

EXHIBIT L
VA SPACE DEFINITIONS

Below is language found in a typical VACO template:

NUSF feet shall be computed by measuring the area enclosed by the finished surface of the room side of corridors (corridors in place as well as those required by local codes and ordinances to provide an acceptable level of safety and/or to provide access to essential building elements) and other permanent walls, the dominant portion (refer to Z65.1) of building exterior walls, and the center of tenant-separating partitions. Where alcoves, recessed entrances, or similar deviations from the corridor are present, NET USABLE square feet shall be computed as if the deviation were not present.

NET USABLE square feet and usable square feet (USF) may be used interchangeably throughout the lease documents.

B. RENTABLE SPACE:

Rentable space is the area for which a tenant is charged rent. It is determined by the building owner and may vary by city or by building within the same city. The rentable space may include a share of building support/common areas such as elevator lobbies, building corridors, and floor service areas. Floor service areas typically include restrooms, janitor rooms, telephone closets, electrical closets, and mechanical rooms. The rentable space does not include vertical building penetrations and their enclosing walls, such as stairs, elevator shafts, and vertical ducts.

C. COMMON AREA FACTOR:

If applicable, the Offeror shall provide the Common Area Factor (a conversion factor(s) determined by the building owner and applied by the owner to the NUSF to determine the rentable square feet for the offered space).

Other VA language used:

NUSF SQUARE FEET:

1. For the purposes of this solicitation, the Government uses the term "Net Usable Square Feet or Office Area, which means "the area where a tenant normally houses personnel and/or furniture, for which a measurement is to be computed."

Net usable space is that portion of rentable space that is available for a tenant's personnel, furnishings, and equipment. Net usable space is the area for which VA will pay a square foot rate. It is determined as follows:

If the space is on a single tenancy floor, compute the inside gross area by measuring between the inside finish of the permanent exterior building walls or from the face of the convectors (pipes or other wall-hung fixtures) if the convector occupies at least 50% of the length of exterior walls.

If the space is on a multiple tenancy floor, measure from the exterior building walls as above and to the room side finish of the fixed corridor and shaft walls and/or the center of tenant-separating partitions.

In all measurements, make no deductions for columns and projections enclosing the structural elements of the building. Deduct the following from the inside gross area, including the enclosing walls, to arrive at the figure for net usable square feet:

Those housekeeping closets not contained in programmed areas.

Public restrooms and lounges. .

Building equipment and service areas.

Public corridors and entrance lobbies.

Vertical circulation.

Shafts and risers.

Offerors shall indicate on GSA Form 1364A, Proposal to Lease Space, Section II (Space Offered and Rates, the amount of rentable space offered (8a.(2)) and the cost per rentable square footage (8a.(4))).

EXCLUSIONS FROM NET USABLE SPACE

Housekeeping Closets

HACs intended for use by the Lessor for common areas are excluded from the rental space. Two is adequate for most projects; however, the quantity should be reviewed and revised if necessary. For example, a minimum of 3 HACs (1 per floor) would be required for a three-story building.

A minimum of two (2) housekeeping aides closets (HAC) shall be provided for maintaining common areas in the building. Each HAC shall contain a service sink with hot and cold water, ample space for storage of cleaning equipment, and shelving for cleaning materials and supplies. Lessor shall provide the supplies in accordance with SECTION 8 of this SFO. **No rental will be paid for these spaces** (see Paragraph 3.14 RENTABLE AND NET USABLE SQUARE FEET of this Solicitation). In multi-story buildings, there shall be a minimum of one HAC per floor.

Provide additional housekeeping aides closets in leased spaces as required by VA Space Program (PART VI Schedule E). VA will pay rental for HACs required by Schedule E.

Public Restrooms and Lounges

Space for public toilets must be provided in addition to the net usable square footage requirement contained in Schedule E of this Solicitation. **VA will pay no rental for this public restroom facility space.** See Paragraph 3.14 RENTABLE AND NET USABLE SQUARE FEET of this Solicitation.

All public and common use toilet rooms shall be accessible to the handicapped. Accessible toilet facilities shall be located along an accessible path of travel and have accessible fixtures, accessories, doors with automatic door openers, and adequate maneuvering clearances. Accessible toilet rooms shall be identified with the international symbol of accessibility. Water closets and urinals shall not be visible when the exterior room door is open. Separate toilet facilities for men and women shall be provided on each floor occupied by the Government in the building. The facilities must be located so that employees will not be required to travel more than 150 feet on one floor to reach the toilets.

Each toilet room shall have sufficient water closets enclosed with stall partitions and doors, urinals (in men's rooms), and lavatories with hot (set at 105 °F [41 °C], if practical) and cold water in the number required by local Building Code and ordinances.

Public restrooms that have three or more stalls shall be provided with one lighting fixture on an emergency circuit or one emergency battery lighting unit with dual head.

Public Restrooms Fixture Schedule

Public restrooms and associated fixtures shall be provided in accordance with local code.

Building Equipment and Service Areas

Lessor is responsible for determining size of space required for building service equipment and maintenance and support areas.

Equipment spaces required for exclusive use of VA program equipment shall be listed in Schedule E and size determined by VA and SFO preparer. Show requirements in Schedule E and conceptual plans.

Lessor shall provide adequate space for the installation, operation, and maintenance of building service equipment. Lessor shall provide office, shop, and storage space necessary for operation and maintenance of the building and grounds. **No rental will be paid for these spaces.**

Space for mechanical systems equipment.

Space for plumbing systems equipment.

Space for fire protection systems equipment.

Space for electrical systems equipment.

Space for telecommunications and special systems equipment (including telephone, data, alarm, security, and other systems).

Space for building engineering control center.

Office, shop, and storage space for building management services.

Space for grounds maintenance.

Public Corridors and Entrance Lobbies

Lessor shall provide building entrance //lobby// //lobbies// as shown on conceptual plans. Lessor shall provide public corridors as necessary to common areas. **No rental will be paid for these spaces** (see Paragraph 3.14 RENTABLE AND NET USABLE SQUARE FEET of this Solicitation).

Vertical Circulation

Space for vertical circulation includes stairs (and stair enclosures or vestibules), elevator lobbies, elevator hoistways, and elevator machine rooms. **No rental will be paid for these spaces** (see Paragraph 3.14 RENTABLE AND NET USABLE SQUARE FEET of this Solicitation).

Shafts and Risers

Provide shafts, chases, and risers necessary for distribution of building services or utilities. **No rental will be paid for these spaces** (see Paragraph 3.14 RENTABLE AND NET USABLE SQUARE FEET of this Solicitation).

The Outpatient Clinic and Ambulatory Care Design Guides available on the Office of Construction & Facilities Management (CFM) Technical Information Library (TIL) website at www.va.gov/facmgt/standard state the following:

MAXIMUM BUILDING NET TO GROSS RATIOS BY FACILITY TYPE

Departmental Gross Square Feet (DGSF) = Dept. Net Square Feet (DNSF) x Dept. Net-to-Gross Factor

Total Building Gross Square Feet (BGSF) = Sum Dept. Gross Square Feet x Building Net-to-Gross Factor

Total Building Net Square Feet (BNSF) = Sum of all Dept. Net Square Feet

Building Net to Gross Ratio = Total BGSF / Total BNSF = X . XX

VA-SEPS Default Building Net-to-Gross Factor is 1.35.

Users adjust this factor so as not to exceed the following Building Net-to-Gross Ratios:

VA Outpatient Clinic / Outpatient Clinic Additions **90% (1.90 x NSF)**

VA Medical Center **100% (2.0 x NSF)**

VA Clinical / Clinical Support Addition

(Any chapter not indicated below) **90% (1.90 x NSF)**

VA Nursing Home (106) **70% (1.70 x NSF)**

VA Domiciliary (312) **60% (1.60 x NSF)**

VA Mental Health Hospital

(110, 202, 260, 261, 272, & 300) **85% (1.85 x NSF)**

Net and Departmental Gross Area

Net Area (Net Square Feet, NSF; or Net Square Meters, NSM) is the actual floor area in a room or functional area (finish to finish) that can be used by people, furnishings, or equipment.

Department Gross Square Feet (DGSF) includes, in addition to the Net Area, partitions and circulation internal to the functional area or department. The net to department gross factor (NTDG factor) adopted by VA for Ambulatory Care is 1.65. **The 1.65 factor anticipates that internal circulation must be added to connect functional areas and individual rooms.**

Gross Building Area - GBA

200,000 GBA

199,000 *GMA*

-24,000 *VP*

175,000 *RSF*

-30,000 *FC*

-5,000 *BC*

140,000 *NUSF*

-5,000 *IC*

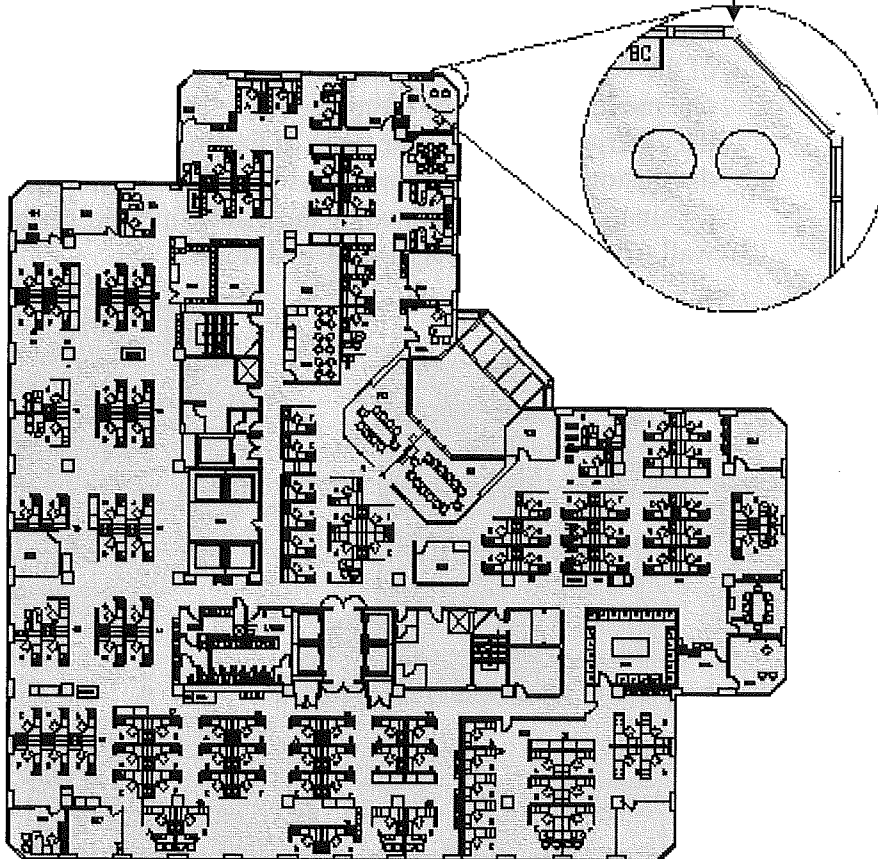
135,000 *NSF*

Definition

The total constructed area of a building. It is generally not used for leasing purposes.

Method of Measurement

The gross building area is measured to the outside surface of the exterior wall.



Gross Measured Area - GMA

200,000	GBA
199,000	GMA
<u>-24,000</u>	VP
175,000	RSF
-30,000	FC
<u>-5,000</u>	BC
140,000	NUSF
<u>-5,000</u>	IC
135,000	NSF

Definition

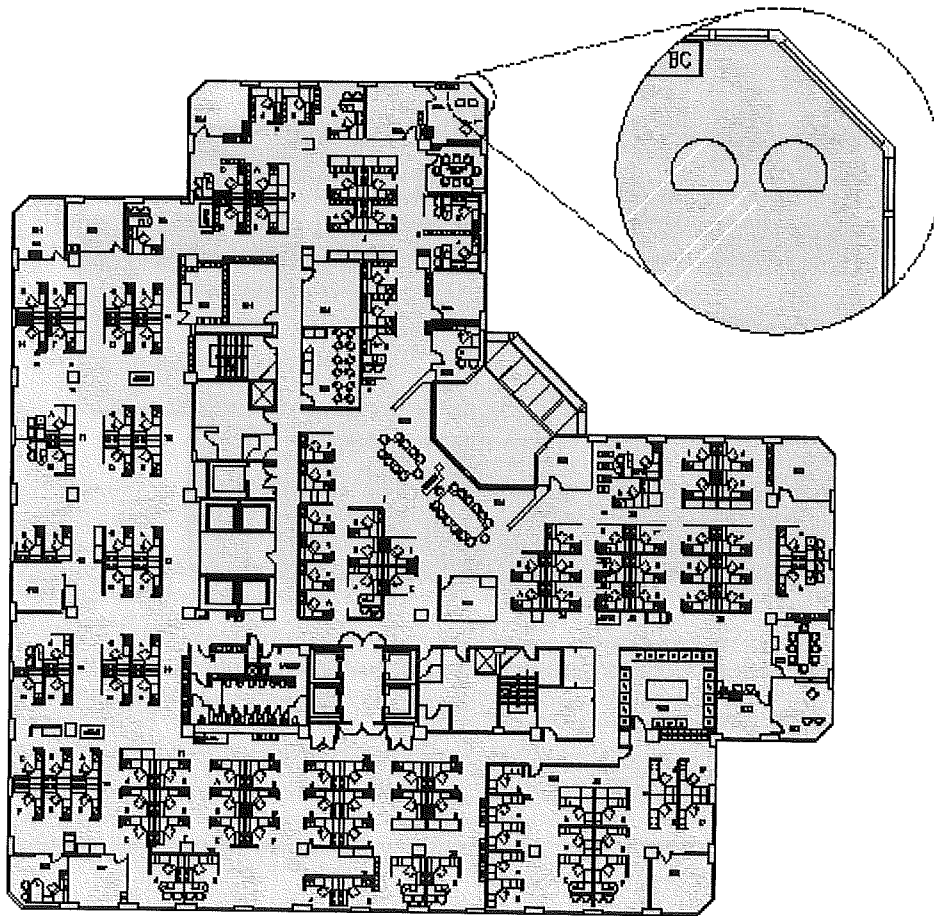
The floor area of the entire building or project, which includes floor area occupied by rooms/spaces, walls, corridors, conveyances, mechanical/utility rooms, and shafts. The total area of a building enclosed by the dominant portion, excluding parking areas and loading docks (or portions of the same) outside the building line.

Method of Measurement

The gross measured area is measured to the dominant portion of the inside finished surface of the exterior wall.

Limitations

The dominant portion is defined by a surface that is 50% or more of the vertical floor-to-ceiling dimension, given at any point as one moves horizontally along the wall. If no finished surface of the exterior wall is 50% or more of the vertical floor-to-ceiling dimension or if the permanent outer wall is not vertical, the dominant portion is defined by the inside finished surface of the wall where it intersects the finished floor.



Vertical Penetrations – VP

200,000	GBA
199,000	GMA
<u>-24,000</u>	VP
175,000	RSF
-30,000	FC
<u>-5,000</u>	BC
140,000	NUSF
<u>-5,000</u>	IC
135,000	NSF

Definition

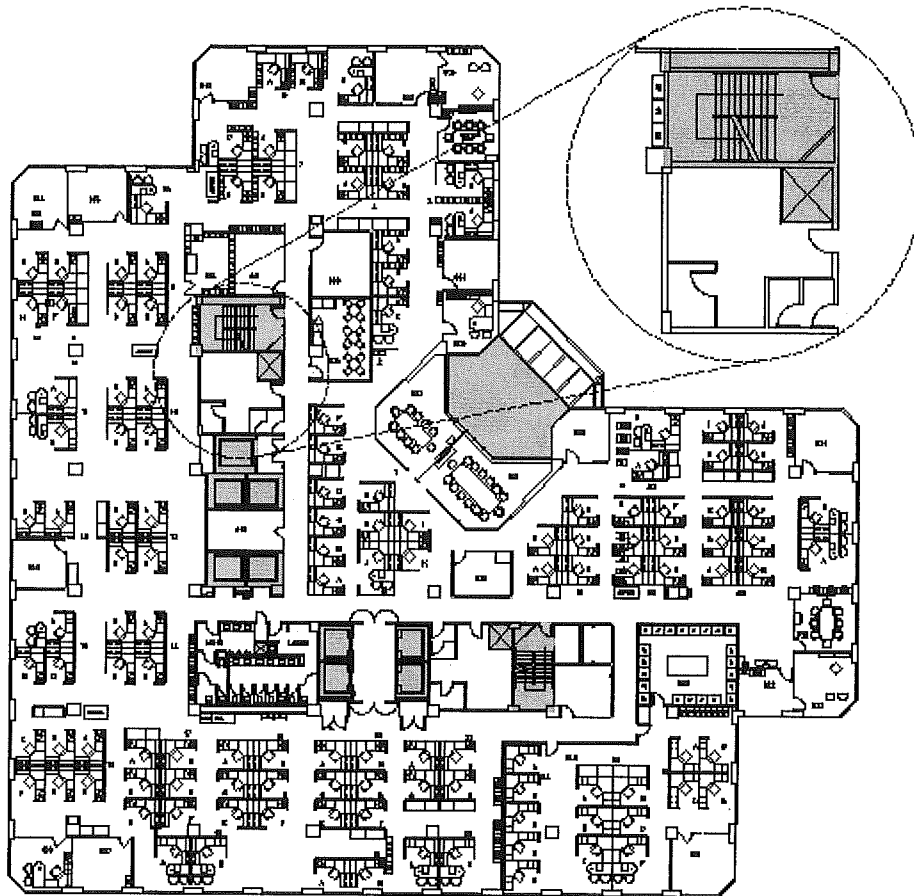
Stairs, elevator shafts, flues, pipe shafts, vertical ducts, and the like, and their enclosing walls. Atria, lightwells and similar penetrations above the finished floor are included in this definition.

Method of Measurement

A vertical penetration is measured to the outside surface of its enclosing walls.

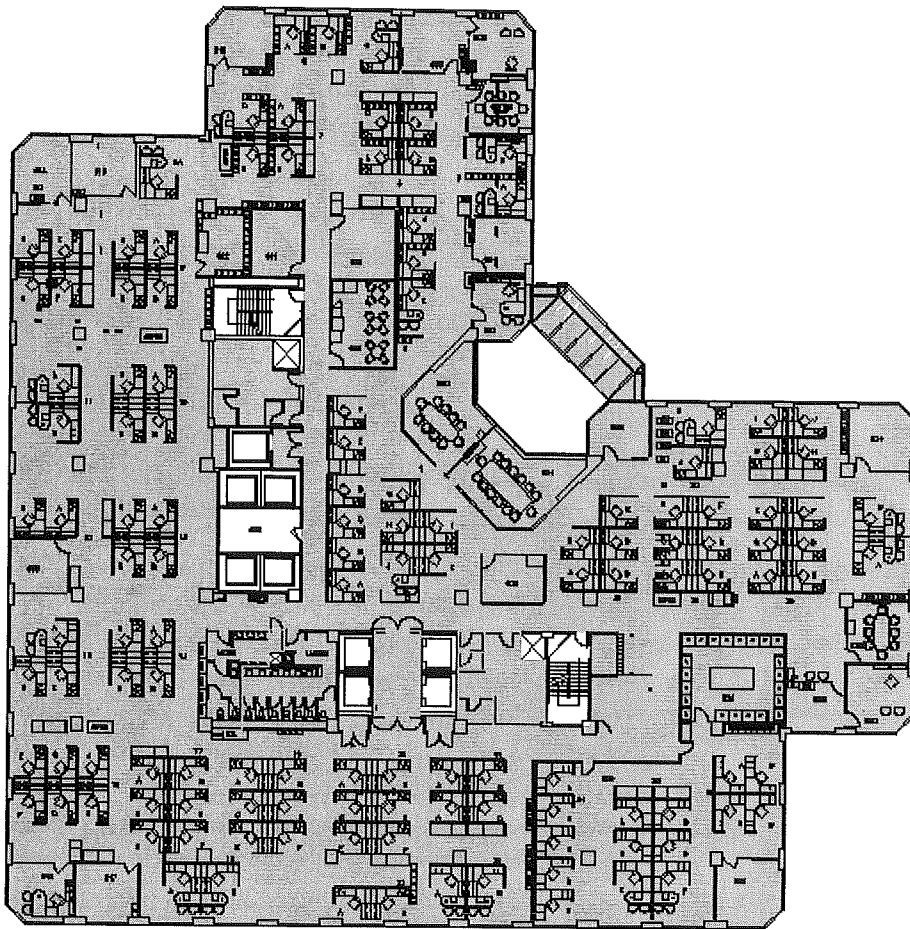
Limitations

Structural columns, openings for vertical electrical cable or telephone distribution, and openings for plumbing lines are not considered to be major vertical penetrations. Vertical penetrations built for the private use of a tenant occupying space on multiple floors are not included in this definition.



Rentable Square Feet – RSF (VA pays for NUSF, not rentable)

200,000	GBA	Definition
199,000	GMA	The result of subtracting from the Gross Measured Area of a floor the Major Vertical Penetrations on that same floor. It is generally fixed for the life of the building and is rarely affected by changes in corridor size or configuration.
-24,000	VP	
<u>175,000</u>	RSF	
-30,000	FC	
-5,000	BC	Method of Measurement
140,000	NUSF	Rentable (Inside Gross: NUSF plus common area or common area factor square footage.)
-5,000	IC	
135,000	NSF	



Floor Common Area – FC (This is not a term used by VA. But it may be a factor used by the lessor. Some VA templates state that in regard to a particular space, e.g., mechanical rooms, “VA will not pay rent for this

space.” You must determine whether this space will be part of the Building Common Area. Other measurement systems call this “Non-assignable space.)

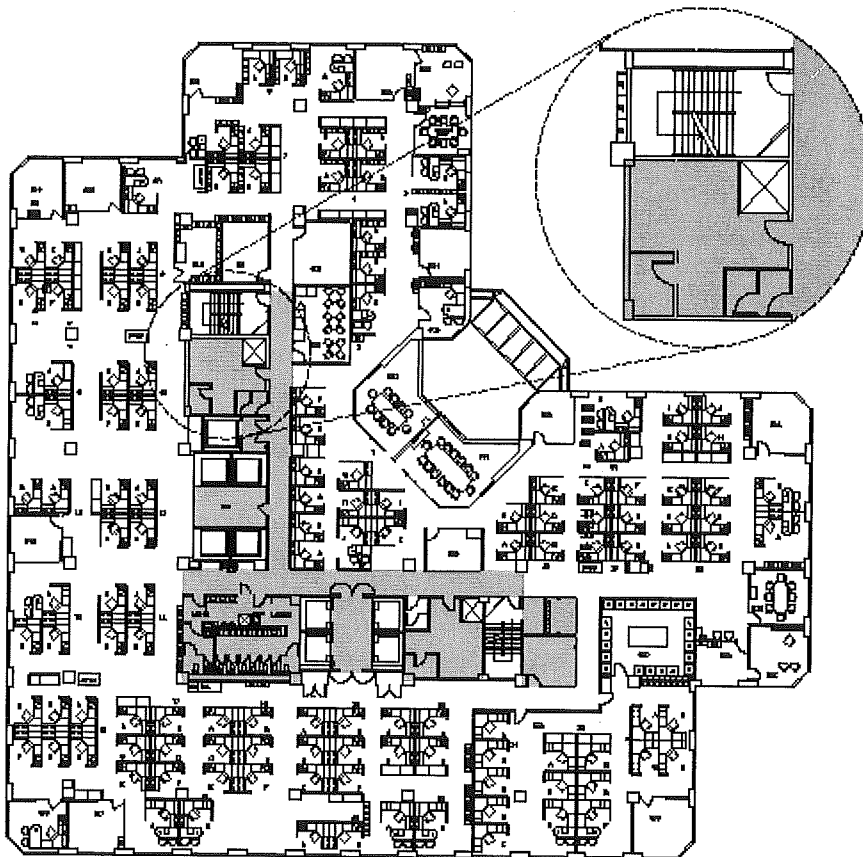
200,000	GBA
199,000	GMA
<u>-24,000</u>	VP
175,000	RSF
<u>-30,000</u>	FC
<u>-5,000</u>	BC
140,000	NUSF
<u>-5,000</u>	IC
135,000	NSF

Definition

Areas on a floor such as public toilets, janitorial closets, electrical rooms, telephone rooms, mechanical rooms, elevator lobbies, and enclosed public exit accessway corridors, which are available primarily for the use of the tenant.

Method of Measurement

Floor Common Area is measured to the outside surface of its enclosed walls, except when adjacent to a major vertical penetration. When adjacent to a major vertical penetration, the Floor Common Area is measured to the inside of its enclosed walls. When Floor Common Areas are adjacent to other Floor Common or Building Common Areas, the space is measured to the centerline of the connecting wall. When determining corridor areas, only horizontal spaces required for general access should be included – do not include aisles used for circulation within office suites or other working areas.



**Building
Common**

on Area – BC

(Some VA templates state that in regard to a particular space, e.g., mechanical rooms, “VA will not pay rent for this space.” You must deduct this footage from the common area calculation. However, VACO has verbally stated that this footage is irrelevant since VA only pays for the rentable.)

		Definition
200,000	GBA	
199,000	GMA	Areas of the building that provide common services to multiple building tenants, which include, main and auxiliary lobbies, atrium spaces at the level of the finished floor, concierge areas or security desks, conference rooms, lounges or vending areas, food service facilities, health or fitness centers, daycare facilities, locker or shower facilities, mail rooms, fire control rooms, fully enclosed courtyards outside the exterior walls, and building core and service areas such as fully enclosed mechanical or equipment rooms.
<u>-24,000</u>	VP	
175,000	RSF	
-30,000	FC	
<u>-5,000</u>	BC	
140,000	NUSF	
<u>-5,000</u>	IC	
135,000	NSF	

Method of Measurement

Building Common Area is measured to outside of its enclosed walls, except when adjacent to a major vertical penetration. When adjacent to a major vertical penetration, the Building Common Area is measured to the inside of its enclosed walls. When Building Common Areas are adjacent to other Building Common or Floor Common Areas, the space is measured to the centerline of the connecting wall.

Net Usable Square Feet – NUSF

200,000	GBA
199,000	GMA
<u>-24,000</u>	VP
175,000	RSF
-30,000	FC
<u>-5,000</u>	BC
<u>140,000</u>	NUSF
<u>-5,000</u>	IC
135,000	NSF

Definition

The floor area of a facility that can be used by an occupant for programmable purposes. VA calls this Departmental Gross. Net Usable Square Feet includes Internal Circulation via a factor, e.g., clinical factor 1.52. The floor area within the boundaries of a functional department as defined by a space planning criteria chapter, including floor area occupied by rooms/spaces, walls defining the spaces, and circulation corridors connecting the different rooms of the department.

Method of Measurement

Net Square Feet times factor for internal circulation.



Internal Circulation - IS

200,000	GBA	Definition
199,000	GMA	Portion of a building required for access to some subdivision of space, by walls or not, that is not defined as primary circulation.
<u>-24,000</u>	VP	
175,000	RSF	Method of Measurement
-30,000	FC	Generally, this amount is obtained via the "factors" from the design guides.
<u>-5,000</u>	BC	
140,000	NUSF	
<u>-5,000</u>	IC	
135,000	NSF	



Net Square Feet (NSF)(space criteria – Found in Technical Information Library)

200,000	GBA	Definition
199,000	GMA	Portion of the Net Usable Square Feet that can be assigned to occupant groups or functions. The floor area between the walls of a room or defined space. Net square feet excludes exterior walls, vertical penetrations, building common, floor common and internal circulation.
<u>-24,000</u>	VP	
175,000	RSF	
-30,000	FC	
<u>-5,000</u>	BC	
140,000	NUSF	Method of Measurement
<u>-5,000</u>	IC	Net square feet is measured to the centerline of its enclosed walls, except when adjacent to Major Vertical Penetrations, Floor Common and Building Common Area. In these situations, assignable area is measured to the interior of its enclosed walls.
135,000	NSF	

