

three inches = one foot  
one and one half inches = one foot  
one inch = one foot  
three quarters inch = one foot  
one half inch = one foot  
three eighths inch = one foot  
one quarter inch = one foot  
one eighth inch = one foot  
VA FORM 08-6231



Construct Retaining Wall at Parking Lot 100W  
VA Palo Alto Health Care System  
Palo Alto, CA



DVA Project No. 640-12-116P

MEI Project No. 103

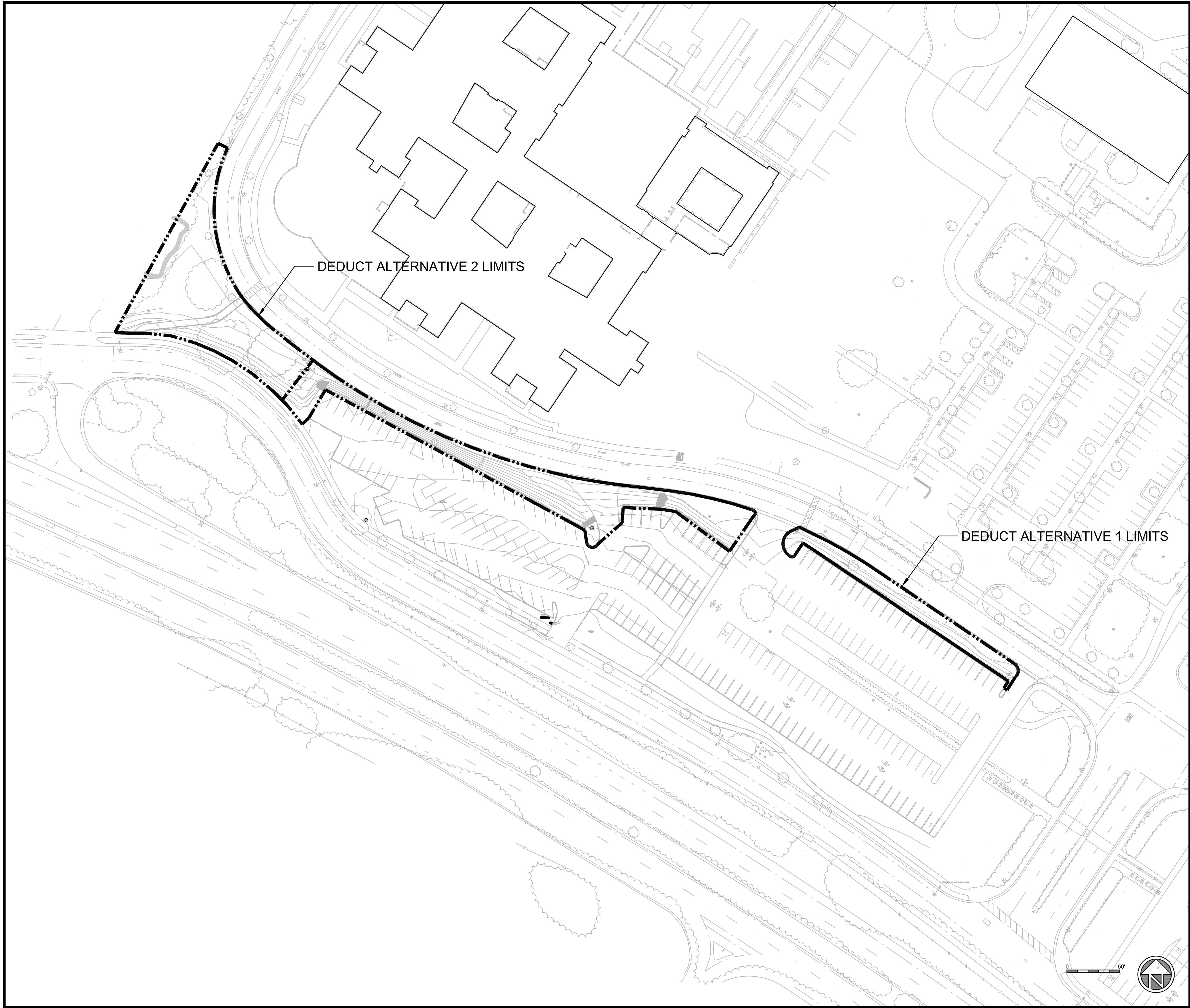
March 13, 2013

		CONSULTANTS:		ARCHITECT/ENGINEERS:		Drawing Title <b>COVER SHEET</b>		Project Title <b>CONSTRUCT RETAINING WALL AT PARKING LOT 100W</b>		Project Number 640-12-116P		Office of Construction and Facilities Management  Department of Veterans Affairs
						Approved Project Director		Location 3801 Miranda Way, Palo Alto CA		Building Number NA		
								Date March 13, 2013		Drawing Number <b>GI 0.0</b>		
								Checked		Drawn		
Revisions		Date										



one eighth inch = one foot  
one quarter inch = one foot  
one half inch = one foot  
three eighths inch = one foot  
three quarters inch = one foot  
one inch = one foot  
one and one half inches = one foot  
three inches = one foot  
6"

10:15:54 AM  
3-14-13  
Bryan



LIMIT OF WORK PLAN

1"=50'

LEGEND



DRAWING INDEX

GENERAL

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GI 1.0 SCOPE OF WORK

CIVIL

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C 0.2 KEY MAP  
C 1.1 EXISTING CONDITIONS PLAN  
C 1.2 EXISTING CONDITIONS PLAN  
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S 1 PARTIAL PLAN AND RETAINING WALL DETAILS  
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L 1.1 CONSTRUCTION PLAN  
L 1.2 APPLICATION GUIDE, AND OTHER GUIDANCE FROM THE  
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L 3.1 IRRIGATION PLAN  
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L 3.3 IRRIGATION DETAILS  
L 4.1 PLANTING PLAN  
L 4.2 PLANTING PLAN  
L 4.3 PLANTING DETAILS

ELECTRICAL

E 1.1 CONSTRUCTION - PLAN ELECTRICAL

SIGNAGE

X 0.1 WALL SIGN AT CURVED WALL

PROJECT TEAM

ARCHITECT

MEI ARCHITECTS  
239 9TH Street, Suite 201  
San Francisco, CA 94103  
Tel. 415 682 7376

CIVIL

BKF Engineers  
1646 N. California Blvd., Suite 400  
Walnut Creek, CA 94596  
Tel. 916-556-5899

LANDSCAPE

RHAA  
323 Geary Street, #602  
San Francisco, CA 94102  
Tel. 415 861-7900

ENVIROMENTAL GRAPHIC DESIGN

KATE KEATING ASSOCIATES  
1045 Sansome Street, Suite 202  
San Francisco, CA 94111  
Tel. 415-773-1000

ELECTRICAL ENGINEER

F.W. ASSOCIATES  
330 Franklin Street  
Oakland, CA 94607  
Tel. 510-763-7475

PROJECT DATA

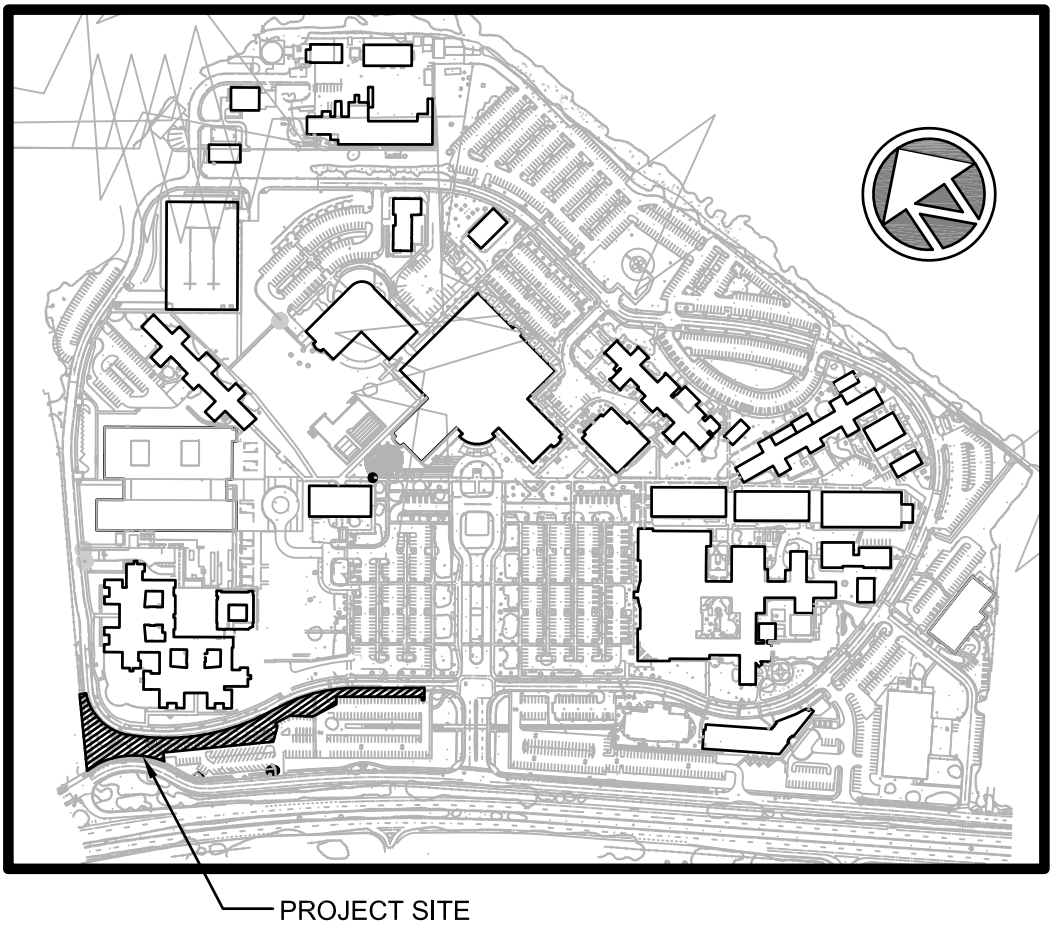
PROJECT DESCRIPTION:  
THE CONSTRUCTION OF A RETAINING WALL TO CORRECT THE  
STEEP SLOPE AND WATER RUN-OFF ISSUES AT PARKING LOT  
100W, ADDING A LOW ACCENT WALL BETWEEN LOT 100W AND  
THE LOOP ROAD, CREATING A NEW ENTRY MONUMENT WALL  
AT THE FAR NORTH CORNER OF THE VA SITE ALONG MIRANDA  
AVENUE, AND IRRIGATING AND LANDSCAPING THE SITE WITH  
AN APPROPRIATE MIX OF LOW VEGETATION AND NEW TREES.

PROJECT AREA: 30,500 SQUARE FEET

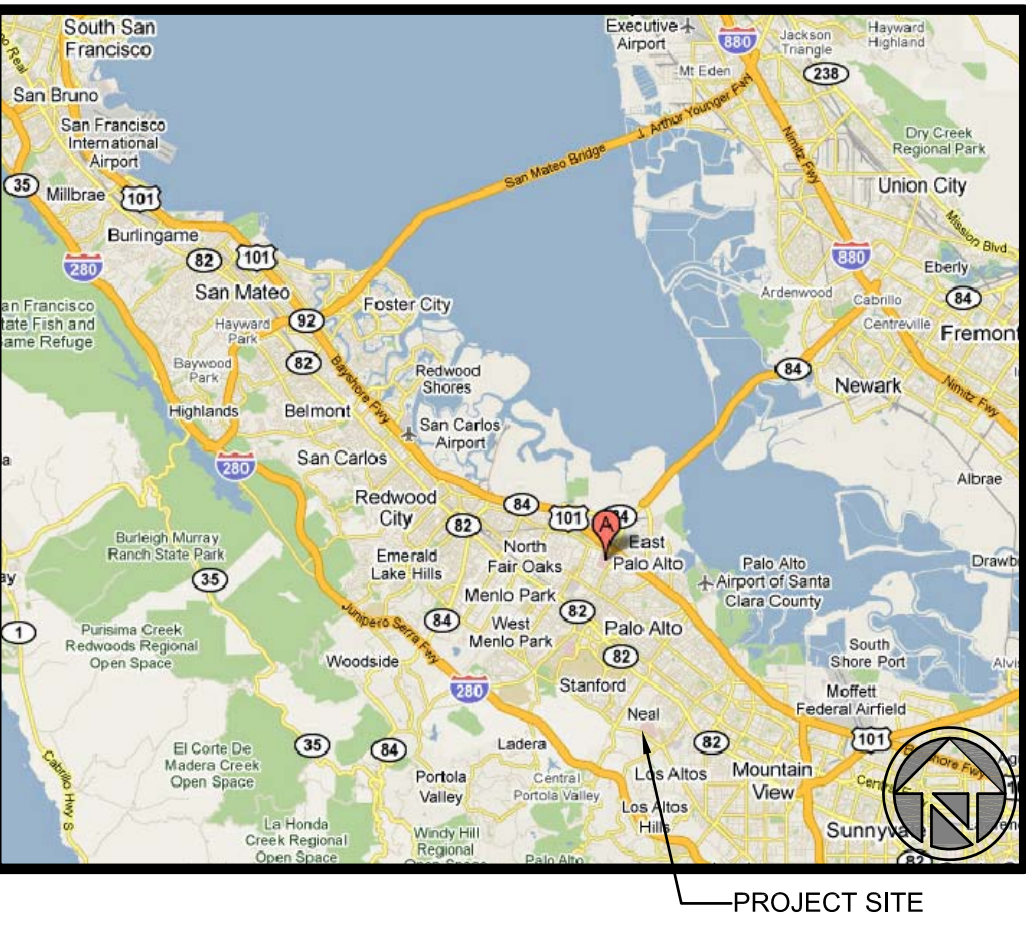
APPLICABLE CODES:

1. VA DIRECTIVES, DESIGN MANUALS, MASTER SPECIFICATIONS, VA NATIONAL CAD STANDARD APPLICATION GUIDE, AND OTHER GUIDANCE FROM THE VA TECHNICAL INFORMATION LIBRARY (TIL)
2. INTERNATIONAL BUILDING CODE (IBC)
3. NFPA 101 LIFE SAFETY CODE
4. NFPA NATIONAL FIRE CODES WITH THE EXCEPTION OF NFPA 5000 AND NFPA 900
5. OCCUPATIONAL , SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS
6. VA SEISMIC DESIGN REQUIREMENTS, H-18-8
7. NATIONAL ELECTRICAL CODE (NEC)
8. NATIONAL STANDARD PLUMBING CODE (NSPC)
9. ASME CODE FOR PRESSURE PIPING
10. ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARD (ABAAS) INCLUDING THE VA SUPPLEMENTAL BARRIER FREE DESIGN GUIDE
11. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, AMERICAN CONCRETE INSTITUTE AND COMMENTARY ACT (ACI318)
12. FEDERAL LEADERSHIP IN HIGH PERFORMANCE AND SUSTAINABLE BUILDINGS: MEMORANDUM OF UNDERSTANDING (MOU)
13. EXECUTIVE ORDER 13423: STRENGTHENING FEDERAL ENVIROMENTAL, ENERGY, AND TRANSPORTATION MANAGEMENT

LOCATION MAP



VICINITY MAP



<p>Revisions</p> <table><tr><td>1</td><td></td></tr><tr><td>2</td><td></td></tr><tr><td>3</td><td></td></tr><tr><td>4</td><td></td></tr><tr><td>5</td><td></td></tr><tr><td>6</td><td></td></tr><tr><td>7</td><td></td></tr><tr><td>8</td><td></td></tr><tr><td>9</td><td></td></tr><tr><td>10</td><td></td></tr></table>		1		2		3		4		5		6		7		8		9		10		<p>CONSULTANTS:</p> <table><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr></table>																					<p>ARCHITECT/ENGINEERS:</p> <p><b>MEI</b> architecture + interiors 239 9TH STREET, SUITE 201 SAN FRANCISCO, CA 94103 T: (415) 682-7376 F: (415) 682-7330 www.meiarchitects.com</p>	<p>Drawing Title</p> <p><b>SCOPE OF WORK</b></p> <p>Approved Project Director</p>	<p>Project Title</p> <p><b>CONSTRUCT RETAINING WALL AT PARKING LOT 100W</b></p> <p>Location 3801 Miranda Way, Palo Alto CA</p> <p>Date March 13, 2013</p> <p>Checked</p> <p>Drawn</p>	<p>Project Number</p> <p>640-12-116P</p> <p>Building Number</p> <p>NA</p> <p>Drawing Number</p> <p><b>GI 1.0</b></p> <p>Fig. of</p>	<p>Office of Construction and Facilities Management</p> <p>Department of Veterans Affairs</p>
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GENERAL NOTES

1. CONTRACTOR SHALL POST EMERGENCY PHONE NUMBERS AT THE JOB SITE FOR PALO ALTO POLICE AND FIRE DEPARTMENTS, AMBULANCE, PUBLIC WORKS, VA POLICE, AND THE RESIDENT ENGINEER.
2. ALL UNDERGROUND UTILITIES SHALL BE COMPLETE BEFORE PLACING OF BASE ROCK UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL NOTIFY THE PUBLIC OR PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY UNLESS AN EXCAVATION PERMIT SPECIFIES OTHERWISE.
4. CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY CONSTRUCTION ORDER. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
5. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
6. PAVING CONTRACTOR TO RESET ALL MANHOLE RIMS, VALVE BOXES, AND OTHER SURFACE STRUCTURES TO GRADE AFTER THE LAST LIFT OF PAVING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AMPLE COVER FOR THE PROTECTION OF ALL INSTALLED UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
8. THE CONTRACTOR IS RESPONSIBLE FOR WATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALKS, GRADING, ETC., AND TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY UTILITY RELOCATIONS, IF REQUIRED, WITH THE APPROPRIATE UTILITY COMPANIES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE COORDINATION WITH PG&E AND THE CITY OF PALO ALTO FOR THE CROSSING OF ANY EXISTING GAS MAIN THAT THE CONTRACTOR WILL ENCOUNTER.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND FURNISHING THE OWNER WITH A COPY OF ALL PERMITS AND FINAL ACCEPTANCES GRANTED BY THE UTILITY COMPANY AND/OR AGENCIES INVOLVED PRIOR TO COMMENCEMENT OF WORK. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, A STREET WORK/IMPROVEMENTS PERMIT FOR WORK WITHIN THE CITY RIGHT-OF-WAY/UTILITY EASEMENTS, DISCHARGE PERMITS FOR WATER DURING CONSTRUCTION (DEWATERING OPERATIONS, HYDROSTATIC TESTING, ETC.) AND HAULING OF MATERIALS OFF-SITE.
11. THE CONTRACTOR SHALL COORDINATE WITH VA RESIDENT ENGINEER AND SUBMIT A TRAFFIC / PHASING CONTROL PLAN, A CONSTRUCTION LOGISTICS PLAN, AND A CONSTRUCTION SEQUENCING PLAN.
12. CONTRACTOR IS RESPONSIBLE FOR HAVING EXISTING GAS LINES, POWER LINES, WATER LINES, ETC. DISCONNECTED AND RELOCATED IF NECESSARY. CONTRACTOR SHALL COORDINATE WORK WITH RESIDENT ENGINEER.
13. THE CONTRACTOR MUST MAINTAIN THE STREETS, SIDEWALKS, AND ANY OTHER RIGHTS-OF-WAY IN A CLEAN, SAFE, AND USABLE CONDITION. ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS MUST BE REMOVED FROM THE PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT.
14. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY EXISTING IMPROVEMENTS OR UNDERGROUND FACILITIES DAMAGED BY HIM, HIS SUBCONTRACTORS OR HIS MATERIAL SUPPLIERS.
15. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
16. THE CONTRACTOR SHALL MAINTAIN SITES OF WORK DURING CONSTRUCTION SO AS TO KEEP THEM REASONABLY NEAT AND FREE OF TRASH, RUBBISH, AND OTHER DEBRIS. IN CLEAN-UP OPERATIONS, CONTRACTOR SHALL REMOVE ALL TEMPORARY STRUCTURES, RUBBISH AND WASTE MATERIALS FROM SITES OF WORK AND FROM PUBLIC AND PRIVATE PROPERTY.
17. THE CONTRACTOR WILL CONDUCT WORK ALONG ANY SECTION OF THIS PROJECT WHICH IS CROSSED BY, OR ADJACENT TO, A PUBLIC UTILITY SUCH AS GAS LINES, OVERHEAD POWER LINES, SEWER LINES, ETC. IN A MANNER SO THAT NO DAMAGES RESULT TO THESE UTILITIES. ALL POLES, WIRES, CABLES, CONDUITS, PIPELINES, OR OTHER STRUCTURES WITHIN THE WORK AREA, BELONGING TO MUNICIPALITIES OR PUBLIC UTILITIES, SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES AS A RESULT OF CARELESS OR NEGLIGENT OPERATIONS.
18. THE CONTRACTOR SHALL NOT DESTROY ANY PERMANENT SURVEY POINTS WITHOUT THE CONSENT OF THE RESIDENT ENGINEER. ANY PERMANENT MONUMENTS OR POINTS DESTROYED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BY A CALIFORNIA LICENSED SURVEYOR.
19. THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH THE WORK OF OTHER CONTRACTS THAT MAY BE UNDER WAY CONCURRENTLY WITH THIS PROJECT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AIRBORNE DUST NUISANCE FROM THE CONSTRUCTION SITE BY WATERING AND/OR TREATING THE SITE IN SUCH A MANNER TO CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE SITE OR SURROUNDING AREA DUE TO DUST OR EROSION, RESULTING FROM WORK DONE BY THE CONTRACTOR. EROSION CONTROL MEASURES SHALL BE IN PLACE CONTINUOUSLY DURING CONSTRUCTION.
21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE CALIFORNIA STORM WATER CONSTRUCTION BMP HANDBOOK, DATED JANUARY 2009.
22. THE CONTRACTOR SHALL CONFORM TO THE FOLLOWING REQUIREMENTS BASED ON BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAAQMD) STANDARDS: \* WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. \* WATERING OR COVERING OF STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY WIND. \* COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR ALL TRUCKS SHALL MAINTAIN TWO FEET OF FREEBOARD. \* APPLY WATER THREE (3) TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROAD, PARKING AREAS AND STAGING AREAS AT THE SITE AND ADJACENT PUBLIC STREETS. \*HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS. \* ENCLOSE, COVER, WATER TWICE DAILY OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.)
23. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR REVIEWING AND IMPLEMENTING THE PROVISIONS SPECIFIED IN THE SWPPP AND THE EROSION CONTROL PLANS. THE CONTRACTOR SHALL PROVIDE A "QUALIFIED SWPPP PRACTITIONER" (QSP) WHO WILL BE RESPONSIBLE FOR IMPLEMENTING ALL SWPPP REQUIREMENTS.
24. EXISTING CURB AND GUTTER THAT ARE DAMAGED OR DISPLACED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE.
25. CONTRACTOR SHALL CONDUCT HIS WORK IN SUCH A MANNER AS TO NOT INTERFERE OR BLOCK EXISTING DRAINAGE. MANNER OF MAINTAINING DRAINAGE SHALL BE SUBJECT TO APPROVAL OF THE RESIDENT ENGINEER. BASED ON THE CONTRACTOR'S SEQUENCING OF THE WORK, IF TEMPORARY DRAINAGE FACILITIES ARE REQUIRED, CONTRACTOR SHALL SUBMIT A PLAN FOR THE TEMPORARY IMPROVEMENTS TO THE RESIDENT ENGINEER FOR APPROVAL.
26. CONTRACTOR SHALL PROVIDE AT LEAST TWO (2) WORKING DAYS ADVANCE NOTICE TO THE RESIDENT ENGINEER PRIOR TO CONNECTING TO EXISTING WATER FACILITIES. THE MANIPULATION OF EXISTING WATER VALVES SHALL BE DONE UNDER THE DIRECTION OF THE RESIDENT ENGINEER.
27. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE REQUIREMENTS OF THE DIVISION OF INDUSTRIAL SAFETY PERTAINING TO "CONFINED SPACES." ANY MANHOLE, CULVERT, DROP INLET OR TRENCH WHICH COULD CONTAIN AIR WHICH IS NOT READILY VENTILATED MAY BE CONSIDERED A "CONFINED SPACE."
28. THE CONTRACTOR SHALL REPLACE OR REPAIR ALL FENCE (HOG WIRE, BARBED WIRE, CYCLONE, ETC.) DAMAGED OR MOVED IN CONNECTION WITH OPERATIONS UNDER THIS WORK USING THE NEW MATERIAL WHERE NECESSARY. THE CONTRACTOR WILL BE ALLOWED TO REPLACE THE ORIGINAL FENCE OR RELOCATE THE ORIGINAL FENCE, PROVIDING THIS MATERIAL IS USABLE IN THE OPINION OF THE RESIDENT ENGINEER. WHEN NEW MATERIAL IS NECESSARY, SUCH MATERIAL WILL BE REPLACEMENT OF THE ORIGINAL FENCE IN REGARDS TO TYPE OF FENCING POSTS AND CONSTRUCTION.
29. IF ANY CULTURAL FEATURES OR ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING, OR OTHER EXCAVATION WORK, ALL WORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHEOLOGIST (SOPA) AND/OR THE SOCIETY OF CALIFORNIA ARCHEOLOGY (SCA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND APPROPRIATE MITIGATION MEASURES ARE DETERMINED AND IMPLEMENTED. CONTRACTOR SHALL ALSO NOTIFY THE RESIDENT ENGINEER.
30. ALL REVISIONS TO THIS PLAN MUST BE APPROVED BY THE RESIDENT ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS PRIOR TO ACCEPTANCE OF THE WORK AS COMPLETE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE RESIDENT ENGINEER.

SURVEY NOTE

THE BACKGROUND SURVEY INFORMATION SHOWN ON THIS PLAN IS COMPILED FROM DRAWINGS SUPPLIED BY THE OWNER AND TOPOGRAPHIC SURVEYS PERFORMED BY BKF.

BASIS OF BEARINGS

COORDINATES, BEARINGS, AND DISTANCES SHOWN ON THIS SURVEY ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83) CCS83, CALIFORNIA ZONE 3. THE COORDINATES WERE DETERMINED BY HOLDING THE NAD 83, CCS83 (EPOCH 2007.00) STATE PLANE COORDINATE VALUES OF NGS CONTROL POINTS AA1871 AND AA1873.

TO CONVERT GRID DISTANCES, MULTIPLY VALUES SHOWN BY 1.00005205 TO OBTAIN GROUND DISTANCES.

POINT NO. AA1871  
NORTHING = 1947025.36  
EASTING = 6103392.37  
DESCRIPTION = SURVEY DISK STAMPED "SAN ANTONIO HPQN-D 1992"

POINT NO AA1873  
NORTHING = 1967517.66  
EASTING = 6129781.48  
DESCRIPTION = SURVEY DISK STAMPED "MISSION HPQN-D 1992"

BENCHMARK

BENCHMARK: BM065

FOUND BRASS DISK ON TOP OF THE MIDDLE OF THE NORTHEASTERN HEADWALL FOR BARRON CREEK AND MIRANDA DRIVE, APPROXIMATELY 1500 FEET NORTHWEST FROM ARASTRADERO ROAD AT FOOTHILL EXPRESSWAY.

ELEVATION 100.09 FEET (NAVD 88)

UTILITY NOTES

1. EXISTING PUBLIC WATER LINES, OPERATED BY THE CITY OF SAN FRANCISCO PUC, RUNS TO THE SOUTH OF THE PROJECT AREA. THE PUBLIC WATER LINE SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. NO NEW CONNECTIONS TO THE PUBLIC WATER PIPE ARE TO BE CONSTRUCTED IN THIS PROJECT.

2. THE EXISTING 6" PVC GAS SERVICE LINE TO BUILDING 40 IS OPERATED BY THE CITY OF PALO ALTO. NO WORK ON THIS LINE BY THE CONTRACTOR IS ALLOWED. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE SEPARATE CITY PROJECT TO RELOCATE OR REPLACE THIS LINE.

3. ALL SERVICES TO EXISTING BUILDINGS TO REMAIN SHALL REMAIN OPERATIONAL AT ALL TIMES DURING THE PROJECT.

4. UNLESS OTHERWISE INDICATED ON THE PLANS, SEPARATION OF SANITARY SEWER AND WATER PIPES SHALL BE 10' HORIZONTAL AND 2' VERTICAL. SEPARATION OF SANITARY SEWER AND STORM DRAIN PIPES SHALL BE 4' HORIZONTAL AND 1' VERTICAL. SEPARATION OF ALL OTHER UTILITIES SHALL BE 5' HORIZONTAL AND 1' VERTICAL WHENEVER POSSIBLE.

5. PROPOSED STORM DRAIN SYSTEMS SHALL BE CONSTRUCTED STARTING AT THE DOWNSTREAM END. CONTRACTOR SHALL VERIFY INVERTS OF EXISTING GRAVITY PIPES PRIOR TO STARTING EXCAVATION WORK.

6. CONTRACTOR SHALL REFER TO ELECTRICAL PLANS FOR REQUIRED WORK.

7. CONTRACTOR SHALL PROVIDE TEMPORARY CONVEYANCE OF STORM DRAINAGE IN AREAS WHERE PORTIONS OF THE EXISTING DRAINAGE SYSTEM ARE DEMOLISHED AND REROUTED.

CONTRACTOR RESPONSIBILITY

CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS IN DRAWINGS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE ATTENTION OF THE RESIDENT ENGINEER FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

EARTHWORK NOTE

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE ALL MATERIAL AND LABOR REQUIRED WITHIN THE BID PRICE, FOR EARTHWORK CONSTRUCTION, TO CARRY OUT THE CUT/FILL AND/OR IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRASSES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.

ABAAS NOTES

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS EXCEPT AS MODIFIED BY THE DEPARTMENT OF VETERANS AFFAIRS BARRIER FREE DESIGN GUIDE (PG-18-13).

2. CURB RAMPS SHALL BE A MINIMUM OF 4 FEET WIDE AND NOT EXCEED A SLOPE OF 1:12 (8.33%).

3. WALKS SHALL NOT EXCEED A SLOPE OF 1:33 (3%). PEDESTRIAN RAMPS SHALL NOT EXCEED 1:20 (5%).

4. A 2% MAXIMUM SLOPE LANDING SHALL BE PROVIDED AT PRIMARY ENTRANCES TO BUILDINGS, THE LANDINGS SHALL HAVE A MINIMUM WIDTH OF 72" WHEN THE DOOR OPENS INTO THE BUILDING. WHEN THE DOOR OPENS ONTO THE LANDING THE DEPTH SHALL BE 42" PLUS THE WIDTH OF THE DOOR MINIMUM.

5. RAMPS ARE DEFINED AS ANY WALKWAY WITH SLOPES BETWEEN 1:33 (3%) AND 1:20 (5%), AND SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%. RAMPS SHALL HAVE INTERMEDIATE (2% MAXIMUM SLOPE) LANDINGS A MINIMUM OF 60" BY 60" IN SIZE. LANDINGS SHALL BE EVERY 40 FEET FOR RAMPS BETWEEN 1:33 AND 1:25, AND EVERY 35 FEET FOR RAMPS BETWEEN 1:25 AND 1:20. ALL RAMPS SHALL HAVE HANDRAILS, AND EDGE PROTECTION OR GUIDE RAILS.

6. MAXIMUM CROSS SLOPE ON ANY WALK OR RAMP SHALL BE 2% MAXIMUM. SLOPE WITHIN PARKING STALLS DESIGNATED AS ACCESSIBLE PARKING SHALL BE 2% MAXIMUM IN ANY DIRECTION.

EXISTING UTILITY NOTES

1. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. THE TYPES, LOCATIONS, EXTENTS, SIZES AND DEPTHS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND WERE OBTAINED FROM VARIOUS SOURCES, INCLUDING TOPOGRAPHIC FIELD SURVEYS, ELECTRONIC UTILITY LOCATION SURVEYS, AS-BUILT DRAWINGS, AND VIA FACILITY MAPS. ABANDONED UNDERGROUND UTILITIES MAY EXIST, THE LOCATION OF WHICH ARE NOT KNOWN. CONTRACTOR IS CAUTIONED THAT THE TYPES, LOCATIONS, EXTENTS, SIZES AND DEPTHS OF EXISTING UNDERGROUND UTILITIES INDICATED ON THE PLANS MAY NOT BE THE TYPES, LOCATIONS, EXTENTS, SIZES AND DEPTHS ENCOUNTERED IN THE FIELD.

2. ONLY EXCAVATION AND PHYSICAL EXPOSURE WILL REVEAL THE ACTUAL TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING EXISTING UNDERGROUND UTILITIES WITHIN THE AREA OF WORK. CONTRACTOR SHALL RETAIN A PRIVATE UTILITY LOCATOR TO IDENTIFY EXISTING UTILITIES. THE CONTRACTOR SHALL POTHOLE AS NECESSARY AT CONNECTION LOCATIONS AND PROPOSED UTILITY CROSSINGS TO FULLY LOCATE AND IDENTIFY EXISTING UTILITIES. POTHOLING SHALL BE DONE AND THE RESULTS, INCLUDING ANY CONFLICTS IDENTIFIED, REPORTED TO THE RESIDENT ENGINEER PRIOR TO THE START OF WORK.

3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING HIS WORK TO AVOID CONFLICTS BETWEEN SEWER LATERALS, STORM DRAINS, WATER MAINS, AND ALL OTHER UNDERGROUND UTILITIES.

4. THE CONTRACTOR IS ADVISED THAT SOME OF THE EXISTING WATER AND IRRIGATION MAINS WITHIN THE VA CAMPUS ARE CONSTRUCTED WITH TRANSITE PIPE. THE CONTRACTOR SHALL NOTIFY THE RESIDENT ENGINEER IF TRANSITE WATER PIPE MATERIAL IS UNCOVERED IN THIS PROJECT. THE CONTRACTOR SHALL ALSO FOLLOW ALL OSHA STANDARDS FOR WORK CREW AND SAFETY WHEN WORKING AROUND TRANSITE PIPES. REFER TO THE PROJECT SPECIFICATIONS FOR ASBESTOS ABATEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND LAWFUL DISPOSAL OF TRANSITE PIPE MATERIALS.


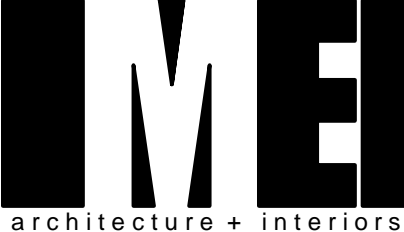
ABBREVIATIONS

Δ	ANGLE OF AN ARC (DELTA)
10+00	100' STATIONS ALONG ALIGNMENT
AB	AGGREGATE BASE
AC	ASPHALTIC CONCRETE
BC	BEGINNING OF CURVE
BFP	BACKFLOW PREVENTER
BS	BOTTOM STEP
BW	BOTTOM OF WALL
C	CONCRETE
CB	CATCH BASIN
CL/ C	CENTERLINE
CONC	CONCRETE
DI	DRAINAGE INLET
(E)	EXISTING
EX	EXISTING
ELEV	ELEVATION
EG	EXISTING GRADE/GROUND
EP	EXISTING PAVEMENT
FG	FINISHED GRADE/GROUND
FF	FINISHED FLOOR
FL	FLOW LINE
FH	FIRE HYDRANT
GB	GRADE BREAK
GR	GRADE OR GRATE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
MP	MID POINT
MIN	MINIMUM
P	PAVEMENT
PC	POINT OF CURVATURE
PCC	PORTLAND CEMENT CONCRETE
PERF	PERFORATED
PVC	POLYVINYL CHLORIDE
RIM	UTILITY STRUCTURE RIM
S	SOUTH OR SLOPE
SD	STORM DRAIN
SDBC	STORM DRAIN CATCH BASIN
SDCI	STORM DRAIN CURB INLET
SDDI	STORM DRAIN DROP INLET
SDMH	STORM DRAIN MANHOLE
STA	STATION
SW	SIDEWALK
TGR	TOP GUARD RAIL
TC	TOP OF CURB
TS	TOP STEP
TW	TOP OF WALL
TYP	TYPICAL

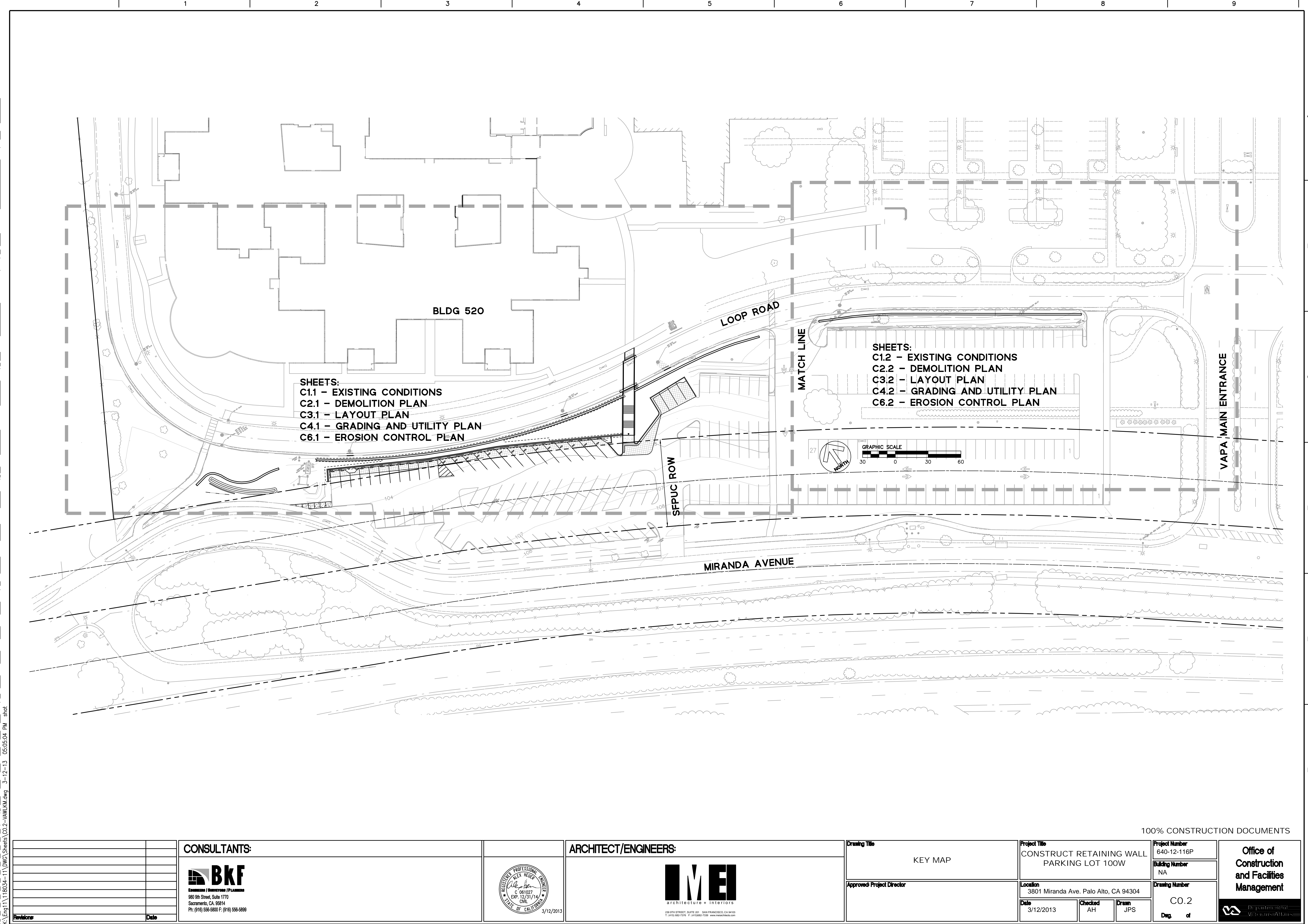
LEGEND

	NEW	EXISTING
LIMIT OF CONSTRUCTION	----	----
STORM DRAIN LINE	=====	----- SD -----
PERFORATED DRAIN PIPE	-----	-----
FLOW LINE	-----	-----
UTILITY LINE TO BE REMOVED IN THIS PACKAGE	---/---/---/---	---
UTILITY LINE ABANDONED OR REMOVED IN OTHER PACKAGES	---	---/---/---/---
DETAIL REFERENCE - DETAIL # / SHEET #	(17 CSI&T)	
STORM DRAIN AREA DRAIN	⊙	⊙
STORM DRAIN MANHOLE	●	●
PRECAST CONCRETE STORM DRAIN DRAIN INLET / BUBBLER	■	
CLEANOUT	CO ●	CO ●
SANITARY SEWER MANHOLE	●	●
FIRE HYDRANT	FH +●+	FH +●+
POST INDICATOR VALVE	⊗ PIV	
FIRE DEPARTMENT CONNECTION	FDC	FDC
BACKFLOW PREVENTER	BFP	BFP
SIGN	—	—
SURVEY CONTROL POINT - FLIGHT CROSS	×	
SURVEY CONTROL POINT	△	
LIGHT POLE	*	* * *
ELECTRICAL OR TELECOMMUNICATIONS VAULT		□


100% CONSTRUCTION DOCUMENTS

		CONSULTANTS:				ARCHITECT/ENGINEERS:		Drawing Title		Project Title		Project Number		Office of Construction and Facilities Management			
		 Engineers   Surveyors   Planners 980 9th Street, Suite 1770 Sacramento, CA 95814 Ph: (916) 556-5800 F: (916) 556-5899				 architecture + interiors 239 9TH STREET, SUITE 201   SAN FRANCISCO, CA 94103 T: (415) 682-7376 F: (415) 682-7330   www.mehi.com		GENERAL NOTES		CONSTRUCT RETAINING WALL PARKING LOT 100W		640-12-116P					
								Approved Project Director		Location		3801 Miranda Ave. Palo Alto, CA 94304				Building Number NA	
										Date		3/12/2013				Checked AH	
Revisions		Date										Deg. of					



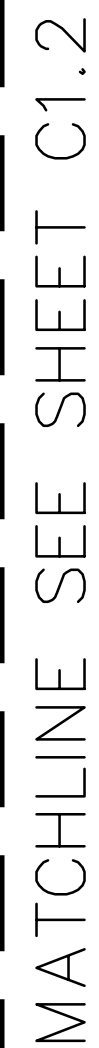


**Office of  
Construction  
and Facilities  
Management**

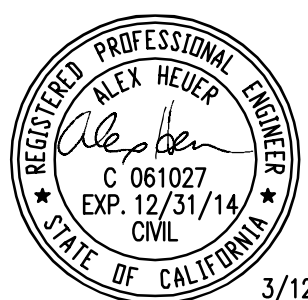
 Department of  
Veterans Affairs



1	2	3	4	5	6	7	8	9
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**BKF**  
ENGINEERS / SURVEYORS / PLANNERS  
980 9th Street, Suite 1770  
Sacramento, CA. 95814  
Ph: (916) 556-5800 F: (916) 556-589



DMEL  
architecture + interiors  
239 9TH STREET, SUITE 201 SAN FRANCISCO, CA 94103

## EXISTING CONDITIONS PLAN

CONSTRUCT RETAINING WALL  
PARKING LOT 100W

3801 Miranda Ave. Palo Alto, CA 94304

AH

JPS

640-12-116P

Building Number	NA
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	Drawing Number
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C1.1

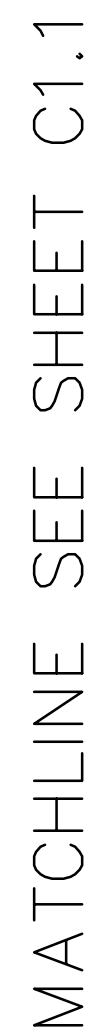
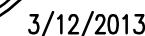
Date of

**Office of  
Construction  
and Facilities  
Management**



100% CONSTRUCTION DOCUMENTS



VA FORM 08-6231

239 9TH STREET, SUITE 201 SAN FRANCISCO, CA 94102

100% CONSTRUCTION DOCUMENTS

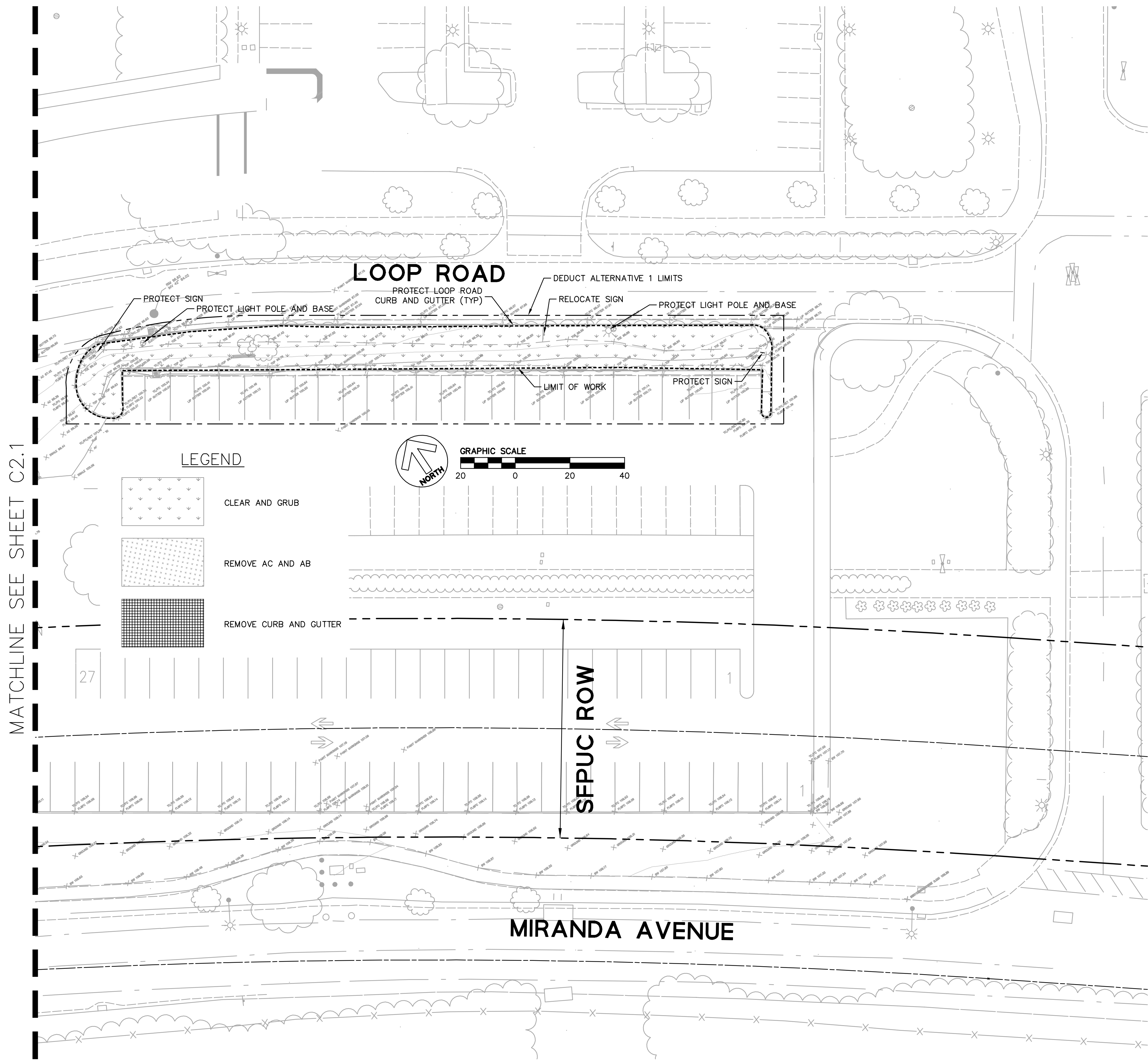
 Department of  
Psychology



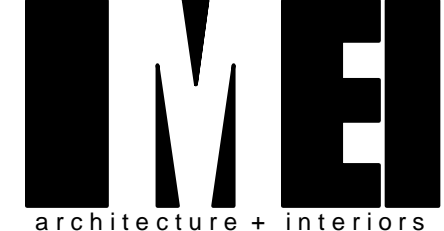




one eighth inch = one foot  
0 4 8  
one quarter inch = one foot  
0 4 8  
one half inch = one foot  
0 4 8  
three eighths inch = one foot  
0 4 8  
one inch = one foot  
0 6 12  
three quarters inch = one foot  
0 6 12  
two quarters inch = one foot  
0 6 12  
one and one half inches = one foot  
0 6 12  
three inches = one foot  
0 6 12

KL Eng 11/11/2014-11/11/2014 Sheets (C2.1-WALD) 3-12-13 03:05:34 PM stat



<b>CONSULTANTS:</b>		<b>ARCHITECT/ENGINEERS:</b>		<b>Drawing Title</b>		<b>Project Title</b>		<b>Project Number</b>		<b>Office of Construction and Facilities Management</b>			
 BKF Engineers / Surveyors / Planners 980 9th Street, Suite 1770 Sacramento, CA 95814 Ph: (916) 556-5800 F: (916) 556-5899				 MEI architecture + interiors 230 9TH STREET, SUITE 201 SAN FRANCISCO, CA 94103 T: (415) 692-7376 F: (415) 692-7330 www.meiarch.com		DEMOLITION PLAN		CONSTRUCT RETAINING WALL PARKING LOT 100W				640-12-116P	
<b>Revisions</b>				<b>Approved Project Director</b>		<b>Location</b>		<b>Building Number</b>				<b>Drawing Number</b>	
						3801 Miranda Ave. Palo Alto, CA 94304		NA				C2.2	
						<b>Date</b>		<b>Checked</b>		<b>Drawn</b>			
						3/12/2013		AH		JPS			
										<b>Dep. of</b>			

VA FORM 08-6231