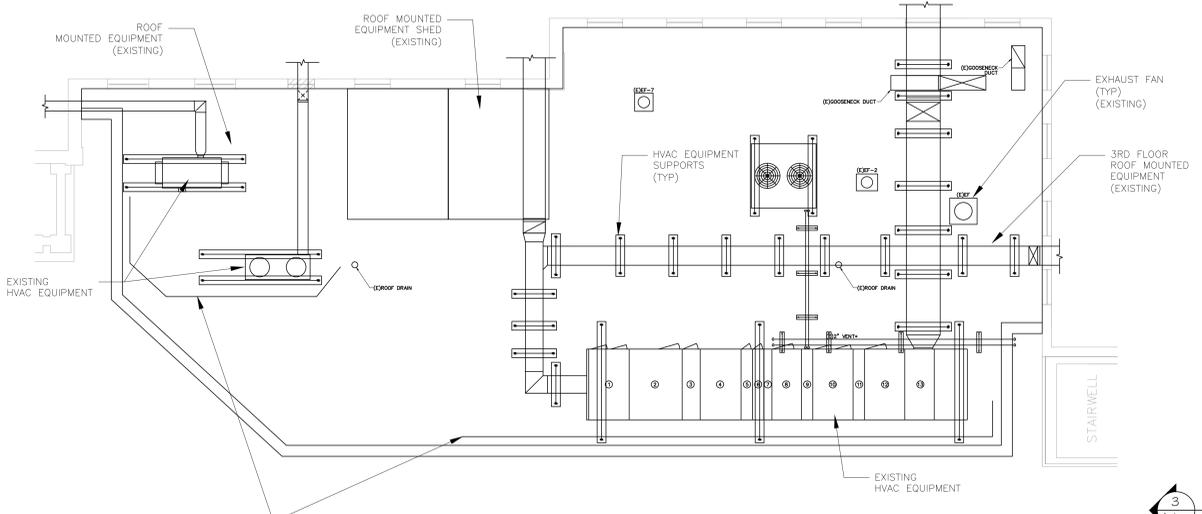


**1 ROOF DEMOLITION**  
SCALE: 1/2"=1' (PHASE 3)

- NOTES**
- REMOVE AND DISPOSE OF EXISTING ROOFING MATERIALS TO EXISTING CONCRETE DECK, INCLUDING BALLAST. RECOVER EXISTING PAVERS FOR REUSE (SEE I/A2 FOR LAYOUT). REPLACE ALL PAVERS THAT ARE 20% OR GREATER DAMAGED PRIOR TO CONSTRUCTION, OR BROKEN DURING CONSTRUCTION. SEAL CRACKS IN EXISTING DECK. REESTABLISH SEALS AROUND EXISTING VENTS, PIPES, ROOF FANS, AND DRAIN PIPES.
  - PROTECT THE EXISTING STRUCTURES, VENTS, FANS, DRAINS, AND SUPPORTS ON ALL ROOFS.
  - INSPECT AND CLEAN OUT EXISTING ROOF DRAINS TO PROVIDE PROPER DRAINAGE.
  - REMOVE AND REPLACE ANY LIGHTNING PROTECTION EQUIPMENT.

SOUTHERN ROOF

NORTHERN ROOF

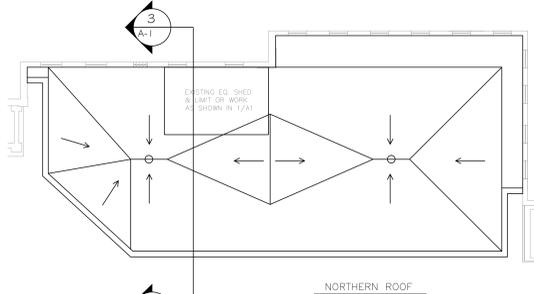


**2 EXISTING STRUCTURES ON NORTH ROOF**  
SCALE: 1/8"=1'

- NOTES**
- EXISTING ROOF MOUNTED EQUIPMENT AND LOCATIONS OF SUPPORTS ARE GENERAL AND NOT EXACT.
  - ROOF WORK SHALL MINIMALLY INTERFERE WITH EQUIPMENT SERVICES TO EACH LOCATION.
  - EXISTING AIR HANDLING EQUIPMENT ARE ELEVATED ABOVE EXISTING ROOF. EXISTING HVAC UNITS, AIR DUCTS, OR ASSOCIATED PIPING MAY BE AS LITTLE AS 6' TO 8' ABOVE EXISTING ROOF.

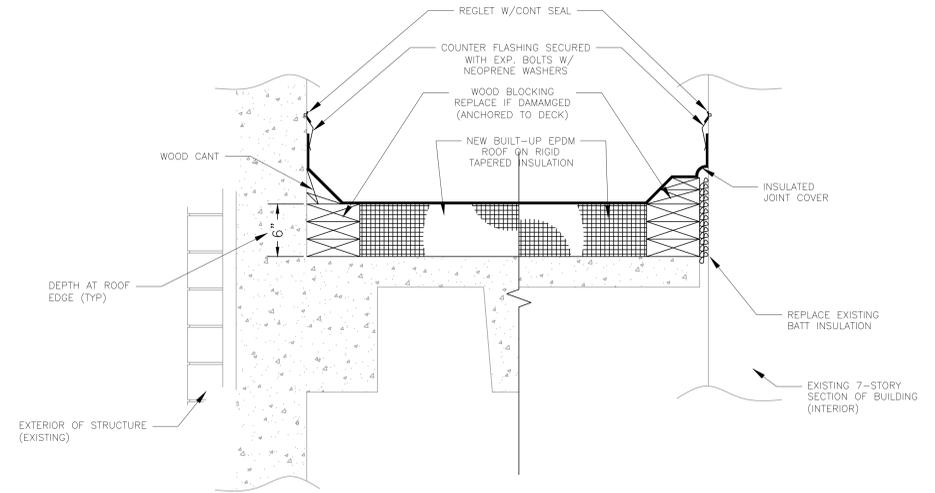
**GENERAL NOTES**

- PROTECT EXISTING WALL SURFACES AND SYSTEMS (PLUMBING, MECHANICAL, ELECTRICAL) TO REMAIN FROM DAMAGE DUE TO PROJECT WORK. PATCH, REFINISH AND RESTORE DAMAGED SURFACES AND SYSTEMS TO MATCH CONDITION PRIOR TO CONSTRUCTION (TYPICAL) AND TO MATCH ADJACENT SURFACES.
- UNLESS NOTED OTHERWISE, THE EXISTING STRUCTURAL COLUMNS, BEAMS, WALLS AND FLOOR FRAMING SHALL REMAIN INTACT AND BE UNDISTURBED.
- WHERE INCIDENTAL WORK IS REQUIRED TO ACCOMPLISH WORK SHOWN ON THE DRAWINGS, THIS WORK IS IMPLIED AND SHALL BE INCLUDED AS PART OF THE BASE BID.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE EXISTING CONDITIONS OF STRUCTURES AND GROUNDS NOT SPECIFIED WITHIN THE CONTRACT BUT WHICH COULD BE DAMAGED BY CONSTRUCTION. ITEMS THAT CAN BE DAMAGED INCLUDE BUT ARE NOT LIMITED TO SIDEWALKS, CURBS, GRASS (TROOTS, CONTAMINATION FROM CHEMICAL SPILLS) AND DAMAGE NOT PRESENT AT THE INITIAL PRE-CONSTRUCTION WALK-THRU.
- THE CONTRACTOR SHALL RECEIVE ALL DELIVERIES OF MATERIALS, EQUIPMENT, TOOLS, OR OTHER GOODS OFF OF STATION, AND BRING THEM TO THE JOB SITE. THE BATH VA SHALL NOT ACCEPT DELIVERIES FOR PROJECT PURPOSES FOR ANY CONTRACTOR.
- AFTER THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL COMPLETELY CLEAN ALL SURFACES OF CONSTRUCTION DEBRIS.
- THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS FOR CONFLICTS. WHERE CONFLICTS EXIST BETWEEN DRAWINGS AND SPECIFICATIONS, SPECIFICATIONS SHALL SUPERCEDE THE DRAWINGS. IF STILL UNCLEAR, THE CONTRACTOR SHALL ISSUE A REQUEST FOR INFORMATION TO THE COTR & CO.
- EXISTING ITEMS THAT ARE NOT IDENTIFIED FOR REMOVAL ARE TO REMAIN. THE CONTRACTOR SHALL NOTIFY THE COTR OF A CONFLICT BETWEEN EXISTING AND NEW IN WHICH A RFI OR RFF MAY BE ISSUED.
- INFORMATION SHOWN IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE.
- REMOVE EXISTING ROOF SYSTEM COMPLETELY TO CONCRETE DECK.
- PATCH AND REPAIR ALL DETRIORATED CONCRETE DECK MATERIAL AND MAKE ALL ROOF PENETRATIONS WATER TIGHT.
- INSTALL NEW FULLY ADHERED ROOF SYSTEM INCLUDING VAPOR BARRIER, POLYISO RIGID INSULATION, AND 1.00 MIL EPDM MEMBRANE AS SHOWN AND IN ACCORDANCE WITH THE SPECIFICATIONS. INSULATION SHALL ACHIEVE A MIN. 1/8"FOOT SLOPE TO ROOF DRAINS, AND AN AVERAGE R VALUE EQUAL TO 20.
- THE CONTRACTOR SHALL ERECT BARRIERS AND SIGNAGE AT THE GROUND AS REQUIRED TO ASSURE THE SAFETY OF RESIDENTS, VISITORS, OR EMPLOYEES.
- NO MATERIAL SHALL BE ALLOWED TO FREE-FALL TO GROUND LEVEL. ALL MATERIAL THAT IS REMOVED DURING DEMOLITION SHALL FALL IN DEBRIS CHUTES PROVIDED BY THE CONTRACTOR.
- NO AREAS OF THE ROOF SHALL BE LEFT EXPOSED OVERNIGHT.
- PATCH, PAINT AND/OR REPAIR ALL AREAS DISTURBED BY THE CONTRACTOR DURING THE PERFORMANCE OF THIS PROJECT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES AND DETAILS ON THE DRAWINGS, AND THE SPECIFICATIONS. WHERE THERE IS A CONFLICT BETWEEN DRAWINGS, NOTES, OR SPECIFICATIONS, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
- ALL JOINTS AND SPLICES OF THE E.P.D.M. MEMBRANE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- ALL WORK REQUIRING DISRUPTIONS TO PARKING, FOOT OR VEHICLE TRAFFIC ADJACENT TO THE ROOF SHALL BE COORDINATED TO BE OFF REGULAR WORKING HOURS OF THE VA. WEEKENDS ARE PREFERABLE.
- COORDINATE WATER TESTING OF FINISHED ROOF WITH COTR, VA FIRE DEPARTMENT, AND CONTRACTOR PERSONNEL PRIOR TO CONTRACT COMPLETION. WATER SHALL BE SUPPLIED BY THE VA & VA FIRE DEPARTMENT. WATER, CONTROLLED BY THE VA FIRE DEPARTMENT, SHALL BE APPLIED TO EACH ROOF FOR FIVE MINUTES FROM THE VA HOSPITAL STANDOFF. THE CONTRACTOR'S PERSONNEL SHALL VERIFY THAT THERE ARE NO LEAKS BY INVESTIGATING AS MANY INTERIOR LOCATIONS AS POSSIBLE AFTER THE START OF THE TEST, INCLUDING BUT NOT LIMITED TO KNOWN PREVIOUS LEAK LOCATIONS.



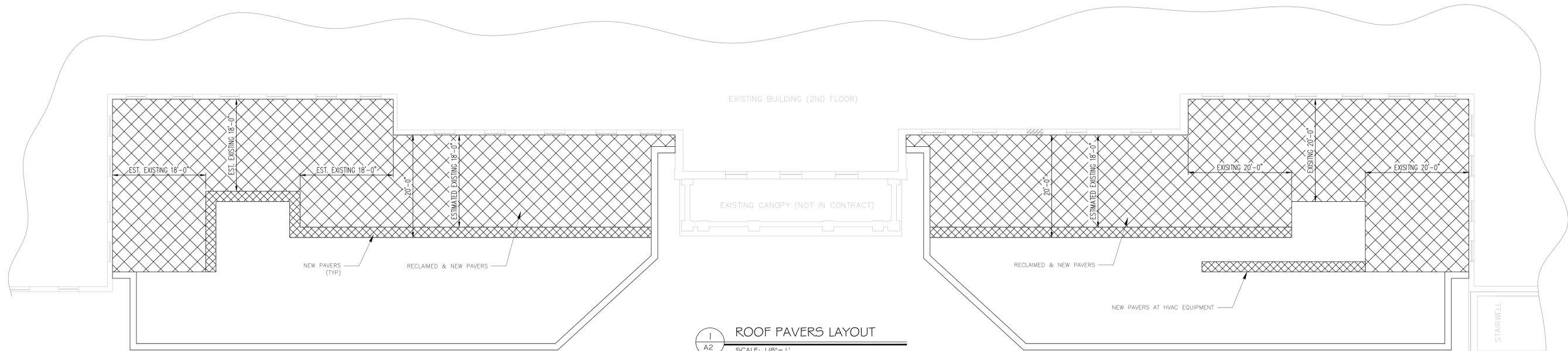
**4 DETAIL @ ROOF DRAIN**  
SCALE: 1 1/2"=1'

- NOTES**
- PROVIDE 1/8" PER FOOT SLOPE IN THE DIRECTION INDICATED. (SOUTHERN ROOF IS OPPOSITE).



**3 DETAIL @ EXTERIOR & INTERIOR EDGES**  
SCALE: 1 1/2"=1'

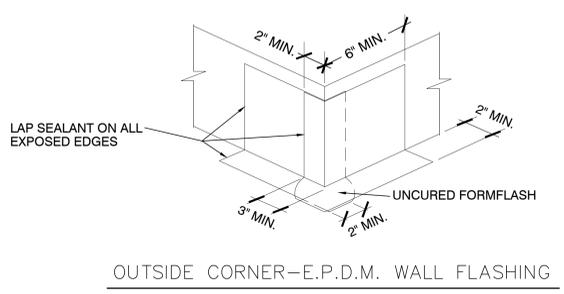
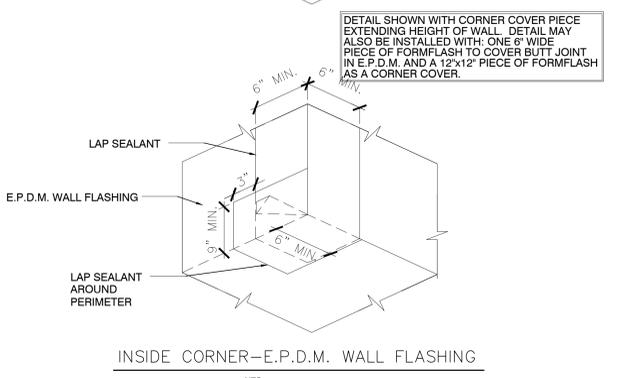
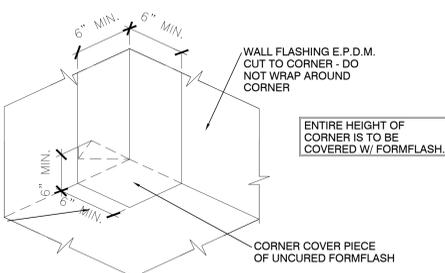
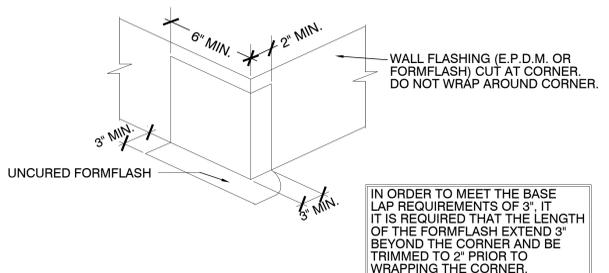
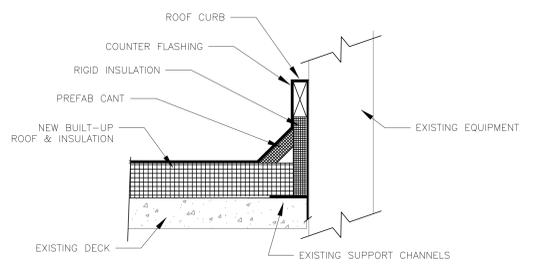
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Drawing File Number:		Building No. <b>76</b>		Project No. <b>528A6-13-620</b>
Approved: Project Section Mgr.	Date	Checked <b>JAY</b>	Drawn <b>SDP</b>	DRAWING NO. <b>VAMC-528A6-1754</b>
Approved: Medical Center Director	Date	Location <b>BATH, NEW YORK</b>		<b>A-1</b>
Revisions	Date	Dwg. 2 Of 3		



- NOTES**
1. PLACE 2X2 PAVERS 20'-0" FROM HOSPITAL BUILDING WALL ON NORTH AND SOUTH ROOFS. ALLOW FOR 10% NEW PAVERS + 10% PAVERS NEW AS REPLACEMENT. PROVIDE NEW PAVERS AS DESCRIBED IN (A1).
  2. SUPPLY NEW PAVERS TO AND AT EXISTING SERVICING AREAS AT EXISTING ROOF MOUNTED HVAC.
  3. PROVIDE EPDM MANUFACTURER'S RECOMMENDED PROTECTION FOR STONE ROOF PAVERS.

SOUTHERN ROOF

NORTHERN ROOF



**OUTSIDE CORNER-E.P.D.M. WALL FLASHING**

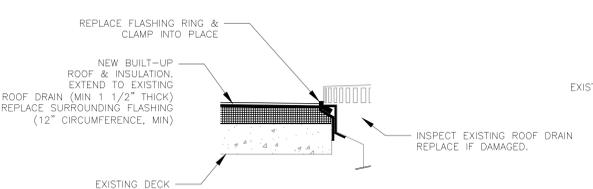
NTS

NOTE: THESE DIMENSIONS ARE THE MINIMUM ALLOWABLE UNLESS GREATER DIMENSIONS ARE RECOMMENDED BY THE EPDM MANUFACTURER, IN THAT CASE THE MANUFACTURER RECOMMENDED MINIMUM DIMENSIONS SHALL GOVERN.

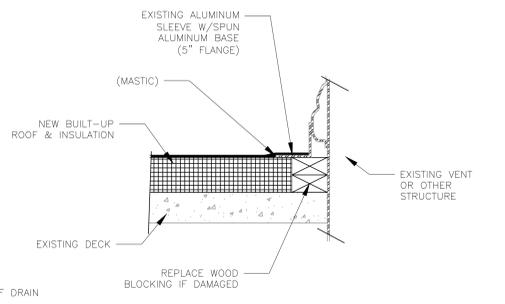
**INSIDE CORNER-E.P.D.M. WALL FLASHING**

NTS

NOTE: THESE DIMENSIONS ARE THE MINIMUM ALLOWABLE UNLESS GREATER DIMENSIONS ARE RECOMMENDED BY THE EPDM MANUFACTURER, IN THAT CASE THE MANUFACTURER RECOMMENDED MINIMUM DIMENSIONS SHALL GOVERN.



**3** DETAIL @ ROOF DRAIN  
SCALE: 1 1/2"=1'



**4** DETAIL @ VENT PIPE  
SCALE: 1 1/2"=1'

**GENERAL NOTES**

- REFER TO A-1

Revisions	Date	Drawing Title	Project Title		Date
		PLAN AND DETAILS	REPLACE B-76 ROOFS		03-14-13
		Drawing File Number:	Building No.		Project No.
		Approved: Project Section Mgr. Date	76	Checked JAY	528A6-13-620
Approved: Medical Center Director Date		Location	DRAWING NO.	A-2	
		BATH, NEW YORK	VAMC-528A6-1754		
		Dwg. 2 Of 3			