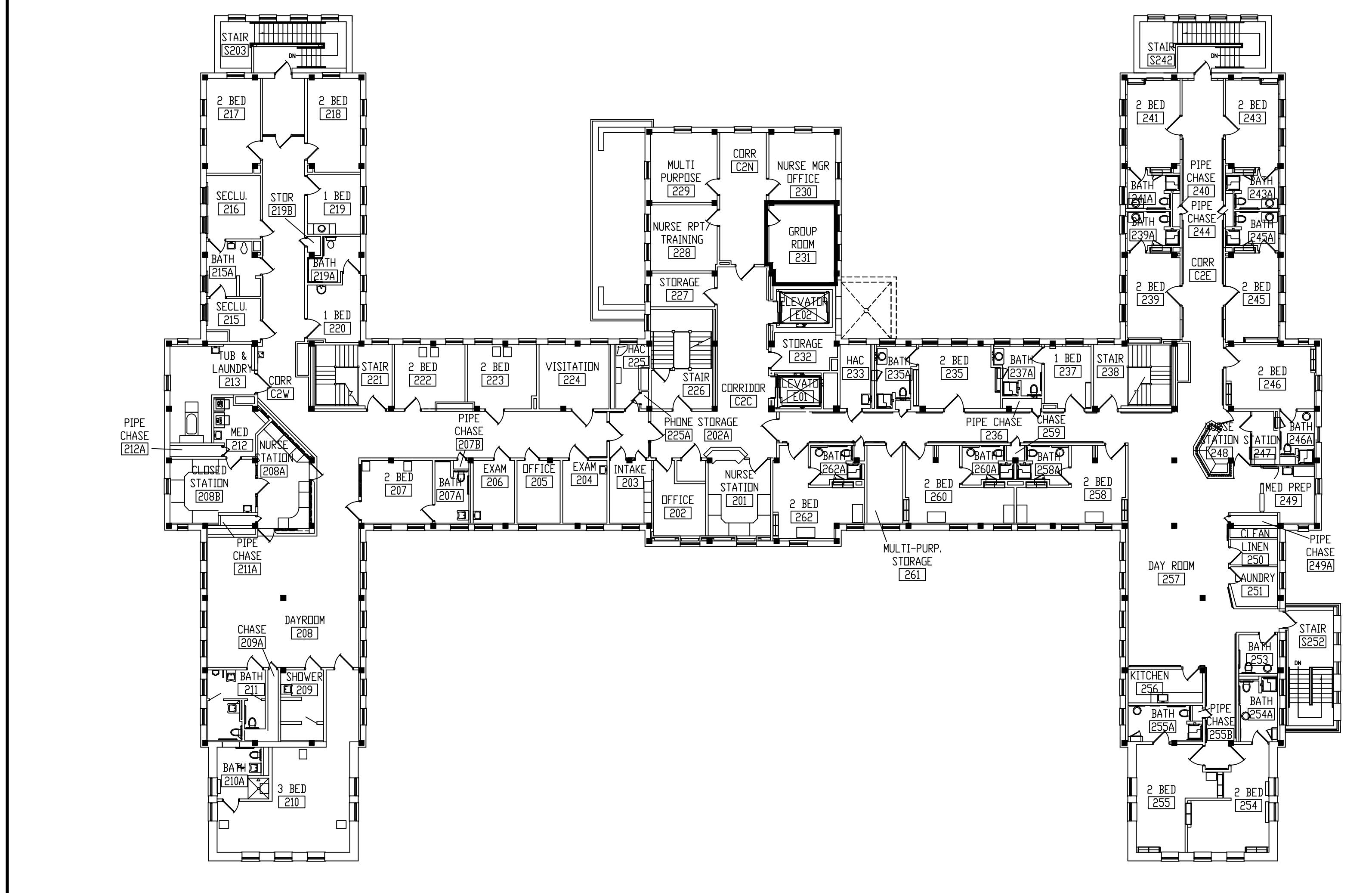


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  - ALL RECARPETED AREAS TO RECEIVE 6" MINIMUM CARPET WALL BASE. SEE SPECIFICATIONS. CONTRACTOR TO SUBMIT A SCHEDULE OF EXISTING BASE HEIGHTS AT EVERY ROOM. NEW BASE TO BE MINIMUM 6" HIGH AND SHALL MATCH EXISTING HEIGHT WHEN GREATER THAN 6".
  - FLOOR LEVELING BID ALL AREAS AS (2) 1/4" LIFTS, EACH 1/4" LIFT TO BE FEATHERED OUT OVER A 5' DISTANCE MINIMUM.
  - EXPECT FLOOR LEVELING THROUGHOUT ALL AREAS OF PROJECT. KNOWN AREAS OF SUBSTANTIAL LEVELING REQUIRED HAVE BEEN NOTED ON PLANS. MORE AREAS OF THIS TYPE COULD EXIST WITHIN PROJECT BOUNDARIES.
  - PHASING CONTRACTOR TO PROVIDE A SCHEDULE/PLAN FOR PHASING WORK UPON AWARD OF CONTRACT. THE FOLLOWING PARAMETERS MUST BE FOLLOWED:
    - WORK CAN ONLY BE PERFORMED IN UP TO EIGHT (8) ROOMS AT A TIME (ACROSS THE ENTIRE PROJECT).
    - CONTRACTOR IS ALLOWED TWO (2) ROOMS PER BUILDING AT THE TIME WORK ON A ROOM TO BE COMPLETED ON A SIX (6) DAY ROTATION; FOUR (4) DAYS ALLOWED FOR CONTRACTOR WORK.
    - IN PUBLIC AREAS WORK IS TO BE COMPLETED DURING OFF HOURS, (STARTING AT 5:00PM, DURATION ONE EIGHT (8) HOUR TOUR).
    - CONTRACTOR ALLOWED ONE (1) TOUR PER DAY.
    - CONTRACTOR TO COORDINATE WITH CDR TO POST TEMPORARY SIGNAGE REGARDING ACCESS ETC.
    - WORK PLAN AND SCHEDULE IS SUBJECT TO APPROVAL OF THE CDR.
  - CONTRACTOR IS TO MAINTAIN ACCESS FOR EGRESS THRU MAIN CORRIDORS AT ALL TIMES. (CORRIDORS MAY HAVE TO BE DONE HALF AT A TIME).
  - ROOMS SHOWN TO RECEIVE NEW CARPET, BUT NOT SHOWN TO HAVE ABATEMENT WORK COMPLETED ARE TO HAVE EXISTING FLOORING (CARPET OR VCT) REMOVED PRIOR TO PLACEMENT OF NEW FLOORING.
  - ABATEMENT CONTRACTOR RESPONSIBLE FOR ALL EXISTING FLOORING & EXISTING CARPET WALL BASE REMOVAL.

- ### PROJECT KEYNOTES:
- AREA KNOWN TO REQUIRE EXTENSIVE FLOOR LEVELING.
  - NO ABATEMENT OR INSTALL AS PART OF PROJECT SCOPE. PROVIDE NEW FLOORING MATERIAL AND TURN OVER TO OWNER.
  - NO NEW CARPET BASE, KEEP PAINTED COVE BASE.
  - PROVIDE 6" CARPET BASE OVER EXISTING COVE BASE.
  - WOOD QUARTER ROUND BASE TO BE REMOVED, PROVIDE 6" CARPET BASE.
  - EXISTING CARPET OVER FLOOR TILES, TO BE REMOVED.




BLDG 28: SECOND FLOOR - ASBESTOS ABATEMENT PLAN  
1/16" = 1'-0"



BLDG 28: SECOND FLOOR - CARPET REPLACEMENT PLAN  
1/16" = 1'-0"

100% CONSTRUCTION DOCUMENTS - FOR CONSTRUCTION

	AMENDMENT NO. 1	3/18/13
No	REVISION	DATE

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STAFF/SCALE  
LEGEND: CERTIFY THAT THIS PLAN REPRESENTS AN ACCURATE AND PREPARED AND THAT ANY DATA USED WAS OBTAINED FROM THE LAND OF THE STATE OF MINNESOTA.

DRAWING TITLE  
BUILDING 28, FIRST & SECOND FLOOR CARPET REPLACEMENT AREA PLAN

PROJECT TITLE  
REPLACE CARPET BUILDINGS 3, 4, 28, & 29

DATE  
12.31.2012

PROJECT NO.  
656-13-239

BUILDING NO.  
28

CHECKED BY  
RVM

DRAWN BY  
NJE

LOCATION  
VA MEDICAL CENTER ST. CLOUD, MN 56309

DRAWING NO.  
ASS

DATE  
12.31.2012

SCALE  
1/8" = 1'-0"

DATE  
12.31.2012

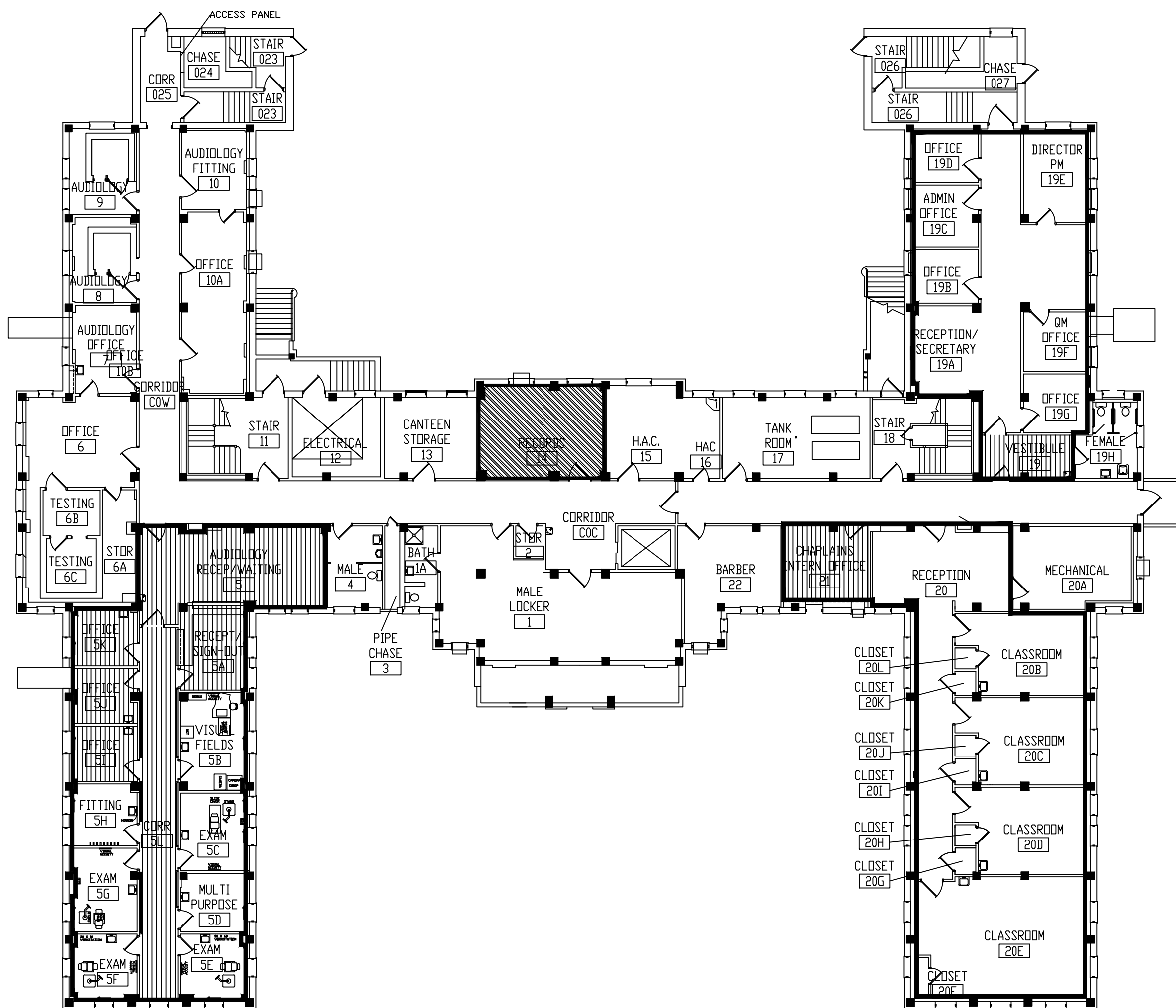
SCALE  
1/8" = 1'-0"

DATE  
12.31.2012

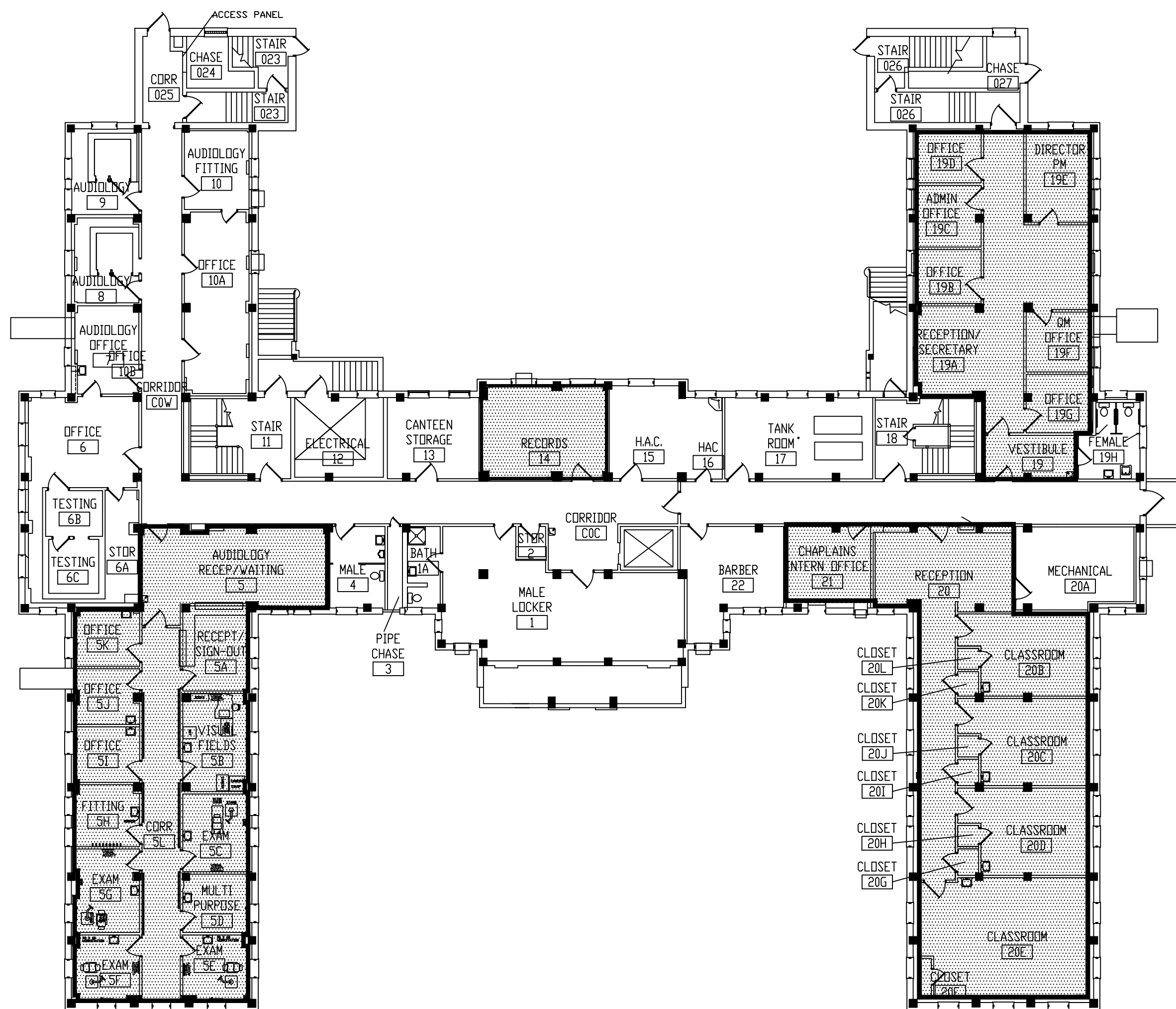
SCALE  
1/8" = 1'-0"

1 2 3 4 5 6 7 8 9

three inches = one foot  
one and one half inches = one foot  
one inch = one foot  
three quarters inch = one foot  
one half inch = one foot  
three eighths inch = one foot  
one quarter inch = one foot  
one eighth inch = one foot



1 BLDG 29: BASEMENT FLOOR - ASBESTOS ABATEMENT PLAN  
1/16" = 1'-0"



2 BLDG 29: BASEMENT FLOOR - CARPET REPLACEMENT PLAN  
1/16" = 1'-0"

- ### HATCH LEGEND
- PROJECT BOUNDARY
  - RE-CARPETED AREAS
  - NOT IN PROJECT SCOPE/NO WORK CALLED FOR
  - ASBESTOS CONTAINING MASTIC UNDER CARPET AND FLOOR TILE
  - ASBESTOS CONTAINING MASTIC UNDER CARPET
  - ASBESTOS CONTAINING MASTIC UNDER CARPET AND FLOOR FILLER
  - ASBESTOS CONTAINING MASTIC UNDER 12"x12" FLOOR TILE
  - ASBESTOS CONTAINING MASTIC UNDER 9"x9" FLOOR TILE
  - ASBESTOS CONTAINING FLOOR TILE AND MASTIC UNDER CARPET
  - ASBESTOS CONTAINING 9"x9" FLOOR TILE AND MASTIC
  - ASBESTOS CONTAINING 12"x12" FLOOR TILE AND MASTIC
  - ASBESTOS CONTAINING PIPE INSULATION
  - ASBESTOS CONTAINING FIRE DOOR (NOT IN SCOPE)
  - ASBESTOS CONTAINING DEBRIS AT DIRT CRAWLSPACE
  - ASBESTOS CONTAINING TILE MASTIC AND WALL MASTIC

- ### GENERAL NOTES:
- SEE SPECIFICATION FOR CARPET INFORMATION.
    - CPT-1 TO BE INSTALLED AT BUILDINGS 4, 28 AND 29.
    - CPT-2 TO BE INSTALLED AT BUILDING 3.
  - ALL RECARPETED AREAS TO RECEIVE 6' MINIMUM CARPET WALL BASE. SEE SPECIFICATIONS. CONTRACTOR TO SUBMIT A SCHEDULE OF EXISTING BASE HEIGHTS AT EVERY ROOM. NEW BASE TO BE MINIMUM 6' HIGH AND SHALL MATCH EXISTING HEIGHT WHEN GREATER THAN 6'.
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- ### PROJECT KEYNOTES:
- AREA KNOWN TO REQUIRE EXTENSIVE FLOOR LEVELING.
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  - PROVIDE 6" CARPET BASE OVER EXISTING COVE BASE.
  - WOOD QUARTER ROUND BASE TO BE REMOVED, PROVIDE 6" CARPET BASE.
  - EXISTING CARPET OVER FLOOR TILES, TO BE REMOVED.

- ### BUILDING 29 NOTE:
- AT BUILDING 29, THE EXISTING TERRAZZO COVE BASE IS TO REMAIN. NEW FLOORING WILL BE PLACED WITHIN THE FIELD OF THE ROOM (BETWEEN METAL TRANSITION STRIP AT EDGE OF TERRAZZO COVE), LEAVING THE TERRAZZO COVE AND BASE EXPOSED. NO CARPET BASE TO BE PLACED.

AMENDMENT NO. 1	3/18/13
REVISION	DATE

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STAMP/SEAL  
LICENSED ARCHITECT  
DANIEL J. MILLER, AIA  
DATE: 12-31-2012

DRAWING TITLE  
BUILDING 29, BASEMENT LEVEL:  
CARPET REPLACEMENT  
AREA PLAN

PROJECT TITLE  
REPLACE CARPET  
BUILDS 3, 4, 28, & 29

DATE  
12-31-2012  
RAT SCALE  
AS NOTED  
PROJECT NO.  
656-13-239

BUILDING NO.  
29  
CHECKED BY  
RVM  
DRAWN  
NJE  
CNO FILE  
XXX  
DRAWING NO.  
AS6  
SHEET 7 OF 8

**VAMC** SAINT CLOUD MN



