

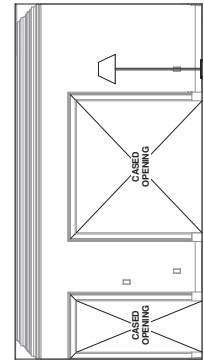


MARK	DESCRIPTION
1	2 X 4 WOOD FRAMING.
2	5/8" GYPSUM WALL BOARD.
3	5/8" GYPSUM WALL BOARD. MOLD RESISTANT. USED IN RESTROOMS.
4	TRIM AS SCHEDULED.
5	FLOOR FINISH AS SCHEDULED.
6	SOUND ATTENUATION BATTS. TYPICAL
7	OPEN CHASE.
8	APPROXIMATELY 2 X 4 WOOD FRAMING. EXISTING ADJACENT WALL. FINISHES OF ADJACENT WALLS TO BE MATCHED.

**NOTE: FIELD VERIFY ALL TRIM DIMENSIONS.**

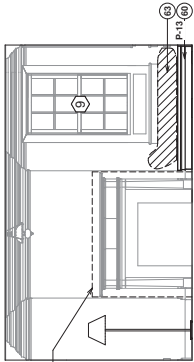






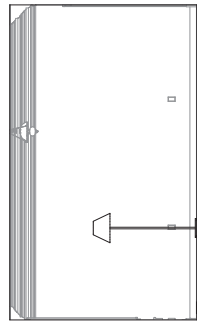
1 MEETING ROOM ELEVATION SOUTH

SCALE: 3/8" = 1'-0"



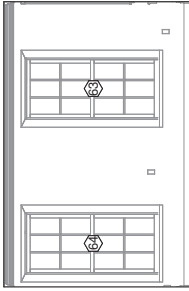
2 MEETING ROOM ELEVATION WEST

SCALE: 3/8" = 1'-0"



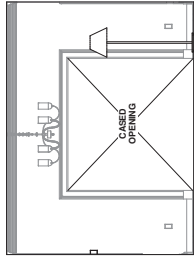
4 MEETING ROOM ELEVATION EAST

SCALE: 3/8" = 1'-0"



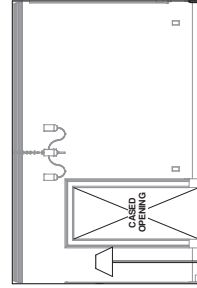
5 LIBRARY ELEVATION SOUTH

SCALE: 3/8" = 1'-0"



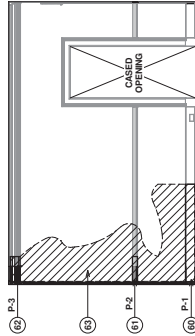
7 LIBRARY ELEVATION NORTH

SCALE: 3/8" = 1'-0"



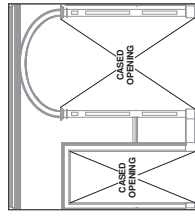
8 LIBRARY ELEVATION EAST

SCALE: 3/8" = 1'-0"



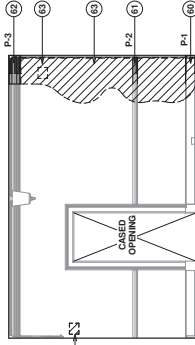
10 HALL WEST ELEVATION

SCALE: 3/8" = 1'-0"



11 HALL NORTH ELEVATION

SCALE: 3/8" = 1'-0"



12 HALL EAST ELEVATION

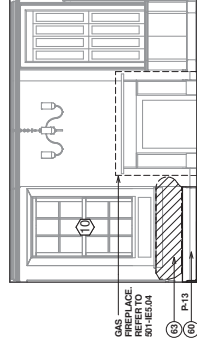
SCALE: 3/8" = 1'-0"

9 HALL SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

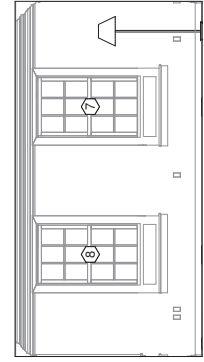
6 LIBRARY ELEVATION WEST

SCALE: 3/8" = 1'-0"



3 MEETING ROOM ELEVATION NORTH

SCALE: 3/8" = 1'-0"



KEY NUMBER	KEYNOTE TEXT
60	(A) CASE MILL WORK TO MATCH ADJACENT PROFILE (P-4); SEE SHEET 501-1A5-01.
61	(A) CHAIR RAILING MOLDING TO MATCH ADJACENT (P-4); SEE SHEET 501-1A5-01.
62	(A) CROWN MOULDING TO MATCH ADJACENT (P-4); SEE SHEET 501-1A5-01.
63	REPAIR PLASTER WALL TO ADJACENT.

60-NEW  
61-EXISTING



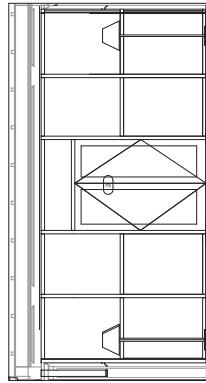
Architect of Record and Preservation Architect: <b>DBA</b> PATRICK BUCKLEY ARCHITECTS AND PLANNERS		Drawing Scale: <b>AS NOTED</b> Drawing: Sheet Title: <b>03012012</b> Drawing: Finish Date: <b>10122012</b> Drawing: Approved: <b>JOE BRANCH</b>		Seal of the State of Maryland Architect: <b>JOE BRANCH</b> Professional Seal Number: <b>10122012</b>	
1612 K Street, NW, Suite 900 Washington, DC 20006 Phone: 202-223-1224 Fax: 202-223-1212		Project Title: <b>RENOVATE MANSION HOUSE AND GRIST MILL VA MEDICAL CENTER</b>		Project No: <b>57245-0335</b>	
Bldg. No.: <b>501</b>		Checked: <b>DB</b>		Drawing No.: <b>501-1E5-01</b>	
Location: <b>MARYLAND</b>		Location: <b>MARYLAND</b>		Date: <b>10122012</b>	



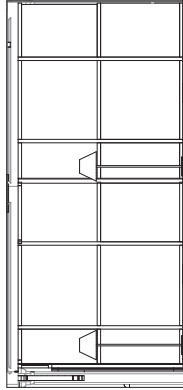




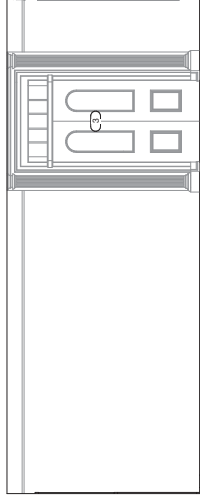




9 PORCH SOUTH ELEVATION  
SCALE: 3/8" = 1'-0"



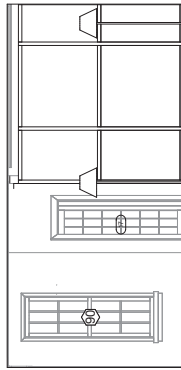
10 PORCH WEST ELEVATION  
SCALE: 3/8" = 1'-0"



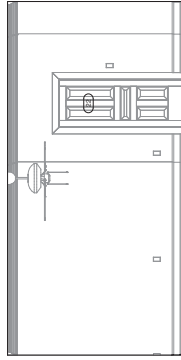
11 PORCH NORTH ELEVATION  
SCALE: 3/8" = 1'-0"

KEYNOTE LEGEND	
KEY NUMBER	KEYNOTE TEXT
43	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
49	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
50	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
51	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
52	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
53	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
54	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
55	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
56	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
57	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
58	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
59	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
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62	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
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67	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
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71	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
72	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
73	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
74	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
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81	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
82	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
83	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
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91	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
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93	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
94	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
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96	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
97	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
98	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
99	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.
100	AS SHOWN, WOOD FLOOR TO MATCH EXISTING. REFERS TO MATCH EXISTING FLOOR FINISH.

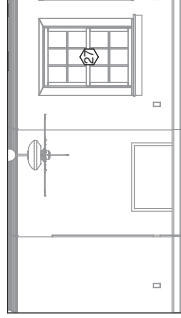
(N= NEW)  
(E= EXISTING)



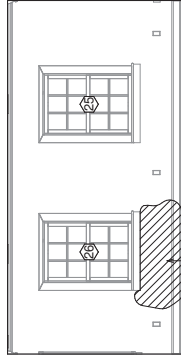
12 OFFICE #1B EAST ELEVATION  
SCALE: 3/8" = 1'-0"



5 OFFICE #1B SOUTH ELEVATION  
SCALE: 3/8" = 1'-0"



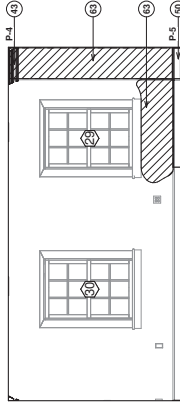
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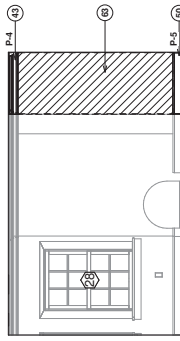
3 OFFICE #1B NORTH ELEVATION  
SCALE: 3/8" = 1'-0"



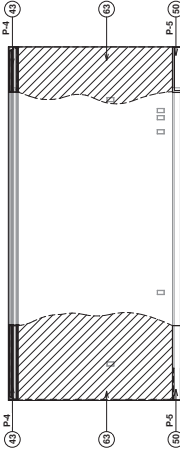
4 OFFICE #1B EAST ELEVATION  
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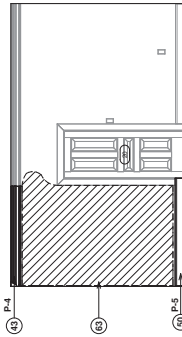
1 OFFICE #2B SOUTH ELEVATION  
SCALE: 3/8" = 1'-0"



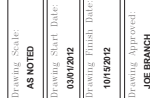
6 OFFICE #2B WEST ELEVATION  
SCALE: 3/8" = 1'-0"



7 OFFICE #2B NORTH ELEVATION  
SCALE: 3/8" = 1'-0"

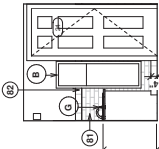


8 OFFICE #2B EAST ELEVATION  
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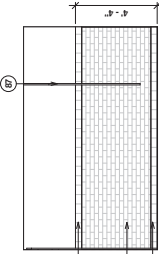


Date:	10/12/2012
Project No:	57245-0335
Project Title:	RENOVATE MANSION HOUSE AND CRIST MILL VA MEDICAL CENTER
Building No:	501
Location:	PERRY POINT MARYLAND
Drawn:	LM
Checked:	DB
Approved:	501-IE5.05
Rev:	31 of 33

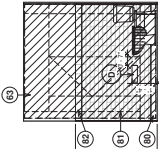




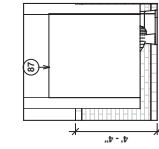
1 MEN'S 2ND FL S ELEV  
SCALE: 3/8" = 1'-0"



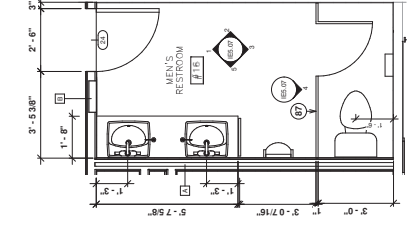
2 MEN'S 2ND FL W ELEV  
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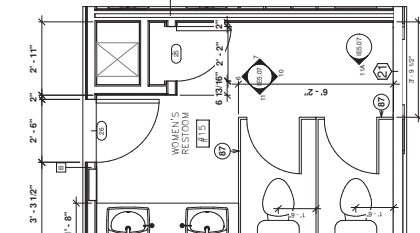
3 MEN'S 2ND FL N ELEV  
SCALE: 3/8" = 1'-0"



4 MEN'S 2ND FL W ELEV 2  
SCALE: 3/8" = 1'-0"



5 MEN'S 2ND FL S ELEV  
SCALE: 3/8" = 1'-0"

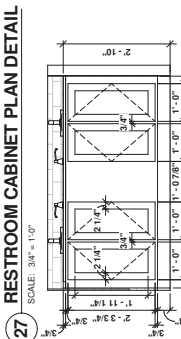


6 MEN'S 2ND FL W ELEV  
SCALE: 3/8" = 1'-0"

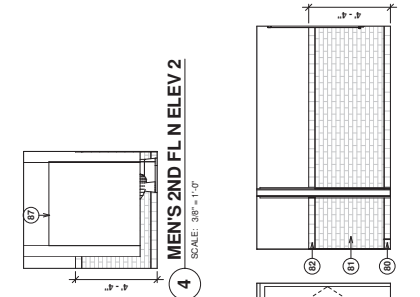
KEY NUMBER	KEYNOTE TEXT
52	(N) LIGHT FIXTURES
53	(N) BASE MOUNTING TO MATCH ADJACENT PROFILE (P-A). SEE SHEET 501-465-01.
54	(N) TILE BULLNOSE, 3 X 6". MATCH AND ALIGN WITH ADJACENT.
55	(N) TILE BULLNOSE, 3 X 6".
56	(N) TILE BULLNOSE, 3 X 6".
57	(N) TOILET PARTITION CEILING TOP.
58	(N) TOILET PARTITION CEILING TOP.

NOTE: RESTROOM ACCESSORIES SEE SCHEDULE ON SHEET 501-465-03.

(N)-NEW  
(E)-EXISTING

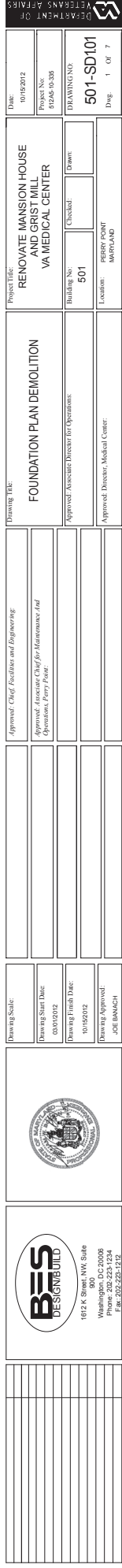


7 RESTROOM CABINET ELEV DETAIL  
SCALE: 3/4" = 1'-0"



[illegible]

1. REMOVE EXISTING FOOTINGS, REINFORCING, AND CONCRETE.
2. REMOVE EXISTING FOUNDATION WALL AND PERS.
3. REMOVE EXISTING LOUVERS AND VENTS.
4. REMOVE EXISTING EXTERIOR WALLS AND PRESERVE EXISTING BRICK FOUNDATION. PROVIDE OPENINGS FOR NEW WORK WHERE STEEL.
5. REMOVE EXISTING 3" STEEL COLUMNS AND 1 X 4 WOOD PLATE.
6. REMOVE EXISTING CHIMNEY.
7. REMOVE EXISTING CHIMNEY W/ BASE. PRESERVE ORIGINAL BRICK FOUNDATION.
8. REMOVE EXISTING NON-LOAD BEARING WALL.
9. REMOVE EXISTING NON-LOAD BEARING WALL AND STONE FOUNDATION.
10. REMOVE EXISTING NON-BEARING ELECTRICAL CHASE.
11. SHORE EXISTING FRAPACES DURING DEMOLITION.
12. REMOVE EXISTING EXTERIOR WALLS AND PRESERVE EXISTING BRICK FOUNDATION. PROVIDE ALUMINUM POSTS.
13. EXISTING BRICK FOUNDATION TO BE REBUILT.
14. LEVEL GRADE UNDER ALL CHIMNEY SPACES.
15. REMOVE EXISTING LOAD BEARING WALL.
16. REMOVE EXISTING LOAD BEARING WALL. DEMOLITION.
17. REMOVE EXISTING WALL WINDOW, ROOF. SHORE EXISTING BUILDING DURING DEMOLITION.
18. REMOVE EXISTING CHIMNEY FOOTING.
19. REMOVE EXISTING CHIMNEY FOOTING. PERFECT JUST FOR WATER DAMAGE.
20. REPLACE ALL DAMAGED FLOOR JOISTS.
21. REMOVE ROOF AND REPLACE DAMAGED ROOF SHEATHING.
22. REMOVE EXISTING SLEEPING PORCH ROOF. REPLACE ROOF WITH NEW ROOF.

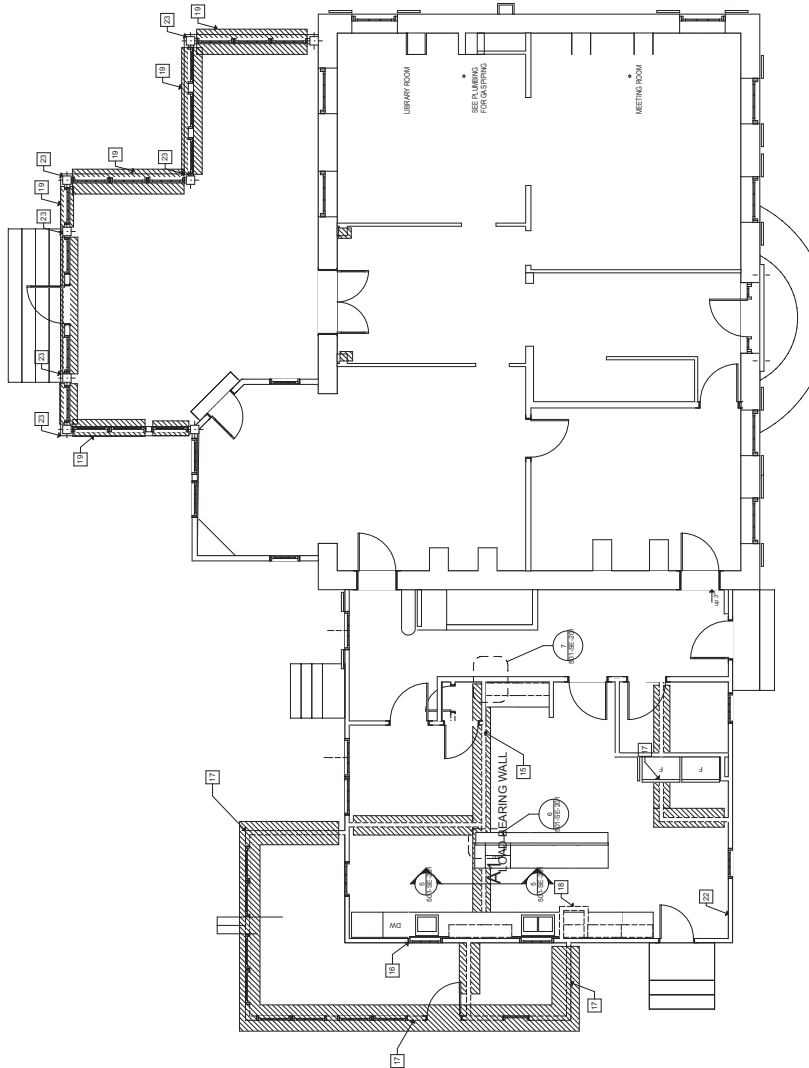


GENERAL DEMOLITION NOTES:

- A. ALL NECESSARY ITEMS TO PROVIDE THE REQUIRED DISTRIBUTION OF UTILITIES THROUGHOUT THE STRUCTURE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THIS INCLUDES ALL NON-STRUCTURAL ITEMS, HANGERS, OR CLIPS.
- B. THE EXISTENCE OF UTILITIES MAY NOT BE SHOWN ON THE STRUCTURAL DRAWINGS.
- C. ALL UTILITIES SHALL BE IDENTIFIED AND LOCATED PRIOR TO THE START OF DEMOLITION OF ALL UTILITIES, AND THE STANDARD STRUCTURAL DETAILS AND NOTES FOR ANY ADDITIONAL REINFORCEMENT (AS REQUIRED) THIS DESIGN IS BASED UPON THE COMPLETED CONDITION OF CONSTRUCTION. TEMPORARY BRACING, SHORING OR SUPPORTING OF THE STRUCTURE OR PARTS WHICH ARE REQUIRED TO MAINTAIN STABILITY PRIOR TO COMPLETION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- D. CONTRACTOR SHALL NOTE AND VERIFY THE LOCATION AND REQUIREMENTS OF ANY EMBEDS, RECESSES, PITS, OR OPENINGS REQUIRED BY OTHER TRADES / VENDORS FROM THEIR RESPECTIVE SHOP DRAWINGS PRIOR TO THE START OF DEMOLITION. ANY EMBEDS, RECESSES, PITS, OR OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS, BUT SHALL BE INCLUDED IN THE WORK SHALL BE NOTED ON THE STRUCTURAL DRAWINGS.
- E. ANY FLOOR DEPRESSION DIMENSIONS AND LOCATIONS WHICH ARE REQUIRED FOR THIS PROJECT SHALL BE NOTED ON THE STRUCTURAL DRAWINGS.
- F. ALL ELEVATIONS ARE REFERENCED FROM FIRST FLOOR FINISHED ELEVATION OR AS INDICATED ON THE DRAWINGS. FIRST FLOOR ELEVATION SHALL BE NOTED AS 0'0" DATUM.
- G. DURING CONSTRUCTION OF THE DEMOLITION, ANY EXISTING OR ADJACENT STRUCTURES DURING CONSTRUCTION SHALL BE PROTECTED AND MAINTAINED.
- H. ALL SHOP DRAWINGS SHALL BE REVIEWED AND ACCEPTED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE ENGINEER. ANY DISCREPANCIES, INTERFERENCE, OR CONFLICTS BETWEEN SHOP DRAWINGS SHALL BE IDENTIFIED AND CORRECTED PRIOR TO THE START OF DEMOLITION.
- I. ENGINEER PRIOR TO THE SUBMISSION OF SHOP DRAWINGS, THE STRUCTURAL DESIGN DRAWING (OR REPRODUCTIONS THEREOF) SHALL NOT BE USED FOR ERECTION OR FABRICATION DRAWING (OR REPRODUCTIONS THEREOF) OF THE STRUCTURE. ANY SPECIFICATIONS ARE TO BE THE LATEST EDITIONS AT THE TIME OF THE PERMITTING.
- J. ALL REQUIRED SHOP DRAWINGS SHALL BE PROVIDED TO THE CONTRACTOR FOR APPROVAL PRIOR TO THE START OF DEMOLITION.
- K. COORDINATE WORK WITH OTHER TRADES.
- L. ALL WORK SHALL BE IN ACCORDANCE WITH VA STANDARDS AND INTERNATIONAL BUILDING CODES.
- M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND STAMPS AND SHALL NOTIFY THE VA IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR SHALL NOTIFY THE VA OF ANY SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.
- N. REFER TO ARCHITECTURAL DRAWINGS FOR ALL WALL AND DOOR OPENINGS, LOCATIONS OF PAINTS, WALLS, AND CRITICAL ARCHITECTURAL FEATURES.
- O. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF ALL OPENINGS.
- P. MONITOR VERTICAL ALIGNMENT OF EXISTING WALL DURING DEMOLITION.
- Q. INSPECT AND REPLACE TIMBERS WINDOW AND DOOR HEADERS AS SCHEDULED BY ARCHITECT.
- R. COORDINATE WITH ARCHITECTURAL DEMOLITION PLANS.
- T. COORDINATE WITH ARCHITECTURAL DEMOLITION PLANS.

KEYED NOTES:

1. REMOVE EXISTING FOOTINGS, REINFORCING.
2. REMOVE EXISTING FOUNDATION WALL AND PIERS.
3. REMOVE EXISTING LOUVERS AND VENTS.
4. REMOVE EXISTING ROOF DECKING.
5. PRESERVE EXISTING BRICK FOUNDATION. PROVIDE OPENINGS FOR NEW WORK WHERE SHOWN.
6. REMOVE EXISTING ROOF DECKING AND SUPPORT EXISTING FRAMING.
7. REMOVE EXISTING CAU WALLS- PRESERVE ORIGINAL BRICK FOUNDATION.
8. REMOVE EXISTING NON-LOAD BEARING WALLS.
9. REMOVE EXISTING NON-LOAD BEARING WALLS.
10. REMOVE EXISTING NON BEARING ELECTRICAL CHASE.
11. SHORE EXISTING FIREPLACES DURING DEMOLITION.
12. REMOVE EXISTING NON BEARING ELECTRICAL CHASE.
13. EXISTING BRICK FOUNDATION TO BE RE-BUILT.
14. LEVEL GRADE UNDER ALL CRAWL SPACES.
15. REMOVE EXISTING ROOF DECKING AND SHORING.
16. PROTECT EXTERIOR OF EXISTING DURING DEMOLITION.
17. REMOVE EXISTING WALL, WINDOW, ROOF SHORE EXISTING BUILDING EXISTING CHIMNEY VERIFY CONDITION.
18. REMOVE EXISTING WINDOW WALL, WINDOWS, SUBFLOOR INSPECT JOIST FOR WATER DAMAGE.
19. REMOVE EXISTING WINDOW WALL, WINDOWS, SUBFLOOR INSPECT JOIST FOR WATER DAMAGE.
20. REMOVE ROOF AND REPLACE DAMAGED ROOF SHEATHING.
21. REMOVE EXISTING SLEEPING PORCH ROOF- REPLACE ROOF DECKING WHERE REMOVED.
22. REMOVE EXISTING SUBFLOOR THIS AREA.
23. SEE ARCHITECTURAL FOR POST PRESERVATION.



501-SD102 FIRST FLOOR STRUCTURAL PLAN DEMOLITION

SCALE: 1/4" = 1'-0"



1612 K Street, NW, Suite  
Washington, DC 20008  
Phone: 202-223-1234  
Fax: 202-462-3131



Drawing Scale:  
Drawing Start Date:  
09/01/2012  
Drawing Finish Date:  
01/16/2012  
Drawing Approved:  
JOE BANACH

Approved: Chief, Facilities and Engineering  
Approved: Associate Chief for Maintenance and Operations, Perry Point

FINAL

Drawing Title: <b>FIRST FLOOR STRUCTURAL PLAN DEMOLITION</b>		Project Title: <b>RENOVATE MANSON HOUSE AND GRIST MILL VA MEDICAL CENTER</b>	
Approval: Associate Director for Operations:		Building No: <b>501</b>	Drawn:
Approval: Director, Medical Center:		Location: <b>PERRY POINT MARYLAND</b>	

Drawing Title: <b>FIRST FLOOR STRUCTURAL PLAN DEMOLITION</b>		Approved: Chief, Facilities and Engineering		Approved: Associate Chief for Maintenance and Operations, Perry Point	
Approved: Associate Director for Operations					
Approved: Director, Medical Center					

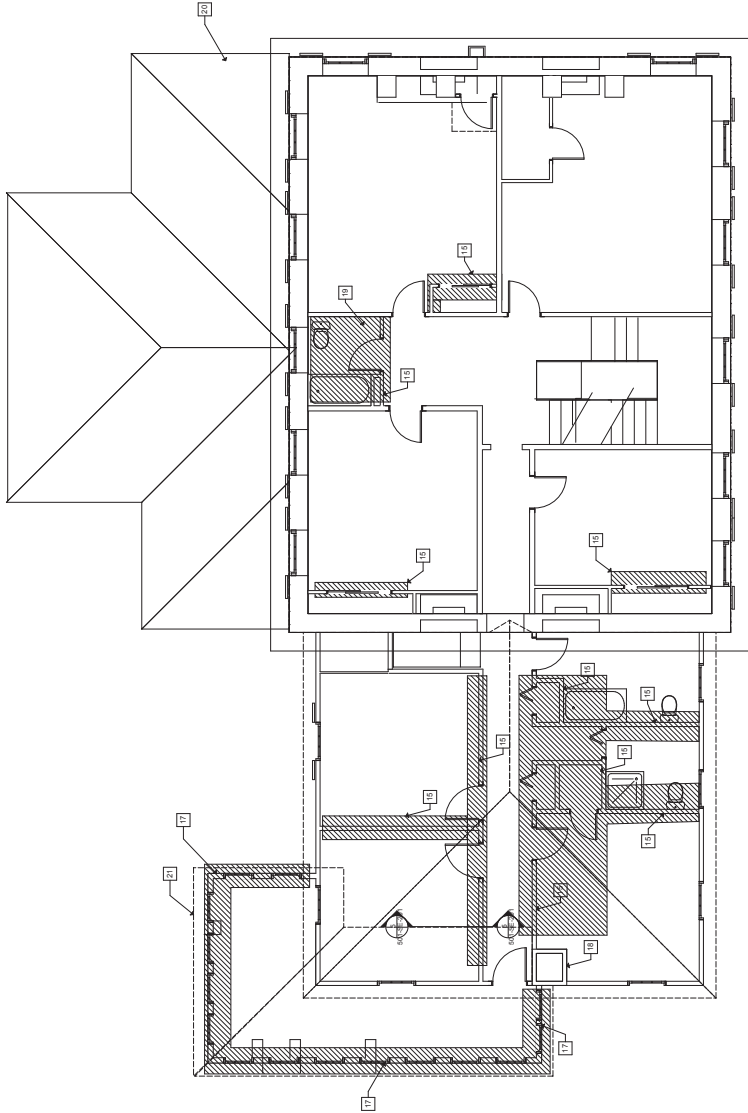
Drawing Scale: Drawing Start Date: 09/01/2012 Drawing Finish Date: 01/16/2012 Drawing Approved: JOE BANACH		Approved: Chief, Facilities and Engineering Approved: Associate Chief for Maintenance and Operations, Perry Point		Approved: Associate Director for Operations		Approved: Director, Medical Center	
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GENERAL DEMOLITION NOTES

- A. ALL NECESSARY ITEMS TO PROVIDE THE REQUIRED DISTRIBUTION OF UTILITIES THROUGHOUT THE STRUCTURE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THIS INCLUDES ALL NON-STRUCTURAL ITEMS, HANGERS, OR CLIPS.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES, AND THE STANDARD STRUCTURAL DETAILS AND NOTES FOR ANY ADDITIONAL UTILITIES.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- L. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- P. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- Q. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.
- R. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND REFER TO THE DRAWINGS OF OTHER DISCIPLINES FOR THE SIZES AND LOCATIONS OF ALL UTILITIES.

KEYED NOTES:

- 1. REMOVE EXISTING FOOTINGS, REINFORCING.
- 2. REMOVE EXISTING FOUNDATION WALL AND PIERS.
- 3. REMOVE EXISTING FOUNDATION WALL AND PIERS.
- 4. PRESERVE EXISTING BRICK FOUNDATION. PROVIDE OPENINGS FOR NEW WOOD POSTS.
- 5. PRESERVE EXISTING BRICK FOUNDATION. PROVIDE OPENINGS FOR NEW WOOD POSTS.
- 6. PRESERVE EXISTING BRICK FOUNDATION. PROVIDE OPENINGS FOR NEW WOOD POSTS.
- 7. REMOVE EXISTING CHAU WALLS. PRESERVE ORIGINAL BRICK FOUNDATION.
- 8. REMOVE EXISTING CHAU WALLS. PRESERVE ORIGINAL BRICK FOUNDATION.
- 9. REMOVE EXISTING NON BEARING ELECTRICAL CHASE.
- 10. REMOVE EXISTING NON BEARING ELECTRICAL CHASE.
- 11. REMOVE EXISTING NON BEARING ELECTRICAL CHASE.
- 12. REMOVE EXISTING WOOD POSTS. PRESERVE ADJACENT POSTS.
- 13. EXISTING BRICK FOUNDATION TO BE RE-BUILT.
- 14. EXISTING BRICK FOUNDATION TO BE RE-BUILT.
- 15. REMOVE EXISTING LOAD BEARING WALL AND NON LOAD BEARING WALLS.
- 16. REMOVE EXISTING LOAD BEARING WALL AND NON LOAD BEARING WALLS.
- 17. REMOVE EXISTING CHIMNEY.
- 18. REMOVE EXISTING CHIMNEY.
- 19. REMOVE EXISTING FLOOR JOISTS. INSPECT JOIST FOR WATER DAMAGE.
- 20. REMOVE ROOF AND REPLACE DAMAGED ROOF SHEATHING.
- 21. REMOVE EXISTING SLEEPING PORCH ROOF. REPLACE ROOF DECKING WHERE THE IS OCCURRED.



SECOND FLOOR STRUCTURAL PLAN-DEMOLITION

SCALE: 1/4" = 1'-0"



FINAL

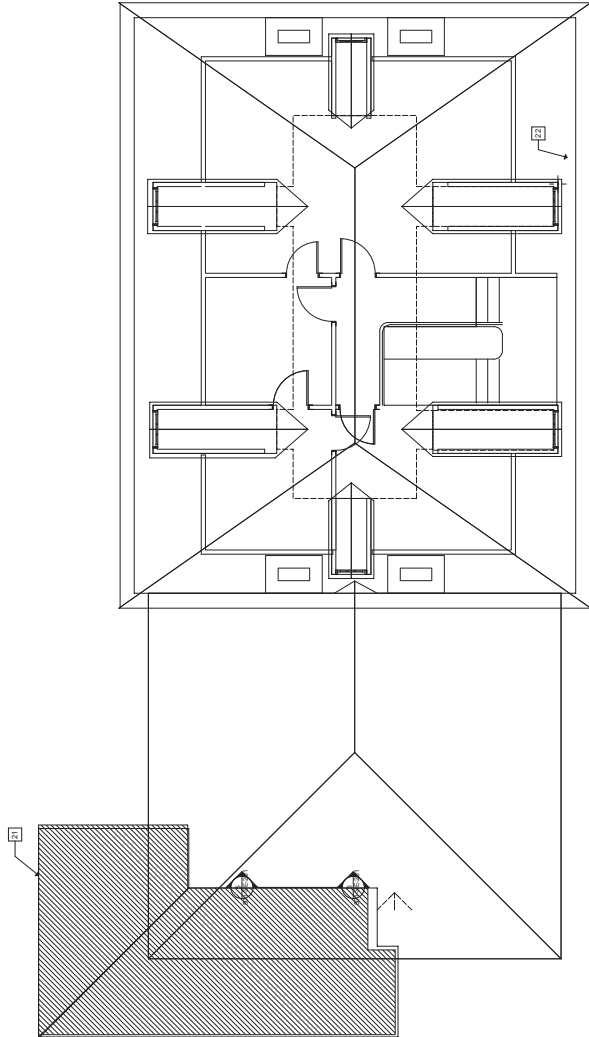
Drawing Title: SECOND FLOOR STRUCTURAL PLAN DEMOLITION		Project Title: RENOVAE MANSON HOUSE AND GRIST MILL VA MEDICAL CENTER		Date: 10/16/2012	
Approved: Chief, Facilities and Engineering		Building No: 501		Project No: 91046-10-305	
Drawing Scale: 1/4" = 1'-0"		Checked: [ ]		Drawing No: 501-SD103	
Drawing Start Date: 09/01/2012		Location: PERRY POINT MARYLAND		Dwg: 3 OF 7	
Drawing Finish Date: 01/16/2012		Approved: Associate Director for Operations		Department of Veterans Affairs	
Drawing Approved: JOE BANACH		Approved: Director, Medical Center			

GENERAL DEMOLITION NOTES:

- A. ALL NECESSARY ITEMS TO PROVIDE THE REQUIRED DISTRIBUTION OF UTILITIES THROUGHOUT THE PROJECT SHALL BE SHOWN BY THE CONTRACTOR. THIS INCLUDES ALL NON-STRUCTURAL ITEMS, HANGERS, OR CLIPS.
- B. THE EXISTENCE OF UTILITIES MAY NOT BE SHOWN ON THE STRUCTURAL DRAWINGS.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES, AND THE STANDARD STRUCTURAL DETAILS AND NOTES FOR ANY ADDITIONAL REINFORCEMENT (AS REQUIRED).
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL PARTS WHICH ARE REQUIRED TO MAINTAIN STABILITY PRIOR TO COMPLETION OF THE STRUCTURE OF CONSTRUCTION. TEMPORARY BRACING, SHORING OR SUPPORTING OF THE STRUCTURE OR PARTS WHICH ARE REQUIRED TO MAINTAIN STABILITY PRIOR TO COMPLETION OF THE STRUCTURE SHALL BE NOTED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY EMBEDED RECESSES, PITS, OR OPENINGS REQUIRED BY OTHER TRADES / VENDORS FROM THEIR RESPECTIVE DRAWINGS. REQUIREMENTS OF THESE TRADES / VENDORS SHALL BE SHOWN ON THE DRAWINGS. ANY FLOOR DEPRESSION DIMENSIONS AND LOCATIONS WHICH ARE REQUIRED FOR THIS PROJECT SHALL BE COORDINATED BY THE CONTRACTOR WITH THE ARCHITECTURAL DRAWINGS.
- G. ALL DIMENSIONS TO CENTER LINES UNLESS OTHERWISE NOTED SHALL BE SHOWN AS INDICATED ON THE DRAWINGS. FIRST FLOOR ELEVATION SHALL BE NOTED AS 0'-0" DATUM.
- H. DURING CONSTRUCTION, PROTECTION OF ANY EXISTING OR ADJACENT STRUCTURES DURING ANY CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER, ANY DISCREPANCIES, INTERFERENCE, OR CONFLICTS BETWEEN THE CONTRACTOR'S SHOP DRAWINGS AND THE ARCHITECTURAL DRAWINGS SHALL BE RESOLVED BY THE CONTRACTOR PRIOR TO THE SUBMISSION OF SHOP DRAWINGS. THE STRUCTURAL DESIGN DRAWINGS (OR REPRODUCTIONS THEREOF) SHALL NOT BE USED FOR ERECTION OR FABRICATION DRAWINGS. ALL DIMENSIONS TO CENTER LINES UNLESS OTHERWISE NOTED SHALL BE SHOWN AS INDICATED ON THE DRAWINGS. FIRST FLOOR ELEVATION SHALL BE NOTED AS 0'-0" DATUM.
- K. ALL REQUIRED SHOP DRAWINGS SHALL BE PROVIDED TO THE CONTRACTOR FOR APPROVAL. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- L. COORDINATE WORK WITH ALL OTHER TRADES.
- M. ALL WORK SHALL BE IN ACCORDANCE WITH VA STANDARDS AND INTERNATIONAL BUILDING CODE, LATEST EDITION.
- N. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE VA OF ANY SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE DESIGN DOCUMENTS.
- O. WALLS, AND CRITICAL ARCHITECTURAL FEATURES.
- P. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF ALL OPENINGS FOR ELECTRICAL AND MECHANICAL SERVICES.
- Q. MONITOR VERTICAL ALIGNMENT OF EXISTING WALL DURING DEMOLITION.
- R. INSPECT AND REPLACE TIMBERS WINDOW AND DOOR HEADERS AS SCHEDULED BY ARCHITECT.

KEYED NOTES:

1. REMOVE EXISTING FOOTINGS, REMOVING EXISTING FOUNDATION WALL AND PIERS.
2. REMOVE EXISTING FOUNDATION WALL AND PIERS.
3. REMOVE EXISTING LOUVERS AND VENTS.
4. PRESERVE EXISTING HISTORIC FOUNDATION WALLS AND DOOR HEADERS. PROVIDE OPENINGS FOR NEW WORK WHERE SHOWN.
5. REMOVE EXISTING 3" STEEL COLUMNS AND 1 X WOOD PLATE.
6. REMOVE EXISTING CMU WALLS. PRESERVE ORIGINAL BRICK FOUNDATION.
7. REMOVE EXISTING NON-LOAD BEARING WALL.
8. REMOVE EXISTING NON-LOAD BEARING WALL.
9. REMOVE EXISTING NON-LOAD BEARING WALL.
10. REMOVE EXISTING NON-LOAD BEARING WALL.
11. SHORE EXISTING PRELATES DURING DEMOLITION.
12. SHORE EXISTING PRELATES DURING DEMOLITION.
13. SHORE EXISTING PRELATES DURING DEMOLITION.
14. LEVEL GRADE UNDER ALL CRAWL SPACES.
15. REMOVE EXISTING NON-LOAD BEARING WALL.
16. REMOVE EXISTING NON-LOAD BEARING WALL.
17. PROTECT EXTERIOR OF EXISTING DURING DEMOLITION.
18. DURING DEMOLITION, VERIFY CONDITION.
19. REMOVE EXISTING SUBFLOOR AND INSPECT JOIST FOR WATER DAMAGE.
20. REPLACE ALL DAMAGED FLOOR JOISTS.
21. REMOVE EXISTING SLEEPING PORCH ROOF. REPLACE ROOF DECKING WHERE IT IS OCCURRED. PROTECT EXISTING ROOF.
22. INSPECT BEARING 3 AT LATE AND REPLACE WHERE NEEDED.



THIRD FLOOR STRUCTURAL PLAN-DEMOLITION

SCALE 1/4\"/>



FINAL

Drawing Scale:		Approved: Chief, Facilities and Engineering:		Drawing Title:	
Drawing Start Date:	Drawing Start Date:	Approved: Associate Chief for Maintenance and Operations, Perry Point:		Project Title:	
09/01/2012	09/01/2012			RENOVATE MANSON HOUSE AND GRIST MILL VA MEDICAL CENTER	
Drawing Finish Date:	Drawing Finish Date:			Building No:	
01/05/2012	01/05/2012			501	
Drawing Approved:	Drawing Approved:			Checked:	
JOE BANACH	JOE BANACH			Grant:	
				Location:	
				PERRY POINT MARYLAND	
				Drawing No:	
				501-SD104	
				Dwg. 4 OF 7	



NOTE: FOOTING SIZES ARE BASED ON ALLOWABLE SOIL BEARING CAPACITY OF 2500 PSF.

Project Title:

Project No: E12AE 10 29E

Building No: <b>501</b>	Checked:	Drawn:
Location: PERRY POINT 444 700, A.M.D.		

Approved: Associate Director for Operations;

*Approved: Associate Chief for Maintenance And Operations, Perry Point*

10

Drawing Start Date:

Drawing Finish Date

Drawing Approved:



1612 K Street, NW, Suite  
900  
Washington, DC 20006  
Phone: 202-223-1234  
Fax: 202-223-1212





FINAL

Drawing Title <b>FIRST/SECOND FLOOR FRAMING PLAN</b>	Project Title <b>RENOVATE MANSION HOUSE AND GRIST MILL VA MEDICAL CENTER</b>		Date 01/19/2012
	Approved: Associate Director for Operations	Building No. <b>501</b>	Drawing No. <b>501-SF102</b>
Approved: Director, Medical Center	Location PERRY POINT MAYLAND	Drawn Checked	Date 6 Oct 7



1612 K Street, NW, Suite 900  
Washington, DC 20006  
Phone: 202-223-1234  
Fax: 202-223-1212

Drawing Scale:
Drawing Start Date: 03/01/2012
Drawing Finish Date: 10/15/2012
Drawing Approved: JOE BANACH

Approved: Chief Facilities and Engineering:	
Approved: Associate Chief for Maintenance And Operations, Perry Point:	

 DEPARTMENT OF VETERANS AFFAIRS	
Date: 10/15/2012	Project No: 512A5-10-335
DRAWING NO: <b>501-SE102</b> Dwg. 6 Of 7	

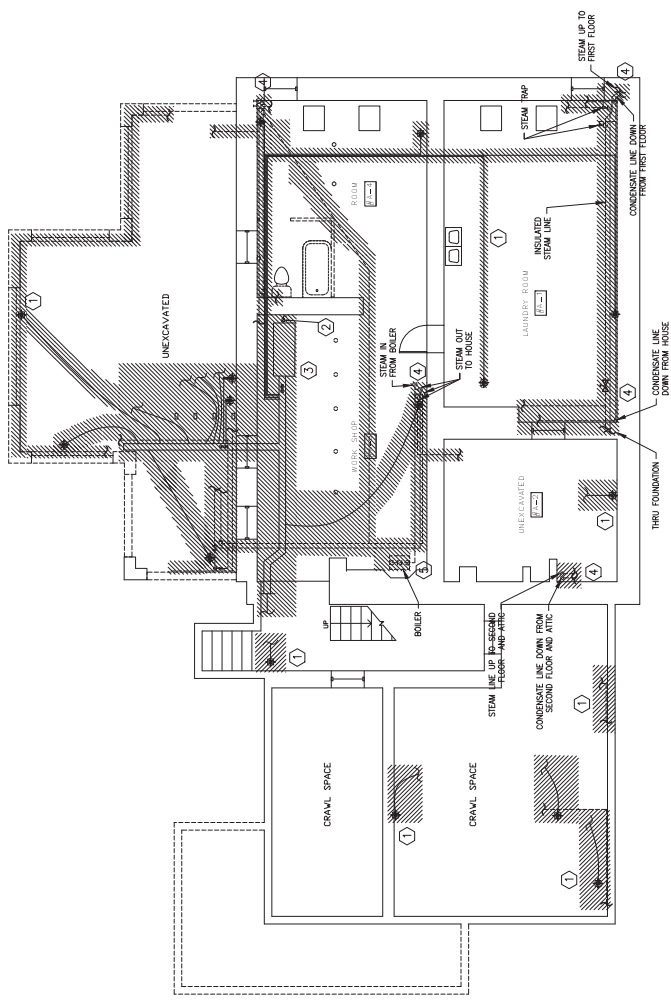


GENERAL DEMOLITION NOTES

1. ALL ITEMS SHOWN WITH HATCHED LINES INDICATE ITEMS TO BE DEMOLISHED. SEE ARCHITECTURAL DRAWINGS AND CODED DEMOLITION NOTES FOR SPECIFIC INFORMATION.
2. LOCATION OF EXISTING EQUIPMENT, DUCTWORK, AIR OUTLETS, CONTROLS AND ALL CONCEALED WORKS, SHALL BE INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL DEMOLITION HAS EXPOSED "AS-BUILT" CONDITIONS TO VERIFY EACH AIR OUTLET, AND EQUIPMENT LOCATION. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AND/OR ALTERATIONS AS NECESSARY TO INSTALL DUCTWORK AND/OR EQUIPMENT IN ACCORDANCE WITH THE CODES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE GOVERNMENT.
3. ALL OPENINGS AND SURFACES MADE DUE TO DEMOLITION AND/OR REMOVAL OF AIR OUTLETS, EQUIPMENT CONTROLS ETC. SHALL BE REPAIRED AND/OR PATCHED TO MATCH ADJACENT FINISH. PREPARE SURFACES TO RECEIVE NEW FINISH. SEE ARCHITECTURAL DRAWINGS FOR NEW FINISH SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT FINISH UNDER EMPLOY OF THE GENERAL CONTRACTOR.
4. NOT ALL CONTROL CIRCUITS AND DEVICES ARE INDICATED FOR EACH CONTROL AND, SINCE THERE IS A CIRCUIT OR FEEDER BACK TO THE POINT OF ORIGIN WHERE WALLS, FLOORS OR CEILING ARE TO BE DEMOLISHED ALL MATERIAL SURFACE OR FLUSH MOUNTED THEREON SHALL BE REMOVED UNLESS INDICATED OR REQUIRED TO REMAIN TO SERVE A DEVICE.
5. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATION FOR ADDITIONAL INFORMATION. COORDINATE ALL DEMOLITION WITH ALL TRADES INVOLVED.
6. EXISTING PIPING AND/OR CONDUIT RUN CONCEALED UNDERNEATH FLOOR AS WELL AS IN BASEMENT ARE TO BE DEMOLISHED. EXISTING PIPING AND/OR CONDUIT AT FLOOR AND MINIMUM 12" BELOW GRADE, PATCH TO MATCH ADJACENT FINISH.
7. ALL ITEMS THAT REQUIRE ACCESS, SUCH AS FOR OPERATING, CLEANING, SERVICING, MAINTENANCE AND CALIBRATION, SHALL BE EASILY AND SAFELY ACCESSIBLE. EXAMPLES OF THESE ITEMS INCLUDE BUT ARE NOT LIMITED TO: ALL TYPES OF VALVES, FILTERS AND STRAINERS, TRANSMITTERS, CONTROL DEVICES.

DEMOLITION NOTES

1. DEMOLISH EXISTING SUPPLY AIR OUTLET COMPLETELY INCLUDING SUPPORTS AND DUCT RUNOUT TO BRANCH SUPPLY TRUNK DUCT
2. DEMOLISH EXISTING RETURN AIR OUTLET COMPLETELY INCLUDING SUPPORTS AND DUCT RUNOUT TO BRANCH RETURN DUCT TO ROOFTOP VAV AIR HANDLING UNIT.
3. DEMOLISH "SNAKEPARK" CENTRAL AIR CONDITIONING /HEAT PUMP SYSTEM COMPLETELY. DEMOLISH ANY COMPONENTS ASSOCIATED WITH THE SYSTEM NOT INDICATED.
4. DEMOLISH EXISTING STEAM AND CONDENSATE LINES.
5. DEMOLISH EXISTING BOILER COMPLETE, INCLUDING PIPING SUPPORTS, ELECTRICAL POWER AND CONTROLS.



**BUILDING 501  
BASEMENT - MECHANICAL DEMOLITION**  
SCALE: 1/4" = 1'-0"

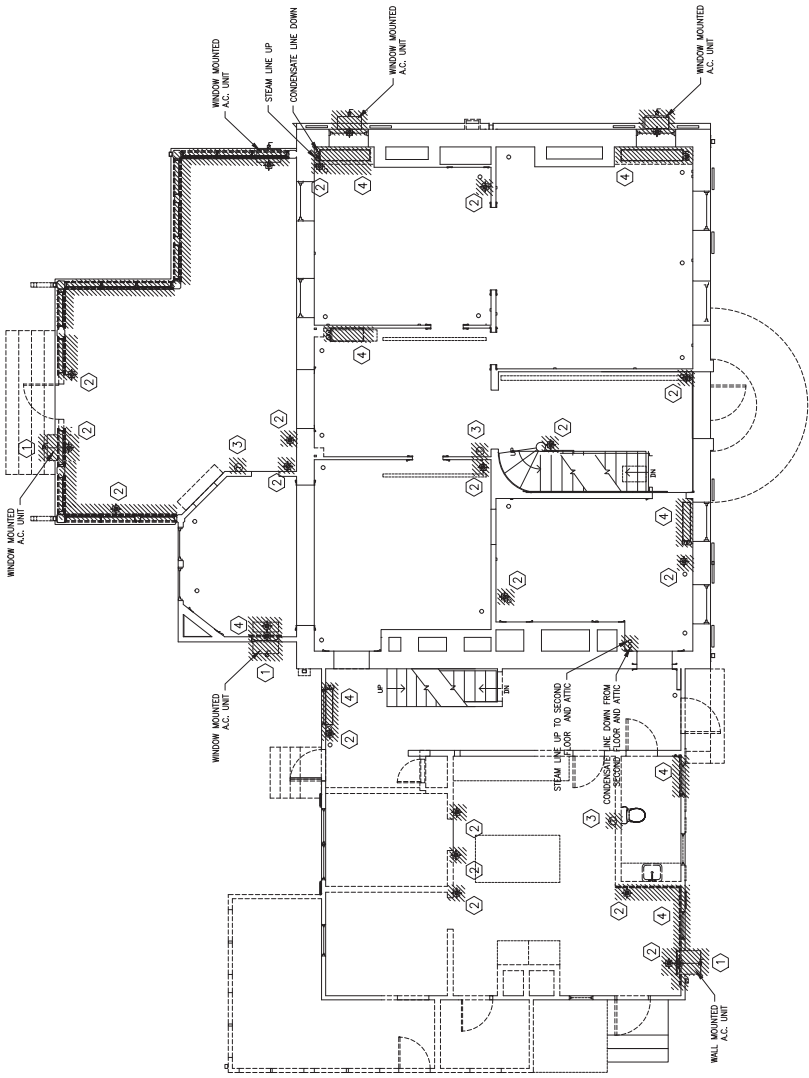


**FINAL**

Project Title: <b>RENOVATE MANSION HOUSE AND GRIST MILL VA MEDICAL CENTER</b>		Date: 10/15/2012	Drawing No: <b>501-MD100</b>	
Drawing Title: <b>MECHANICAL PLAN DEMOLITION BASEMENT</b>		Project No: 51295-10-335	Drawing No: <b>501-MD100</b>	
Approved: Chief, Facilities and Engineering: <i>(Signature)</i>		Building No: 501	Checked: RLD	Dwg. 1 of 13
Approved: Associate Chief for Maintenance And Operations, Perry Point: <i>(Signature)</i>		Location: PERRY POINT MARYLAND	Drawn: TJF	
Approved: Associate Director for Operations: <i>(Signature)</i>				
Approved: Director, Medical Center: <i>(Signature)</i>				
Drawing Scale: AS NOTED		Drawing Date: 03/01/2012		
Drawing Scale Date: 03/01/2012		Drawing Finish Date: 10/15/2012		
Drawing Approved: JOE BANACH				
		BES DESIGN/BUILD 1855 K Street, NW, Suite 400 Washington, DC 20006 Phone 202-225-2334 Fax 202-225-1272		

DEMOLITION NOTES

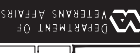


- 1 DEMOLISH EXISTING WALL/WINDOW MOUNTED AIR CONDITIONING UNIT.
- 2 DEMOLISH EXISTING SUPPLY AIR OUTLET.
- 3 DEMOLISH EXISTING PNEUMATIC THERMOSTAT AND TUBING BACK TO CONTROL CENTER.
- 4 DEMOLISH EXISTING RADIATOR AND ASSOCIATED PIPING.
- 5 DEMOLISH EXISTING STEAM AND CONDENSATE LINES.



BUILDING 501  
FIRST FLOOR - MECHANICAL DEMOLITION  
SCALE: 1/4" = 1'-0"



FINAL

	
Project Title: RENOVATE MANSION HOUSE AND GRIST MILL VA MEDICAL CENTER	
Date: 10/15/2012	Project No: 51295-10-335
Drawing No: 501-MD101	
Dwg. 2 of 13	
Building No: 501	Checked: RLD
Location: PERRY POINT MARYLAND	Drawn: T.J.F.
Drawing Title: MECHANICAL PLAN DEMOLITION FIRST FLOOR	
Approved: Associate Director for Operations	
Approved: Director, Medical Center	
Approved: Chief, Facilities and Engineering	
Approved: Associate Chief for Maintenance and Operations, Perry Point	
Drawing Scale: AS NOTED	Drawing Start Date: 03/01/2012
Drawing Finish Date: 10/15/2012	Drawing Approved: JOE BANCH
	
	
1885 K Street, NW, Suite 400 Washington, DC 20006 Phone 202-225-2334 Fax 202-225-2722	