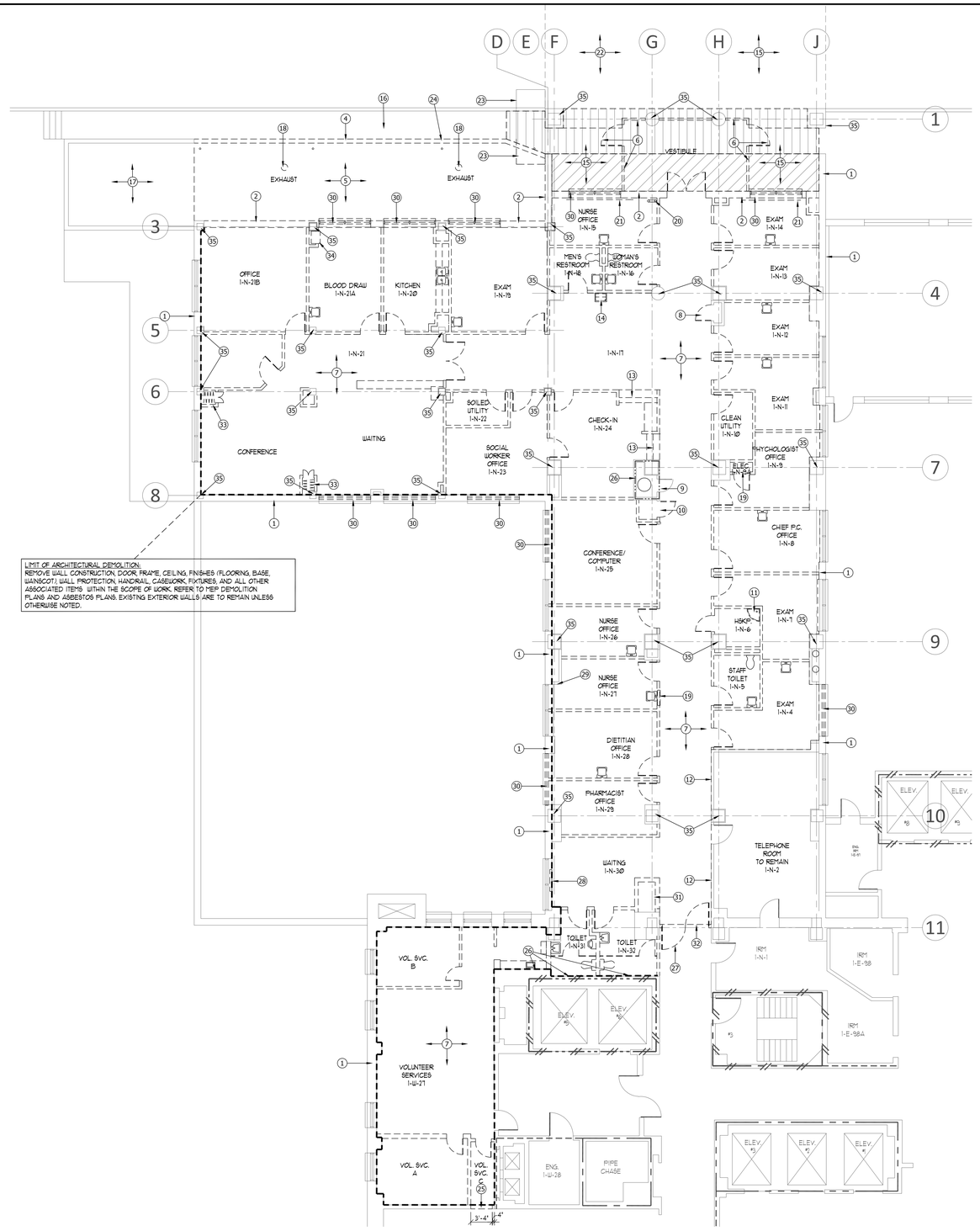

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01 PHASE 1 DEMOLITION PLAN - NORTH

SCALE: 1/8"=1'-0"

DEMOLITION PLAN KEYNOTES:

NORTH

1. LINE OF EXISTING BUILDING CONSTRUCTION TO REMAIN. PROTECT DURING DEMOLITION.
2. REMOVE EXISTING CONCRETE CURB AND MASONRY WALL CONSTRUCTION COMPLETELY FOR NEW CONSTRUCTION. PROTECT EXISTING STRUCTURAL ELEMENTS AND MAINTAIN WATER-TIGHTNESS. REFER TO THE ARCHITECTURAL DRAWINGS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. FIELD VERIFY LOCATION OF LINTELS.

3A. REMOVE AND SALVAGE EXISTING WINDOWS. RETURN TO VAMC.

3B. REMOVE EXISTING EXTERIOR DOOR AND FRAME.

4. REMOVE EXISTING 5'-8" HIGH, 1 ½" DEEP DOUBLE BY THE BRICK PARTITION AND CAST STONE TOP. PREPARE SURFACES TO RECEIVE NEW EXTERIOR WALL. REMOVE EXISTING CONCRETE CURB (VERIFY WITH STRUCTURAL). REFER TO SHEET A6N1. MAINTAIN WATER TIGHTNESS. COORDINATE WITH VA COR AND TURN OVER SELECT PIECES OF THE CAST STONE TO BE DEMOLISHED.
5. REMOVE EXISTING BUILT-UP ROOF FOR BUILDING EXPANSION. PREPARE SURFACE TO TO RECEIVE NEW POUR AS FLOOR ADDITION. NEW FINISHED FLOOR SHALL BE LEVEL WITH EXISTING FINISHED FLOOR. MAINTAIN WATER-TIGHTNESS.
6. REMOVE VESTIBULE STOREFRONT SYSTEM WALL / DOOR COMPLETELY. PROTECT EXISTING COLUMN DURING CONSTRUCTION.
7. REMOVE EXISTING WALL CONSTRUCTION, DOOR, FRAMES, HARDWARE, CASEWORK, FLOOR FINISHES, AND CEILING SYSTEM COMPLETE. REMOVE WALL PROTECTION SYSTEM. REMOVE ALL WALL MOUNTED ITEMS AND RETURN TO VAMC. REMOVE EXISTING PLUMBING FIXTURES COMPLETE. CAP ALL SERVICES BELOW FLOOR AND/OR BEYOND FACE OF WALL CONSTRUCTION. REFER TO THE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. REMOVE CEILING BULKHEAD AND FAN COIL UNITS. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. PREPARE SURFACES TO REMAIN AS REQUIRED FOR NEW CONSTRUCTION.
8. EXISTING FIRE HOSE CABINET TO REMAIN. PROTECT DURING CONSTRUCTION. PAINT CABINET DOOR. PROVIDE NEW PROTECTION PLATE.
9. REMOVE AND REPLACE EXISTING LINEN CHUTE DOOR (NEW DOOR SHALL BE RATED). MAINTAIN WALL RATING . PROVIDE NEW WALL FINISHES.
10. REMOVE EXISTING ELECTRICAL CLOSET AND PANELS. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. REMOVE EXISTING JANITOR PAN. CAP OFF PLUMBING.
12. UPGRADE EXISTING WALL TO HAVE "SMOKE TIGHT" RATING. SEAL ALL PENETRATION.
13. REMOVE COUNTERTOP AND WINDOW SHUTTER SYSTEM
14. REMOVE WATER FOUNTAIN. CAP OFF PLUMBING. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
15. REMOVE EXISTING SUSPENDED SOFFIT ABOVE CEILING COMPLETELY FOR WORK ABOVE CEILING AND NEW FINISHES
16. EXISTING SIDEWALK TO REMAIN. REPAIR AS REQUIRED IF DAMAGED DURING CONSTRUCTION (COORDINATE WITH STRUCTURAL). GC IS TO REMOVE AND REPLACE SIDEWALK AS REQUIRED TO ALLOW ROOM FOR STRUCTURAL TIE-IN.
17. REWORK EXISTING ROOF. PROVIDE NEW FLASHING AGAINST NEW EXTERIOR WALL.
18. REMOVE EXHAUST FAN. REFER TO MEP DRAWINGS FOR NEW ROUTE AND LOCATION.
19. EXISTING ELECTRICAL PANEL TO BE RELOCATED. REFER TO ELECTRICAL DRAWINGS.
20. 6 FEET ANTIFREEZE SPRINKLER LINE. REFER TO FIRE PROTECTION PLAN.
21. REMOVE EXISTING WALL HEATER. REFER TO MEP DEMO PLAN.
22. REMOVE AND RELOCATE EXISTING SPRINKLER LINE UNDER EXISTING SOFFIT. REFER TO FIRE PROTECTION PLAN.
23. REMOVE, MODIFY AND REINSTALL MODIFY EXISTING METAL CANOPY. PROVIDE FLASHING AND COUNTER FLASHING AT CANOPY SOUTH EDGES TO THE NEW ADDITION.
24. EXISTING FIRE DEPARTMENT STAND PIPE. MODIFY AS REQUIRED TO BE LOCATED INSIDE NEW EXTERIOR WALL. REFER TO MEP DRAWINGS.
25. REMOVE A PORTION OF EXISTING WALL FOR NEW DOOR AND FRAME.
26. MAINTAIN EXISTING WALL RATING. REFER TO GENERAL DEMOLITION PLAN NOTE B UNDER VERIFICATION CATEGORY.
27. REMOVE EXISTING DOUBLE DOORS, FRAME, HARDWARE AND WALL. REFER TO OPENING SCHEDULE.
28. REMOVE EXISTING STEAM RADIATOR. REFER TO MEP DRAWINGS FOR OTHER LOCATIONS. INFILL WALL OPENING WHERE RADIATOR IS BEING REMOVED (TYPICAL).
29. REMOVE EXISTING CHASE FOR NEW PLUMBING LINES. REFER TO MEP DRAWINGS. INFILL/REPAIR WALLS AS REQUIRED TO RECEIVE NEW FINISHES.
30. REMOVE EXISTING WINDOW AND FRAME. RETURN TO VAMC. REFER TO OPENING SCHEDULE FOR NEW WINDOWS AND FRAMES.
31. REMOVE DUMBWAITER AND CAP OFF OPENING ABOVE AND BELOW FIRST FLOOR.
32. EXTENT OF FLOORING TO BE REMOVED.
33. REMOVE POCKET DOOR SYSTEM COMPLETELY.
34. REMOVE AND RELOCATE PNEUMATIC TUBE.
35. EXISTING COLUMN TO REMAIN. PROTECT DURING CONSTRUCTION. REMOVE OR REDUCE COLUMN ENCLOSURE AS REQUIRED TO REFLECT NEW CONSTRUCTION AND RECEIVE NEW FINISHES.
36. REMOVE, SALVAGE AND RETURN CAST STONE TO VAMC.

GENERAL DEMOLITION PLAN NOTES:

VERIFICATION:

A. ALL TRADES SHALL VISIT PROJECT SITE TO VERIFY THAT WORK CAN BE ACHIEVED AS INDICATED ON DOCUMENTS. WHERE THERE ARE DISCREPANCIES, GENERAL CONTRACTOR SHALL NOTIFY COR IN A TIMELY MANNER.

B. VERIFY THAT EXISTING WALLS/PARTITIONS WITHIN PROJECT LIMITS ARE RATED OR SMOKE PROOF AS DESIGNATED. IF DEFICIENCIES ARE FOUND, GENERAL CONTRACTOR SHALL UPGRADE RATED WALLS TO THE REQUIRED RATING.

C. REFER TO CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, FIRE ALARM AND ASBESTOS REMOVAL DRAWINGS FOR SCOPE OF DEMOLITION WORK.

SALVAGED AND RELOCATED ITEMS/SYSTEMS:

A. ITEMS TO BE RELOCATED ARE INDICATED ON THE DRAWINGS. REMOVE, SECURELY STORE, AND CLEAN ALL ITEMS PRIOR TO RE-INSTALLATION. ITEMS LOST OR DAMAGED SHALL BE REPLACED IN-KIND OR REPAIRED TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.

B. PRIOR TO DEMOLITION, OWNER MAY REMOVE ITEMS TO BE SALVAGED. THESE WILL INCLUDE BUT NOT LIMITED TO DOORS, HARDWARE AND SIGNS. COORDINATE ITEMS TO BE RE-INSTALLED OR SALVAGED FOR OWNER.

TEMPORARY FACILITIES AND LIFE SAFETY SYSTEMS:

A. WHERE EXTERIOR WALLS, WINDOWS AND DOORS ARE REMOVED, CONSTRUCT TEMPORARY PARTITIONS AS REQUIRED TO ASSURE EXISTING BUILDING REMAINS WATERTIGHT AND WITHOUT AIR FILTRATION DURING WORK. MAINTAIN TEMPORARY PARTITIONS AS REQUIRED.

B. CONSTRUCT AND MAINTAIN SECURE WATER AND AIR TIGHT PLYWOOD COVERINGS IN OPENINGS CUT IN EXISTING EXTERIOR WALLS.

C. CONSTRUCT AND MAINTAIN TEMPORARY INTERIOR PARTITIONS FOR EACH PHASE OF THE PROJECT AS LOCATED ON THE LIFE SAFETY PLAN. AT LEAST ONE SIDE OF THE PARTITION SHALL BE FULL HEIGHT TO THE DECK ABOVE TO PREVENT THE MIGRATION OF DUST.

D. INSTALL AND MAINTAIN TEMPORARY DOORS WITH APPROPRIATE HARDWARE TO MAINTAIN CODE COMPLIANT EXITING FROM THE BUILDING AND TO RESTRICT ACCESS TO AREAS UNDER CONSTRUCTION FOR UNAUTHORIZED INDIVIDUALS.

E. INSTALL AND MAINTAIN FOR EACH PHASE OF THE PROJECT, TEMPORARY EMERGENCY AND EXIT LIGHTS, SPRINKLER HEADS, AND FIRE ALARM SYSTEMS TO ENSURE CODE COMPLIANT EXITING FROM THE BUILDING INCLUDING AREAS NOT WITHIN THE PROJECT LIMITS.

F. LEVEL FLOORS AND INSTALL TEMPORARY RAMPS, STAIRS, AND GUARDRAILS IN EGRESS PATHS FOR HANDICAP ACCESSIBILITY.

G. KEEP CORRIDORS CLEAR OF EQUIPMENT AND DEBRIS TO MAINTAIN CODE COMPLIANT EXIT WIDTH.

EXECUTION:

B. MAKE ALL DEMOLITION CLEAN AND COMPLETE IN A MANNER SUITABLE FOR NEW FINISHES AND SURFACES.

C. WHILE DEMOLITION IS OCCURRING, SENSITIVE MEDICAL ACTIVITIES WILL BE PROCEEDING IN ADJACENT AREAS. MINIMIZE NOISE AND DUST LEVELS AND TEMPORARILY SUSPEND DEMOLITION ACTIVITIES AS REQUESTED BY OWNER. DEMOLITION ACTIVITIES THAT GENERATE NOISE LEVEL MORE THAN NORMAL (i.e. JACK HAMMERING) SHALL BE ACCOMPLISHED ON WEEKENDS PRIOR TO SLEEPING HOURS. THESE HOURS ARE SATURDAY AND SUNDAY BETWEEN 8 AM AND 8 PM (VERIFY TIME WITH COR)

D. PROJECT ADJACENT FINISHES AND ITEMS TO REMAIN AND REPAIR AND DAMAGE TO THEM AT NO COST TO THE OWNER. THIS INCLUDES EXISTING EXPOSED SURFACES THAT ARE DAMAGED AND WILL REQUIRE LEVELING, PATCHING, AND A NEW FINISH. REPAIRS AND NEW FINISHES SHALL MATCH EXISTING FINISHES IN TERMS OF COLOR, TEXTURE, AND METHOD OF APPLICATION.

E. PATCH HOLES LEFT IN SURFACES AFTER THE REMOVAL OF CORNER GUARDS, HANDRAILS, BUMPERS, AND WINDOW BLINDS, ETC.

F. DO NOT CUT OR REMOVE AND STRUCTURAL ITEMS WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.

G. SCHEDULE TWO WEEKS IN ADVANCE WITH THE OWNER, DOWN TIME REQUIRED FOR TEMPORARY INTERRUPTION OF SERVICES/SYSTEMS. OUTAGE WILL BE SCHEDULED AT THE CONVENIENCE OF THE HOSPITAL.

H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP COST FOR DUST AND DEBRIS WHICH MIGRATES INTO EXISTING ADJACENT SPACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PLUMBING OR WATER LEAKS RESULTED FROM ASSOCIATED WORK.

FLOORS:

A. VERIFY EXISTING FLOOR ELEVATIONS ON EACH SIDE OF DEMOLISHED WALLS. GRIND AND PATCH FLOORS AND INSTALL EPOXY FILL AS REQUIRED FOR SMOOTH AND LEVEL CONTIGUOUS FLOOR SLAB.

B. IN-FILL FLOOR PENETRATIONS RESULTING FROM THE REMOVAL OF BUILDING SYSTEMS AND FILL OPENING WITH CONCRETE FILL DEPTH OF EXISTING SLAB TO MAINTAIN FIRE RESISTIVE RATING OF FLOOR SYSTEM. TOP OF IN-FILL SHALL BE FINISHED IN MANNER TO ACCEPT NEW FLOOR FINISH.

WALLS:

A. IN-FILL INTERIOR AND EXTERIOR WALL PENETRATIONS RESULTING FROM THE REMOVAL OF BUILDING SYSTEMS IN WALLS THAT REMAIN, BOTH ABOVE AND BELOW CEILINGS, AND FILL OPENING WITH MATERIALS TO MAINTAIN FIRE RESISTIVE RATINGS OF WALLS. FINISHES ON BOTH SIDES SHALL BE FLUSH WITH AND OF THE SAME MATERIALS AS THE SURROUNDING WALLS.

B. WHERE WALL MOUNTED ITEMS ARE REMOVED FROM WALLS OR COLUMNS THAT REMAIN, PATCH WALLS AND COLUMNS AS REQUIRED TO RECEIVE NEW FINISHES AND SURFACES.

C. WHERE CHASE OR COLUMN ENCLOSURES ARE REMOVED TO ACCESS UTILITY LINES, PATCH WALLS AS REQUIRED TO RECEIVE NEW FINISHES AND SURFACES.

D. MINIMIZE SIZE OF ALL EXISTING COLUMN ENCLOSURE. PREPARE SURFACES TO RECEIVE NEW FINISHES.

CEILING:

A. REMOVE ALL EXISTING CEILING, SUSPENSION SYSTEM, AND GRIDS WITHIN THE PROJECT LIMITS UNLESS OTHERWISE INDICATED ON PLANS.

B. REMOVE DAMAGED AND STAINED CEILING TILES AND REPLACE WITH TILES AND GRID MATCHING EXISTING.

FINISHES:

A. REMOVE EXISTING FLOOR FINISH AND BASE WHERE NEW FINISHES ARE REQUIRED. REMOVE ADHESIVE ON FLOORS WHERE FLOORING IS BEING REMOVED AND ON WALLS WHERE BASE IS BEING REMOVED. MAKE DEMOLITION CLEAN AND COMPLETE IN A MANNER SUITABLE TO ACCEPT NEW FINISHES AND/OR SURFACES.

B. PREPARE EXISTING GYPSUM BOARD TO REMAIN, FOR NEW LEVEL 5 FINISH WHERE EXISTING WALL COVERING IS REMOVED.

C. ALL EXTERIOR WINDOW TRIMS SHALL BE PAINTED. REFER TO ROOM FINISH PLAN AND SCHEDULE.

WALL RATINGS LEGEND:

NOTES:

A. RATED WALL DESIGNATIONS ARE DRAWN THROUGH OPENINGS TO INDICATE THAT THE WALL CONSTRUCTION ABOVE THE OPENING HAS THE SAME RATING AS THE CONSTRUCTION ON EITHER SIDE OF OPENING.
B. THE CONTRACTOR MUST SUBMIT DOCUMENTATION WHEN RATED WALL ASSEMBLY HAS BEEN TESTED AND APPROVED BY AGENCY OTHER THAN UL.
C. THE CONTRACTOR SHALL VERIFY EXISTING RATED WALLS. IF DEFICIENCIES ARE FOUND, THE CONTRACTOR SHALL UPGRADE WALL RATINGS AS ON LIFE SAFETY PLAN AIN AND AIE.

NON RATED SMOKE PARTITION
DOOR AND FRAME - NOT RATED
DAMPERS - NOT REQUIRED
PENETRATIONS/PERIMETER - SEALED
EXTEND AT LEAST ONE LAYER OF GYPSUM WALL BOARD TO DECK ABOVE OR ENTIRE WALL CONSTRUCTION TO SMOKE RESISTANT CORRIDOR CEILING

ONE HOUR FIRE BARRIER
DOOR AND FRAME - 45 MIN. RATING
DAMPERS - FIRE - SEE MECH. CODE
PENETRATIONS/PERIMETER - FIRE CAULKED
EXTEND ENTIRE WALL CONSTRUCTION TO DECK ABOVE.

TWO HOUR FIRE BARRIER
DOOR AND FRAME - 90 MIN. RATING
DAMPERS - FIRE - SEE MECH. CODE
PENETRATIONS/PERIMETER - FIRE CAULKED
EXTEND ENTIRE WALL CONSTRUCTION TO DECK ABOVE.

FIRE/SMOKE BARRIER
DOOR AND FRAME - 20 MIN. RATING
DAMPERS - SMOKE - SEE MECH. CODE
PENETRATIONS/PERIMETER - SEALED
EXTEND ENTIRE WALL CONSTRUCTION TO DECK ABOVE.

ONE HOUR FIRE/SMOKE BARRIER
DOOR AND FRAME - 45 MIN. RATING
DAMPERS - FIRE AND SMOKE - SEE MECH. CODE
PENETRATIONS/PERIMETER - FIRE CAULKED
EXTEND ENTIRE WALL CONSTRUCTION TO DECK ABOVE.

TWO HOUR FIRE/SMOKE BARRIER
DOOR AND FRAME - 90 MIN. RATING
DAMPERS - FIRE AND SMOKE - SEE MECH. CODE
PENETRATIONS/PERIMETER - FIRE CAULKED
EXTEND ENTIRE WALL CONSTRUCTION TO DECK ABOVE.

WALLS AND DOORS:

EXISTING WALL CONSTRUCTION, DOOR AND FRAME TO REMAIN

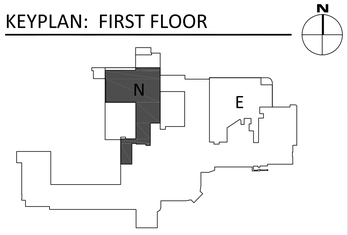
EXISTING WALL CONSTRUCTION DOOR AND FRAME TO BE REMOVED

EXISTING WALL CONSTRUCTION TO BE REMOVED

REMOVE ALL NONSTRUCTURAL CONCRETE TOPPING. PREPARE SURFACES TO RECEIVE NEW CONCRETE TOPPING ON TOP EXISTING STRUCTURAL SLAB (REFER TO STRUCTURAL DRAWINGS). TOP OF NEW CONCRETE TOPPING SHALL BE THE SAME ELEVATION AS EXISTING CONCRETE FLOOR

REMOVE ALL NON-STRUCTURAL CONCRETE TOPPING. PREPARE SURFACES TO RECEIVE NEW CONCRETE TOPPING ON TOP EXISTING STRUCTURAL SLAB (REFER TO STRUCTURAL DRAWINGS). TOP OF NEW CONCRETE TOPPING SHALL BE THE SAME ELEVATION AS EXISTING CONCRETE FLOOR

KEYPLAN: FIRST FLOOR



Scale: AS NOTED

Revisions:	Date

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Drawing Title	DEMOLITION PLAN - 1 NORTH
Approved: Project Director	
Project Title	RENOVATE ED & PRIMARY CARE, Phase 1
Location	SHREVEPORT VAMC, 510 EAST STONER AVE
Date	01/09/13
Checked	JAH
Drawn	CSH
Project Number	667-10-100
Building Number	1N
Drawing Number	A2.N1
Dwg. 12 of 112	

Office of Construction and Facilities Management
Department of Veterans Affairs

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