

REPLACE ROOFS, B-76

PROJECT NO. 528A6-13-620

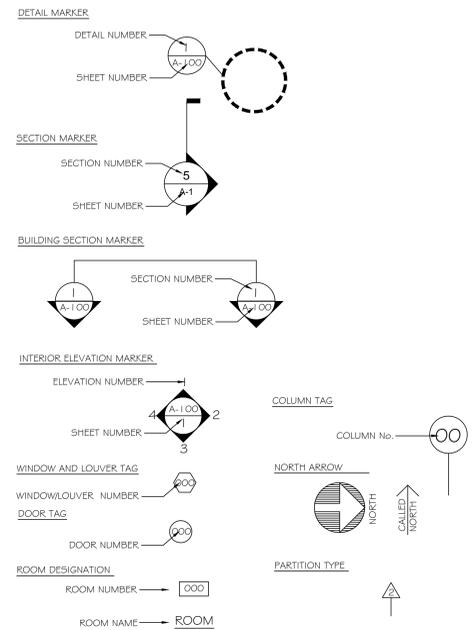
V.A. MEDICAL CENTER
BATH, NEW YORK 14810

LIST OF DRAWINGS

DRAWING NO.	SYMBOL	SHEET	TITLE
VAMC-528AG-1754	T-1	1 OF 3	COVER SHEET
VAMC-528AG-1754	A-1	2 OF 3	LAYOUT AND DETAILS
VAMC-528AG-1754	A-2	3 OF 3	LAYOUT AND DETAILS

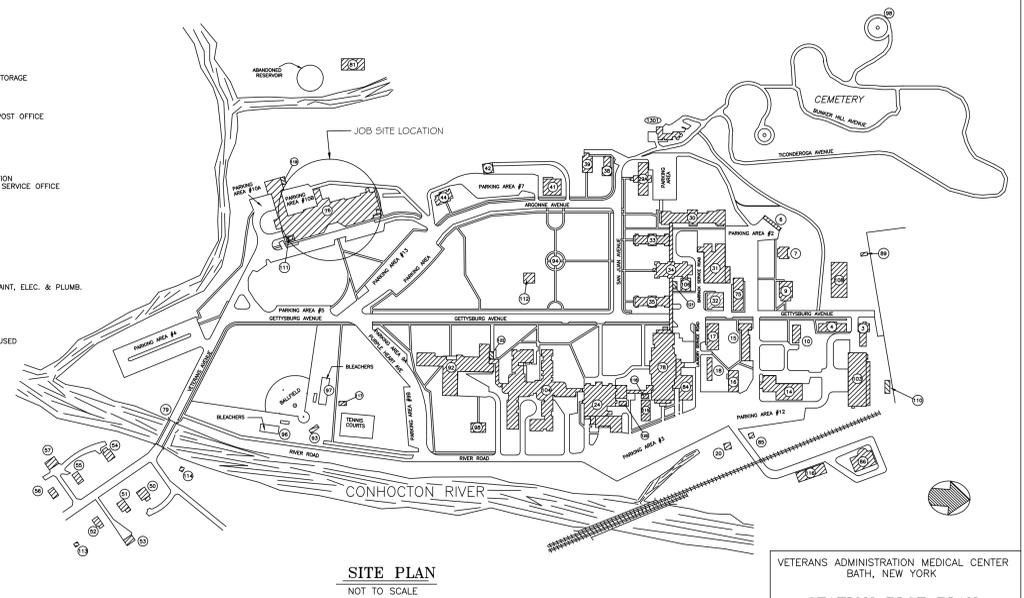
ABBREVIATIONS AND SYMBOLS

AB ANCHOR BOLT	EA EACH	MAT MATERIAL	T TOILET
AC AIR CONDITIONING	EL ELEVATION	MAX MAXIMUM	T/ TOP OF
ACT ACOUSTICAL CEILING TILE	ELEC ELECTRIC	MECH MECHANICAL	TH THICK/ THICKNESS
ADD ADDITIONAL	ELEV ELEVATION	MFGR MANUFACTURER	T&G TONGUE & GROOVE
ADJ ADJUSTABLE	EQ EQUAL	MH MAN HOLE	TOP TOP OF FOOTING
AFP ABOVE FINISH FLOOR	EW EACH WAY	MIN MINIMUM	TOS TOP OF STEEL
ALT ALTERNATE	EXT EXTERIOR	MDO MASONRY OPENING	TOW TOP OF WALL
AL ALUMINUM	EXG EXISTING	MTL METAL	TYP TYPICAL
ARCH ARCHITECTURAL			
ASPH ASPHALT	FBGL FIBERGLASS	NIC NOT IN CONTRACT	UNO UNLESS NOTED OTHERWISE
	FD FLOOR DRAIN	NTS NOT TO SCALE	
EV BOTTOM of	FFE FINISH FLOOR ELEVATION		
BD BOARD	FIN FIN	OC ON CENTER	VB VAPOR BARRIER
BL BUILDING LINE	FLR FLOOR	OHD OVERHEAD DOOR	VCT VINYL COMPOSITION TILE
BLDG BUILDING	FNDN FOUNDATION	OPNG OPENING	VERT VERTICAL
BLK BLOCK	FF FIREPLACE		
BLKG BLOCKING	FR FAMILY ROOM	PL PLATE	
BP BEARING PLATE	FTG FOOTING	PSF POUNDS PER SQUARE FOOT	W WIDE/ WIDTH
BR BEDROOM		PSI POUNDS PER SQUARE INCH	WC WATER CLOSET
BSMT BASEMENT		PT (D) PLYWOOD	WD WOOD
BTWN BETWEEN		RA RETURN AIR	WIND WINDOW
BRG BEARING		RD ROOF DRAIN	WWM WELDED WIRE MESH
		REF REFERENCE	EXISTING WALLS
CB CATCH BASIN		REIN REINFORCING	NEW PARTITIONS
CC CENTER TO CENTER		REGD REQUIRED	ITEMS TO BE DEMOLISHED
CEM CEMENT	H HIGH	RH RIGHT HAND	
CJ CORNER GUARD	HC HOLLOW CORE	RM ROOM	
CG CONSTRUCTION JOINT or CONTROL JOINT	HDR HEADER	RO ROUGH OPENING	
CLG CEILING	HDW HARDWARE	RS ROUGH SAWN	
CMU CONCRETE MASONRY UNIT	HGT HEIGHT	SC SOLID CORE	
COL COLUMN	HM HOLLOW METAL	SCWD SOLID CORE WOOD DOOR	
COMP COMPACTED	H.P. HIGH POINT	SD SMOKE DETECTOR	
CONC CONCRETE	H.R. HANDRAIL	SF SQUARE FEET	
CONST CONSTRUCTION	HW HOT WATER	SFLR SUB-FLOOR	
CONT CONTINUOUS	INS INSULATION	SIM SIMILAR	
COORD COORDINATE	INT INTERIOR	SL SLOPE	
CPT CARPET	JAN JANITORIAL	SOG SLAB-ON-GRADE	
CRS COURSE	JST JOIST	SPEC SPECIFICATIONS	
CT CERAMIC TILE	JT JOINT	STL STEEL	
	K KITCHEN	STR STRUCTURAL	
	LF LINEAR FEET	SV SHEET VINYL FLOORING	
	LH LEFT HAND		
	LOC LOCATION		
	LVL LAMINATED VENEER LUMBER		

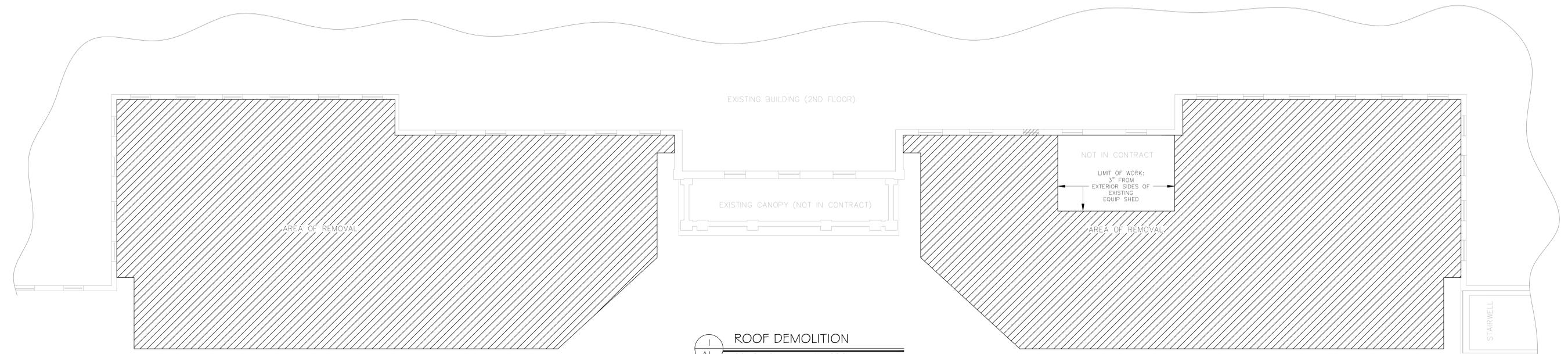


BUILDING SCHEDULE

3	EQUIPMENT STORAGE
4	LUMBER SHED
5	ENGINEERING STORAGE
9	STUDENT HOUSING
10	ENGINEERING OFFICE
14	DAY TREATMENT CENTER
15	FIRE DEPARTMENT & GARAGE
16	GARAGES, VEH. REPAIR, MASONRY STORAGE
18	CARPENTER SHOP
19	LAUNDRY/PRINT SHOP/PS
20	VOLUNTEER SERVICES
23	SEWER - PUMP HOUSE
24	MAIN DINING ROOM & KITCHEN & POST OFFICE
29A	LPHOSTERY SHOP/MUSEUM
30	SECTION 4 ADMINISTRATION
31	BOLLEN PLAZA
32	GERIATRIC OFFICES & HOME BASED SOCIAL WORK
33	SECTION 5 - IT
34	SECTION 4 - BOUNDRARY
35	SECTION 3 - CANTINE/ADMINISTRATION
38	NCS NET WAITING OFFICE/CHARLAIN SERVICE OFFICE
39	MAIN CHAPEL
41	HUMAN RESOURCES, CONTRACTING
42	HONOUR GUARD
44	OFFICE
50	QUARTERS
51	QUARTERS
52	QUARTERS
53	THREE CAR GARAGE
54	QUARTERS
55	QUARTERS
56	QUARTERS
57	THREE CAR GARAGE
75	ENGINEERING SHOPS & STORAGE-PAINT, ELEC. & PLUMB.
76	HOSPITAL
78	SECTION 2 - CLC
81	HOSPITAL
82	RECREATION & LIBRARY
83	UNDERGROUND RESERVOIR
84	COMPENSATED WORK THERAPY
85	INCINERATOR - NOT USED
86	SEWAGE TREATMENT PLANT - NOT USED
92	RECREATION & LIBRARY
93	FIELD HOUSE
94	PARADE GROUND - FLAG POLE
95	CHEMISTRY FLAG POLE
96	BLEACHERS - EAST
97	BLEACHERS - WEST
98	COVERED PICNIC AREA
103	PIPER + WINDHOUSE
104	SECTION 1 - DOMICILIARY
109	CANTINE BAY
108	HEAVY EQUIPMENT STORAGE
110	FIELD HOUSE STORAGE
111	RAISED PLATFORM
112	GREEN HOUSE STORAGE
113	METER HOUSE
114	GREEN HOUSE
115	GREEN HOUSE
116	INBOUND YARD
117	FIELD HOUSE STORAGE
118	GREEN HOUSE STORAGE
119	ANNEX PLATFORM
120	SMOKING SHELTER (B24)
121	SMOKING SHELTER (B35)
122	SMOKING SHELTER (B60)
1301	NATIONAL CEMETERY SERVICE



Revisions	Date	ALL WORK TO BE IN ACCORDANCE WITH N.F.P.A., NATIONAL, STATE AND CITY CODES & D.S.H.A.	Approved: Logistic Manager Date	Approved: A.F.G.E. Date	Approved: Fire Chief Date	Approved: Energy Engineer Date	Drawing Title COVER SHEET	Project Title REPLACE B-76 ROOFS	Date 03-14-13
			Approved: Infection Control Mgr Date	Approved: Interior Designer Date	Approved: Safety Officer Date	Approved: M&R Foreman Date	Drawing File Number:	Building No. 76	Project No. 528A6-13-620
			Approved: Chief of Security Date	Approved: Info. Sys. Date	Approved: Industrial Hygienist Date	Approved: Utility Systems Date	Approved: Facility Manager Date	Checked JAY	Drawn SDP
			Approved: Patient Safety Date	Approved: Women's Health Rep Date	Approved: Space Owner Date	Approved: Associate Director Date	Approved: Medical Center Director Date	Location BATH, NEW YORK	DRAWING NO. VAMC-528AG-1754 T-1 Dwg. 1 Of 3

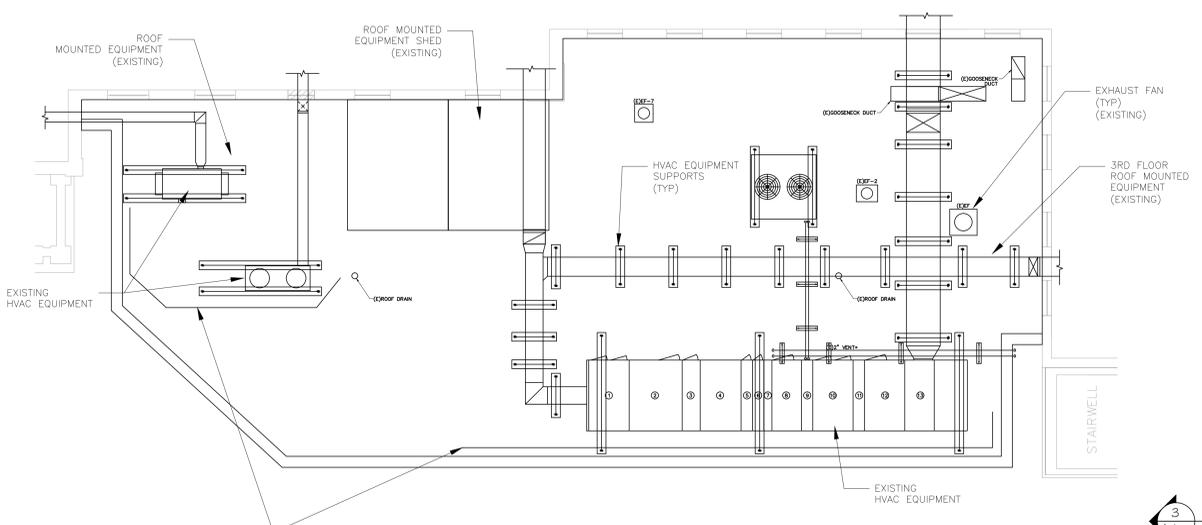


1
A1
ROOF DEMOLITION
SCALE: 1/2"=1' (PHASE 3)

- NOTES**
- REMOVE AND DISPOSE OF EXISTING ROOFING MATERIALS TO EXISTING CONCRETE DECK, INCLUDING BALLAST. RECOVER EXISTING PAVERS FOR REUSE (SEE I/A2 FOR LAYOUT). REPLACE ALL PAVERS THAT ARE 20% OR GREATER DAMAGED PRIOR TO CONSTRUCTION, OR BROKEN DURING CONSTRUCTION. SEAL CRACKS IN EXISTING DECK. REESTABLISH SEALS AROUND EXISTING VENTS, PIPES, ROOF FANS, AND DRAIN PIPES.
 - PROTECT THE EXISTING STRUCTURES, VENTS, FANS, DRAINS, AND SUPPORTS ON ALL ROOFS.
 - INSPECT AND CLEAN OUT EXISTING ROOF DRAINS TO PROVIDE PROPER DRAINAGE.
 - REMOVE AND REPLACE ANY LIGHTNING PROTECTION EQUIPMENT.

SOUTHERN ROOF

NORTHERN ROOF

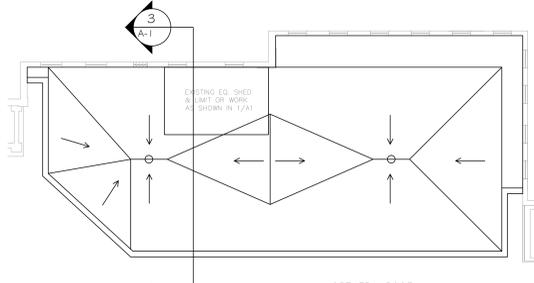


2
A1
EXISTING STRUCTURES ON NORTH ROOF
SCALE: 1/8"=1'

- NOTES**
- EXISTING ROOF MOUNTED EQUIPMENT AND LOCATIONS OF SUPPORTS ARE GENERAL AND NOT EXACT.
 - ROOF WORK SHALL MINIMALLY INTERFERE WITH EQUIPMENT SERVICES TO EACH LOCATION.
 - EXISTING AIR HANDLING EQUIPMENT ARE ELEVATED ABOVE EXISTING ROOF. EXISTING HVAC UNITS, AIR DUCTS, OR ASSOCIATED PIPING MAY BE AS LITTLE AS 6' TO 8' ABOVE EXISTING ROOF.

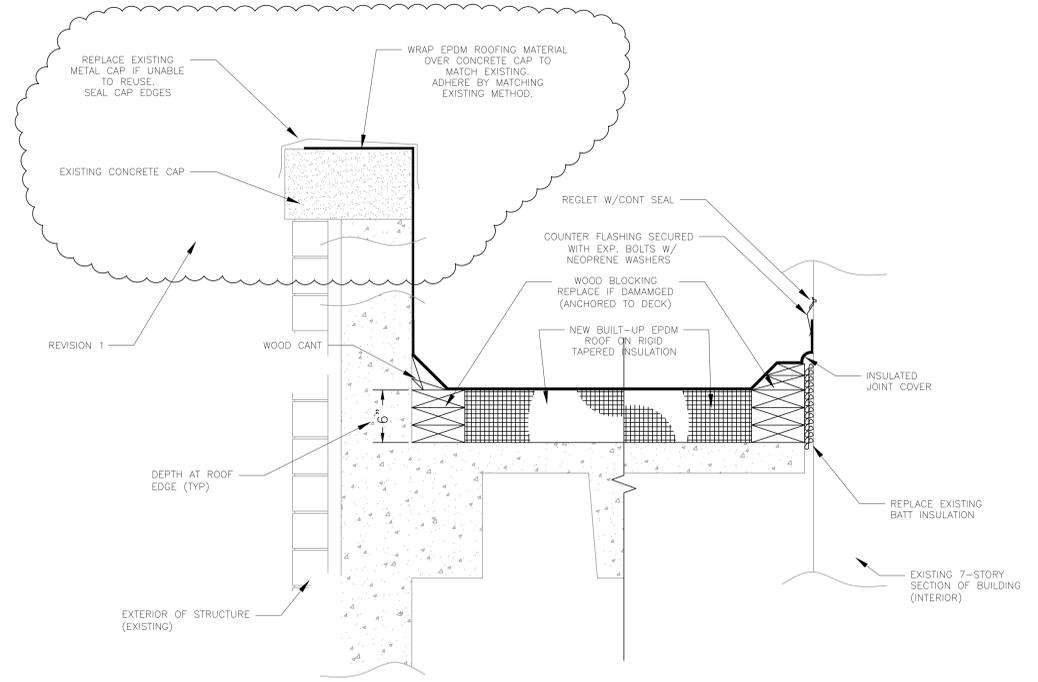
GENERAL NOTES

- PROTECT EXISTING WALL SURFACES AND SYSTEMS (PLUMBING, MECHANICAL, ELECTRICAL) TO REMAIN FROM DAMAGE DUE TO PROJECT WORK. PATCH, REFINISH AND RESTORE DAMAGED SURFACES AND SYSTEMS TO MATCH CONDITION PRIOR TO CONSTRUCTION (TYPICAL) AND TO MATCH ADJACENT SURFACES.
- UNLESS NOTED OTHERWISE, THE EXISTING STRUCTURAL COLUMNS, BEAMS, WALLS AND FLOOR FRAMING SHALL REMAIN INTACT AND BE UNDISTURBED.
- WHERE INCIDENTAL WORK IS REQUIRED TO ACCOMPLISH WORK SHOWN ON THE DRAWINGS, THIS WORK IS IMPLIED AND SHALL BE INCLUDED AS PART OF THE BASE BID.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE EXISTING CONDITIONS OF STRUCTURES AND GROUNDS NOT SPECIFIED WITHIN THE CONTRACT BUT WHICH COULD BE DAMAGED BY CONSTRUCTION. ITEMS THAT CAN BE DAMAGED INCLUDE BUT ARE NOT LIMITED TO SIDEWALKS, CURBS, GRASS (ROOTS), CONTAMINATION FROM CHEMICAL SPILLS) AND DAMAGE NOT PRESENT AT THE INITIAL PRE-CONSTRUCTION WALK-THRU.
- THE CONTRACTOR SHALL RECEIVE ALL DELIVERIES OF MATERIALS, EQUIPMENT, TOOLS, OR OTHER GOODS OFF OF STATION, AND BRING THEM TO THE JOB SITE. THE BATH VA SHALL NOT ACCEPT DELIVERIES FOR PROJECT PURPOSES FOR ANY CONTRACTOR.
- AFTER THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL COMPLETELY CLEAN ALL SURFACES OF CONSTRUCTION DEBRIS.
- THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS FOR CONFLICTS. WHERE CONFLICTS EXIST BETWEEN DRAWINGS AND SPECIFICATIONS, SPECIFICATIONS SHALL SUPERCEDE THE DRAWINGS. IF STILL UNCLEAR, THE CONTRACTOR SHALL ISSUE A REQUEST FOR INFORMATION TO THE COTR & CO.
- EXISTING ITEMS THAT ARE NOT IDENTIFIED FOR REMOVAL ARE TO REMAIN. THE CONTRACTOR SHALL NOTIFY THE COTR OF A CONFLICT BETWEEN EXISTING AND NEW IN WHICH A RFI OR RFF MAY BE ISSUED.
- INFORMATION SHOWN IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE.
- REMOVE EXISTING ROOF SYSTEM COMPLETELY TO CONCRETE DECK.
- PATCH AND REPAIR ALL DETRIORATED CONCRETE DECK MATERIAL AND MAKE ALL ROOF PENETRATIONS WATER TIGHT.
- INSTALL NEW FULLY ADHERED ROOF SYSTEM INCLUDING VAPOR BARRIER, POLYISO RIGID INSULATION, AND 1.00 MIL EPDM MEMBRANE AS SHOWN AND IN ACCORDANCE WITH THE SPECIFICATIONS. INSULATION SHALL ACHIEVE A MIN. 1/8"FOOT SLOPE TO ROOF DRAINS, AND AN AVERAGE R VALUE EQUAL TO 20.
- THE CONTRACTOR SHALL ERECT BARRIERS AND SIGNAGE AT THE GROUND AS REQUIRED TO ASSURE THE SAFETY OF RESIDENTS, VISITORS, OR EMPLOYEES.
- NO MATERIAL SHALL BE ALLOWED TO FREE-FALL TO GROUND LEVEL. ALL MATERIAL THAT IS REMOVED DURING DEMOLITION SHALL FALL IN DEBRIS CHUTES PROVIDED BY THE CONTRACTOR.
- NO AREAS OF THE ROOF SHALL BE LEFT EXPOSED OVERNIGHT.
- PATCH, PAINT AND/OR REPAIR ALL AREAS DISTURBED BY THE CONTRACTOR DURING THE PERFORMANCE OF THIS PROJECT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES AND DETAILS ON THE DRAWINGS, AND THE SPECIFICATIONS. WHERE THERE IS A CONFLICT BETWEEN DRAWINGS, NOTES, OR SPECIFICATIONS, THE MOST STRINGENT REQUIREMENT SHALL APPLY.
- ALL JOINTS AND SPLICES OF THE E.P.D.M. MEMBRANE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- ALL WORK REQUIRING DISRUPTIONS TO PARKING, FOOT OR VEHICLE TRAFFIC ADJACENT TO THE ROOF SHALL BE COORDINATED TO BE OFF REGULAR WORKING HOURS OF THE VA. WEEKENDS ARE PREFERABLE.
- COORDINATE WATER TESTING OF FINISHED ROOF WITH COTR, VA FIRE DEPARTMENT, AND CONTRACTOR PERSONNEL PRIOR TO CONTRACT COMPLETION. WATER SHALL BE SUPPLIED BY THE VA & VA FIRE DEPARTMENT. WATER, CONTROLLED BY THE VA FIRE DEPARTMENT, SHALL BE APPLIED TO EACH ROOF FOR FIVE MINUTES FROM THE VA HOSPITAL STANDOFF. THE CONTRACTOR'S PERSONNEL SHALL VERIFY THAT THERE ARE NO LEAKS BY INVESTIGATING AS MANY INTERIOR LOCATIONS AS POSSIBLE AFTER THE START OF THE TEST, INCLUDING BUT NOT LIMITED TO KNOWN PREVIOUS LEAK LOCATIONS.



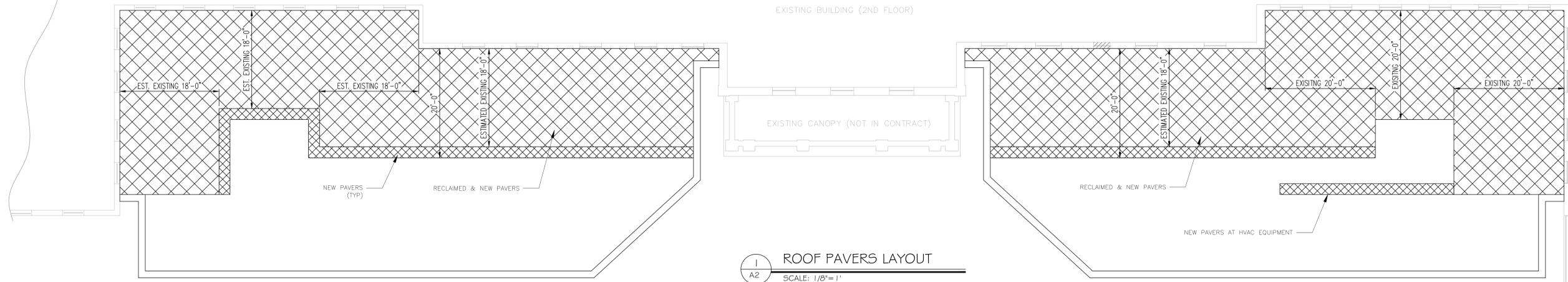
4
A1
DETAIL @ ROOF DRAIN
SCALE: 1 1/2"=1'

- NOTES**
- PROVIDE 1/8" PER FOOT SLOPE IN THE DIRECTION INDICATED. (SOUTHERN ROOF IS OPPOSITE).



3
A1
DETAIL @ EXTERIOR & INTERIOR EDGES
SCALE: 1 1/2"=1'

1-3/A1 EXTERIOR CHANGE	5/14/13	Drawing Title PLAN AND DETAILS	Project Title REPLACE B-76 ROOFS	Date 03-14-13
		Drawing File Number:	Building No. 76	Project No. 528A6-13-620
		Approved: Project Section Mgr. Date	Checked JAY	Drawn SDP
		Approved: Medical Center Director Date	Location BATH, NEW YORK	Drawing No. VAMC-528A6-1754
Revisions	Date			A-1
				Dwg. 2 Of 3

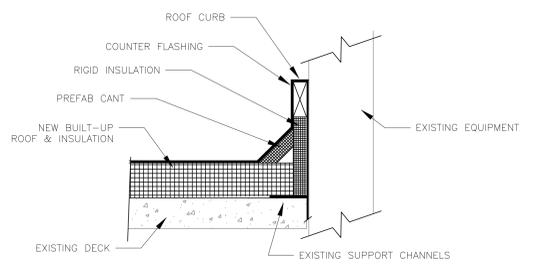


1 ROOF PAVERS LAYOUT
SCALE: 1/8"=1'

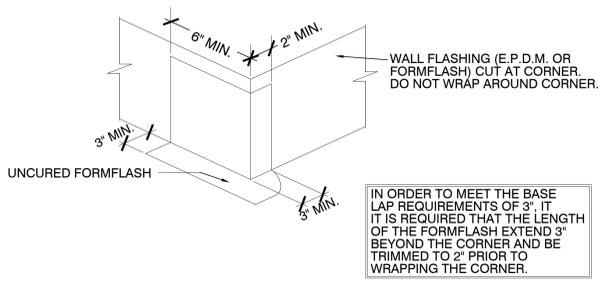
- NOTES**
- PLACE 2X2 PAVERS 20'-0" FROM HOSPITAL BUILDING WALL ON NORTH AND SOUTH ROOFS. ALLOW FOR 10% NEW PAVERS + 10% PAVERS NEW AS REPLACEMENT. PROVIDE NEW PAVERS AS DESCRIBED IN (A1).
 - SUPPLY NEW PAVERS TO AND AT EXISTING SERVICING AREAS AT EXISTING ROOF MOUNTED HVAC.
 - PROVIDE EPDM MANUFACTURER'S RECOMMENDED PROTECTION FOR STONE ROOF PAVERS.

SOUTHERN ROOF

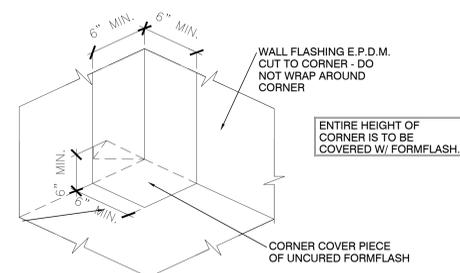
NORTHERN ROOF



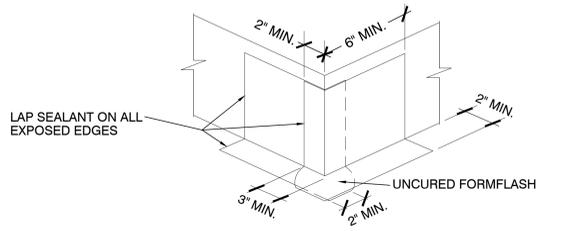
2 DETAIL @ ROOF CURB
SCALE: 1 1/2"=1'



IN ORDER TO MEET THE BASE LAP REQUIREMENTS OF 3", IT IS REQUIRED THAT THE LENGTH OF THE FORMFLASH EXTEND 3" BEYOND THE CORNER AND BE TRIMMED TO 2" PRIOR TO WRAPPING THE CORNER.

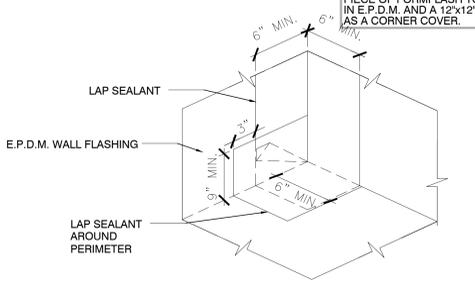


DETAIL SHOWN WITH CORNER COVER PIECE EXTENDING HEIGHT OF WALL. DETAIL MAY ALSO BE INSTALLED WITH ONE 6" WIDE PIECE OF FORMFLASH TO COVER BUTT JOINT IN E.P.D.M. AND A 12"x12" PIECE OF FORMFLASH AS A CORNER COVER.



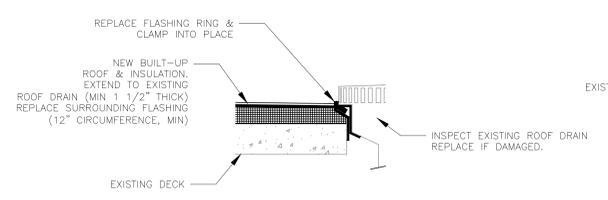
OUTSIDE CORNER-E.P.D.M. WALL FLASHING

NOTE: THESE DIMENSIONS ARE THE MINIMUM ALLOWABLE UNLESS GREATER DIMENSIONS ARE RECOMMENDED BY THE EPDM MANUFACTURER, IN THAT CASE THE MANUFACTURER RECOMMENDED MINIMUM DIMENSIONS SHALL GOVERN.

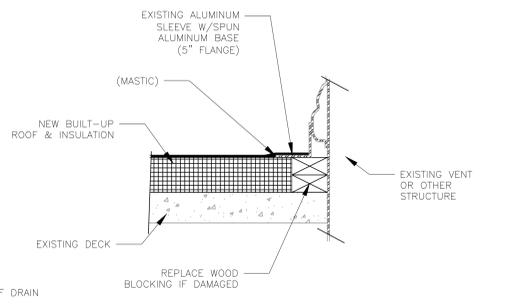


INSIDE CORNER-E.P.D.M. WALL FLASHING

NOTE: THESE DIMENSIONS ARE THE MINIMUM ALLOWABLE UNLESS GREATER DIMENSIONS ARE RECOMMENDED BY THE EPDM MANUFACTURER, IN THAT CASE THE MANUFACTURER RECOMMENDED MINIMUM DIMENSIONS SHALL GOVERN.



3 DETAIL @ ROOF DRAIN
SCALE: 1 1/2"=1'

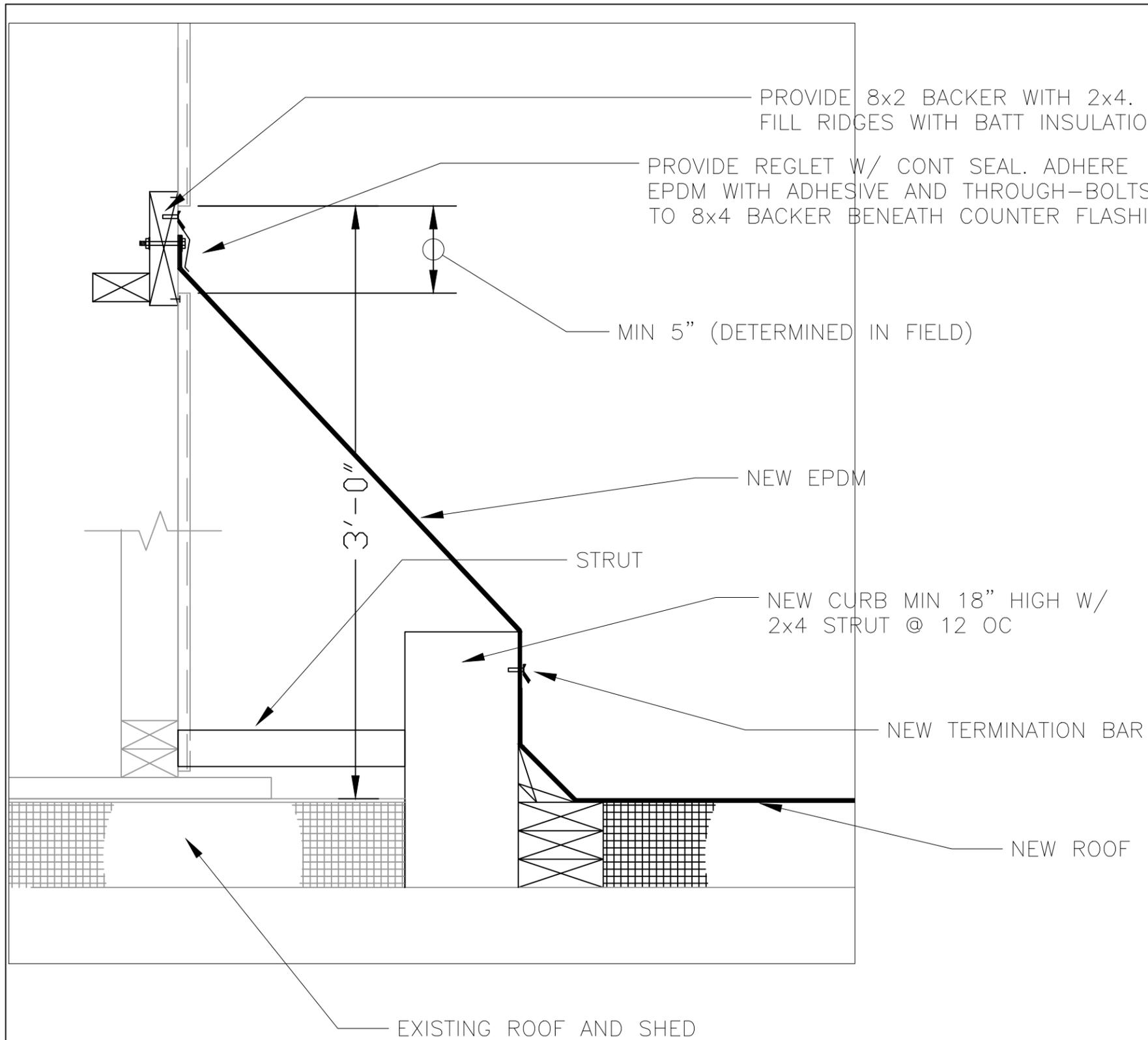


4 DETAIL @ VENT PIPE
SCALE: 1 1/2"=1'

GENERAL NOTES

- REFER TO A-1

Revisions	Date	Drawing Title	Project Title		Date
		PLAN AND DETAILS	REPLACE B-76 ROOFS		03-14-13
		Drawing File Number:	Building No.		Project No.
		Approved: Project Section Mgr. Date	76	Checked JAY	528A6-13-620
Approved: Medical Center Director Date		Location	Drawn SDP	DRAWING NO. VAMC-528A6-1754	
		BATH, NEW YORK		A-2	
				Dwg. 2 Of 3	



1
ADI

DETAIL AT EXISTING SHED

SCALE: NTS

NOTES:

1. CONSTRUCT NEW CURB 1 2"-1 8" FROM EXISTING SHED WALL. COORDINATE WITH COR & RESIDENT ENGINEER. PROVIDE CLEARANCE FOR SHED DOOR.
2. WRAP EPDM UP TO SHED SHOWN ABOVE. DISCONTINUE AT SHED DOOR. DO NOT INTERFERE WITH EXISTING PIPING. WRAP SHOULD BE CONTINUOUS.
3. ATTACH 8x2 TO EXISTING BUILDING STRUCTURE..
4. NEW CURB SHALL BE CONSTRUCTED OF BOX FRAME WITH RIGID INSULATION AS FILL. SEE 2/ADI

MIN 1/2" PLYWOOD SIDES AND TOP

1'-0 2x4 @ 3'-0 OC

2x4 @ 3'-0 OC

PROVIDE 6" WIDE STRIP EPDM @ ED FULL LENGT

FILL WITH RIGID INSU

2
ADI

CONSTRUCTION OF CURB

Revisions	Date

Drawing Title DETAIL @ EXISTING SHED		Project Title REPLACE B-76 ROOFS		Date 05/14/13
Drawing File Number:		Project No. 528A6-13-620		
Approved: Project Section Manager	Building No. 76	Checked JY	Drawn SDP	DRAWING NO. AD-1
Approved: Medical Center Director	Location BATH, NEW YORK		Dwg. 1 of 1	