


Approved: Project Director

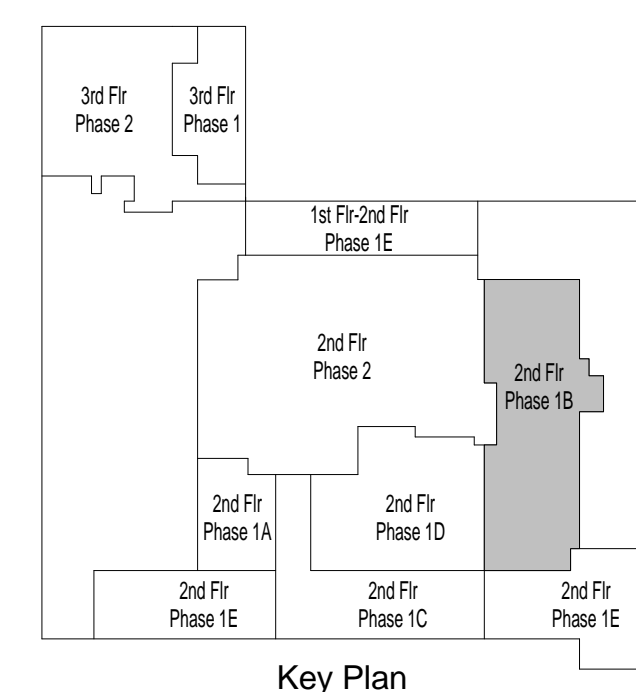
4/4/2013



Department of  
Veterans Affairs

1. All door locations in gypsum board partitions not dimensioned will be 4" from the studs of perpendicular wall to door edge (U.N.O.).
2. All dimensions are from face-of-stud, face of concrete, or center of framed opening, unless noted otherwise.
3. For dimensions of masonry walls and rough openings, see the Structural drawings. Masonry dimensions shown on this plan are for reference only. Any discrepancies found between the dimensions on this sheet and the Structural drawings shall be brought to the immediate attention of the Architect.
4. Provide 6" wide, 24 gage flat strap blocking behind all fixtures and wall mounted accessories. This includes cabinets and any other items that are wall mounted. Blocking shall span a minimum of three studs and be connected to each stud with a minimum of two screws.
5. Refer to Mechanical and Electrical plans for equipment related to those disciplines. All required equipment not necessarily noted on these plans.
6. Room Signage: Provide signs adjacent to doors where indicated on interior elevations. Signs will be ADA compliant and the text will be that indicated on the Room Signage Schedule.
7. Openings, pockets, etc. shall not be placed in slabs, beams, columns, walls, etc., unless specifically detailed on the drawings.
8. Cap all open ends in structural steel components, typical.
9. The exposed concrete floors will have all exposed construction and control joints sealed with a polyurethane sealant bead (backer not where required).
10. Provide a rubber-vingi reducer or transition trim at all intersections of carpet and resilient tile, carpet and vinyl sheet goods, or at all edges of carpet that abut a raised or lowered surface of dissimilar material.  
Note: Provide replacement transitions or reducers only where removal of existing flooring is not required for removal of reducer trim replacement.
11. Refer to the Site Plan for concrete stoops and walkways.
12. Equipment is shown for reference only. Equipment is to be provided by Owner and installed under separate contract.
13. Kitchen equipment is Owner supplied and Contractor installed. Contractor is to provide rough-ins for Plumbing and Electrical. The Contractor shall also provide the Mechanical exhaust, exhaust hood and make-up air. The Contractor shall complete the final hookup and installation of the kitchen equipment as provided by the Owner. Coordinate exact locations of rough-ins with the owner's kitchen consultant prior to construction. See Food Service, Mechanical, Plumbing and Electrical Drawings.
14. There should be no surface mounted equipment. All conduit to be concealed.
15. See Code Analysis Plans, sheets G211, G212 and G213, for fire rated construction, rated enclosures, and occupancy classifications.
16. The Contractor shall install one (1) Owner provided recessed mounted "Knox Box" #3270 (Black) or #3273 (Aluminum) or surface mounted #3261 (Black) or #3263 (Aluminum) in an exterior wall location selected by the Owner and installed 6'-0" A.F.F. The Contractor shall include the cost of the "Knox Box" in his bid and shall acquire "Knox Box" in association w/ the local fire agency. Contractor shall include all labor for installation in his bid.
17. Sand, grind, or patch (e) concrete floor as required to accommodate new construction. Install leveling compound as required. See Structural drawings for additional information.
18. Where new gypsum board walls abut existing concrete scabbe to fit tightly and caulk. Rated walls shall receive fire rated sealant where required to maintain rating.
19. Repair and repaint the entire wall where alteration work is performed. U.N.O. Paint color to match (e) walls and areas adjacent.
20. All touch up and new painting will be as follows:  
Bottom coat: Latex primer  
Intermediate coat and top coat: Acrylic Latex Enamel
21. Sheen shall match existing adjacent surfaces. Contractor to coordinate paint manufacturer with Owner to match (e) maintenance paint stock.
22. Texture all existing gypsum board walls to match texture of new walls where noted.
23. Where plumbing fixtures are to be removed and no new fixture is to be installed, patch water supply hole with gypsum board, texture and paint to match wall. At waste opening, provide new chrome clean over plate with vandal resistant screen. Plate to be attached to cap inside chase. Provide interior sealant around perimeter of new cover plate.
24. The Contractor shall clean all existing ceramic tile prior to installing any new fixtures and toilet partitions.
25. Temporary construction walls and other measures must conform to Infection Prevention Measures as prescribed in Division 01 - General Requirements and reviewed with the VASHNIC's Infection Control Risk Assessment (ICRA) team.
26. All construction activities need to be coordinated with the schedule of operations of the areas adjacent to construction including any areas above or below that may be impacted.
27. The contractor shall be responsible for coordinating support systems for medical equipment, to be supplied and installed by others. Due to the technical nature of the medical equipment, it is imperative the contractor request and obtain product information from the resident engineer prior to system rough-in. If the equipment to be installed differs in manual, model or location from that shown on the construction drawings, the contractor shall notify the architect immediately. The rough-in work may not proceed until the architect and the design team has reviewed the MPRAE systems, structural support and radiation shielding for compatibility with the construction drawings.

 Metal stud and gypsum board wall assemblies with lead-line gypsum board one side

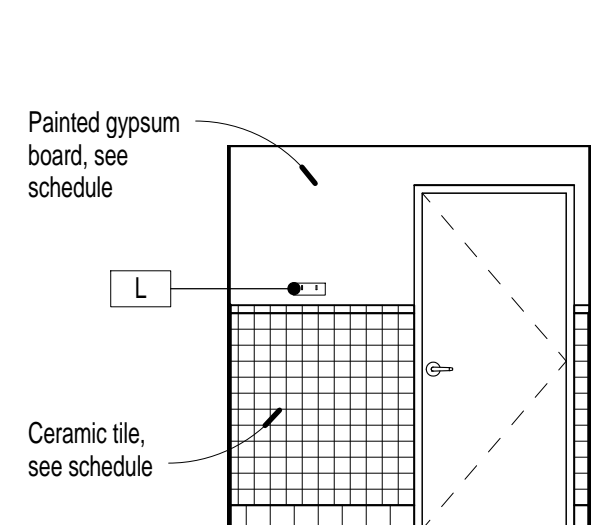


# Bid Documents - Final

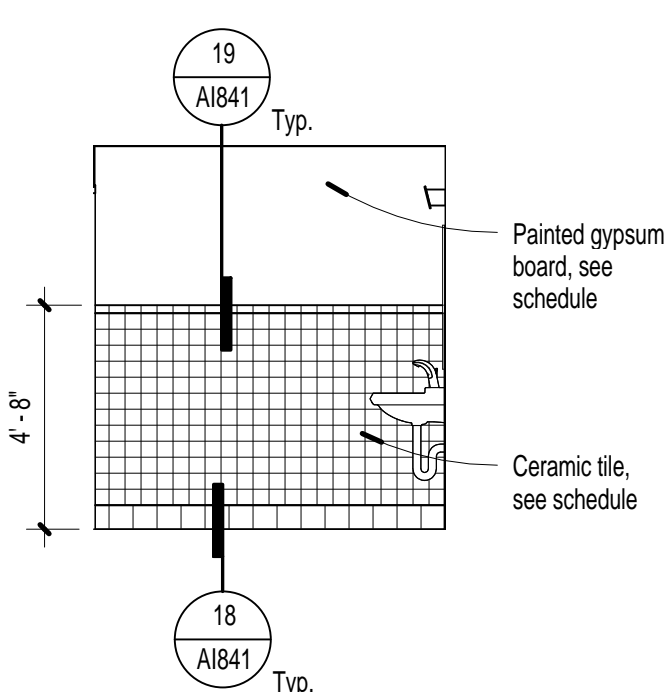
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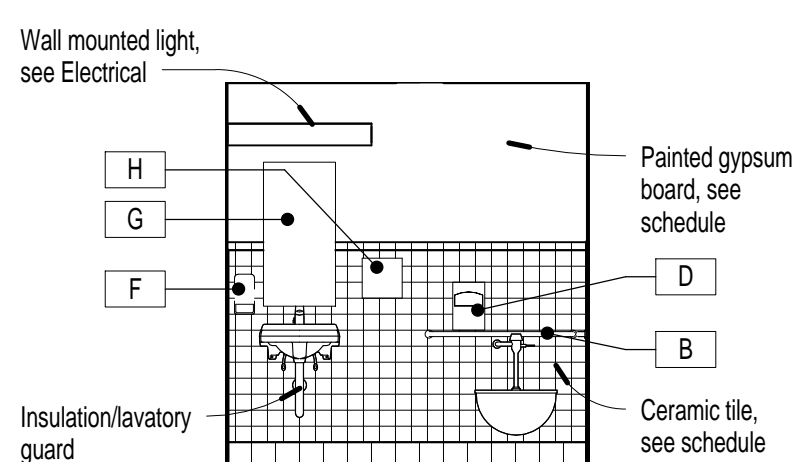
Toilet Accessories Schedule				
Mark	Description	Manufacturer	Model	Comments
A	Grab Bar 42"	Bobrick	B-6806	
B	Grab Bar 36"	Bobrick	B-6806	
C	Vertical Grab Bar 18"	Bobrick	B-6806	
D	Seat Cover Dispenser	Safe-T-Gard		
E	Toilet Tissue Dispenser	San Jamar	Twin 9" JBT	
F	800 ML Deluxe Soap Dispenser	Vinoxex		
G	Mirror with Stainless Steel Channel Frame	Bobrick	B-165-1836	
H	Paper Towel Dispenser	Kimberley-Clark		
J	Sanitary Napkin Disposal	Bobrick	B-254	
K	Wall Mounted Bench	Pilot Rock	WMB	
L	Garment Hook, Double, SS, Surface Mounted	Bobrick		
S	Mop Rack	Bobrick	B-239 x 34	
T	Grab Bar 30"	Bobrick	B-6806	
U	Mirror with Stainless Steel Channel Frame	Bobrick	B-165-2448	
V	Stainless Steel Clothes Hook	Bobrick	B-233	



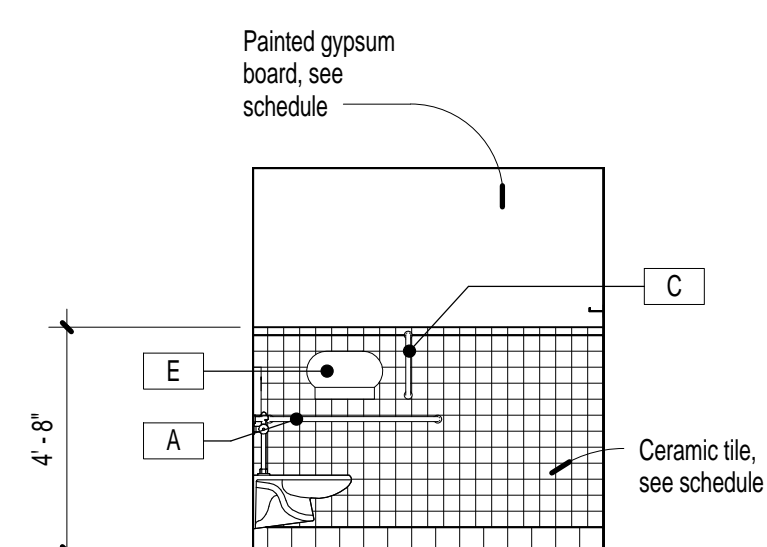
14 Unisex Toilet G2553 South



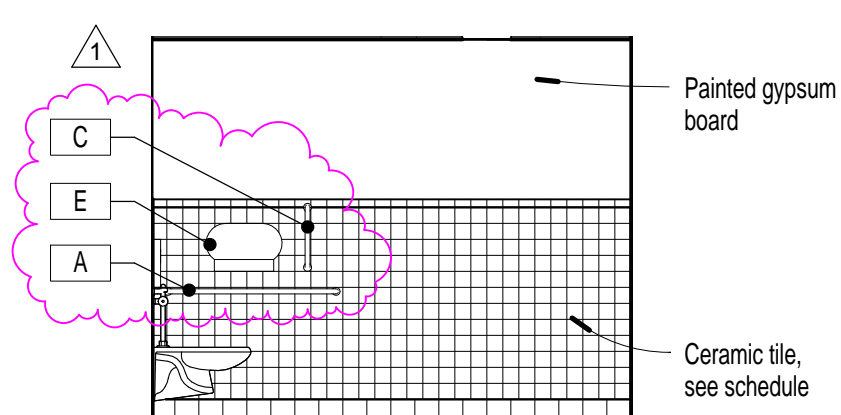
13 Unisex Toilet G2553 West



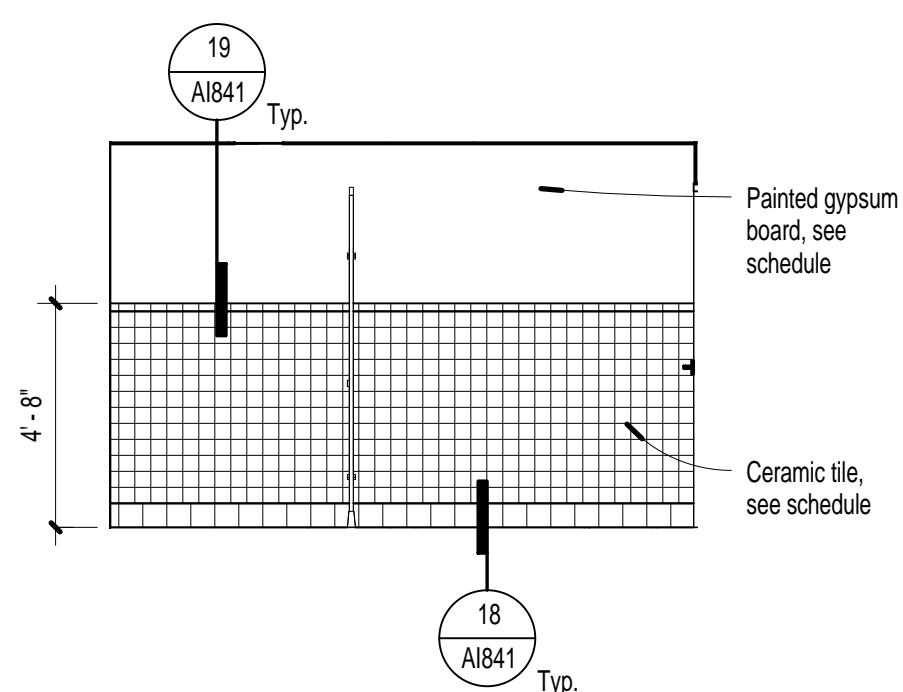
12 Unisex Toilet G2553 North



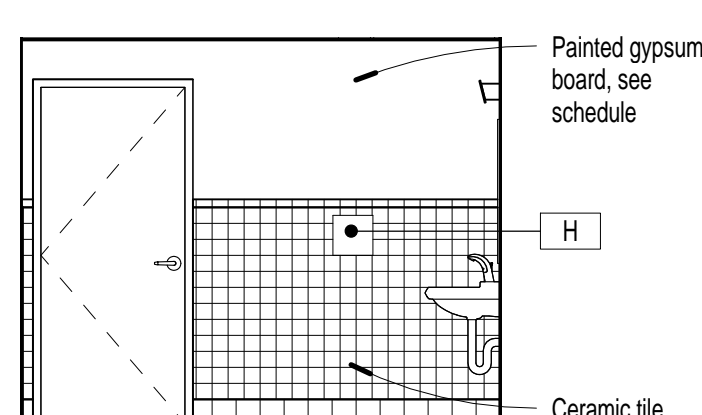
11 Unisex Toilet G2553 East



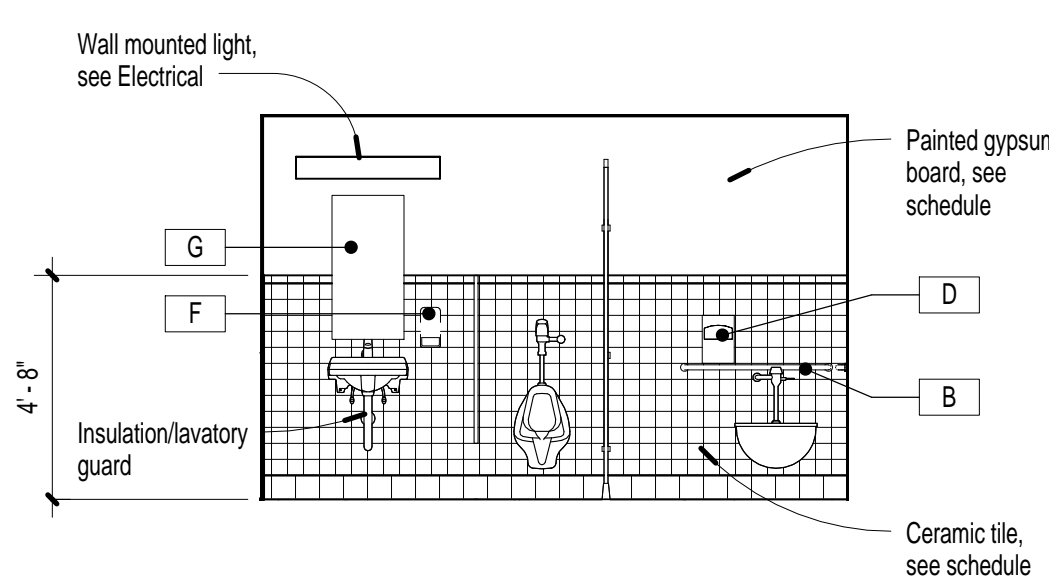
10 Restroom - Men G2507 South



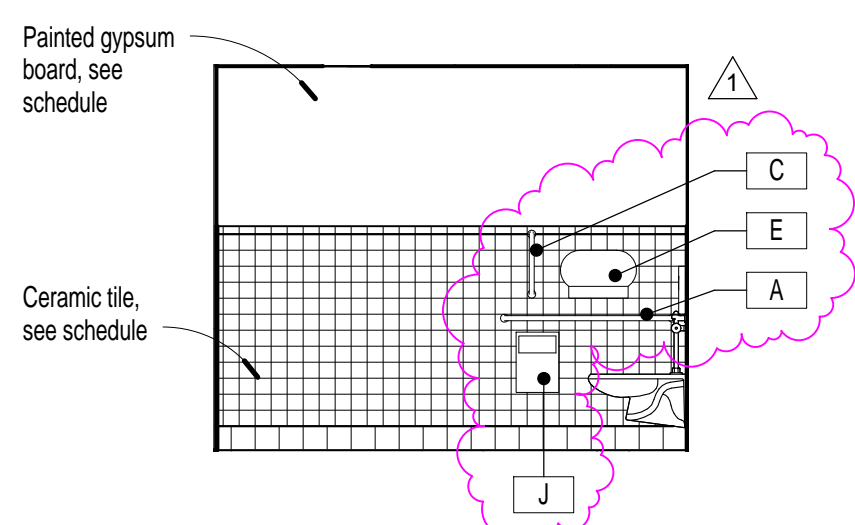
9 Restroom - Men G2507 West



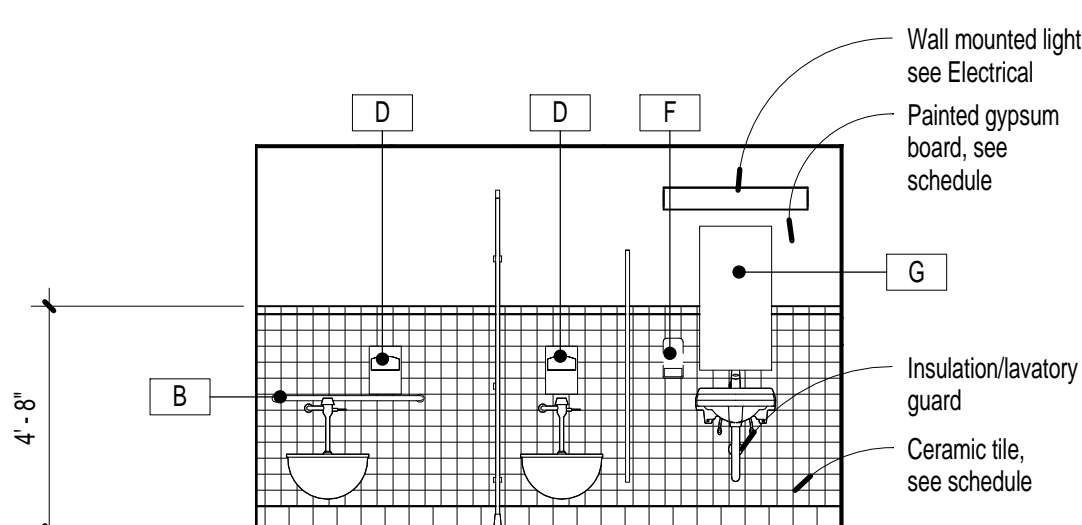
8 Restroom - Men G2507 North



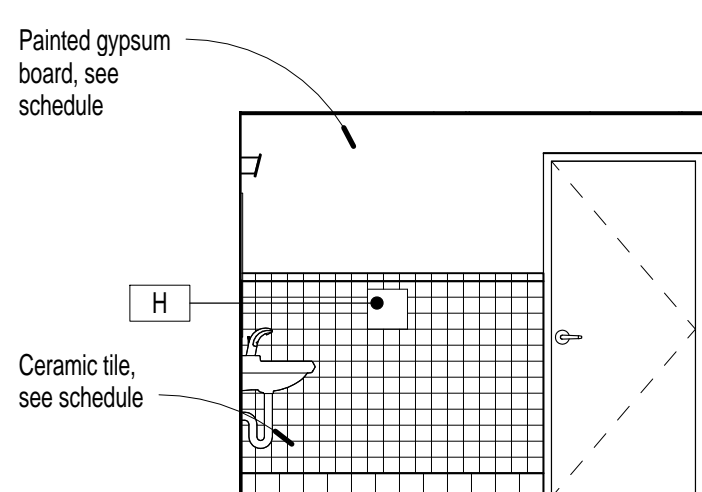
7 Restroom - Men G2507 East



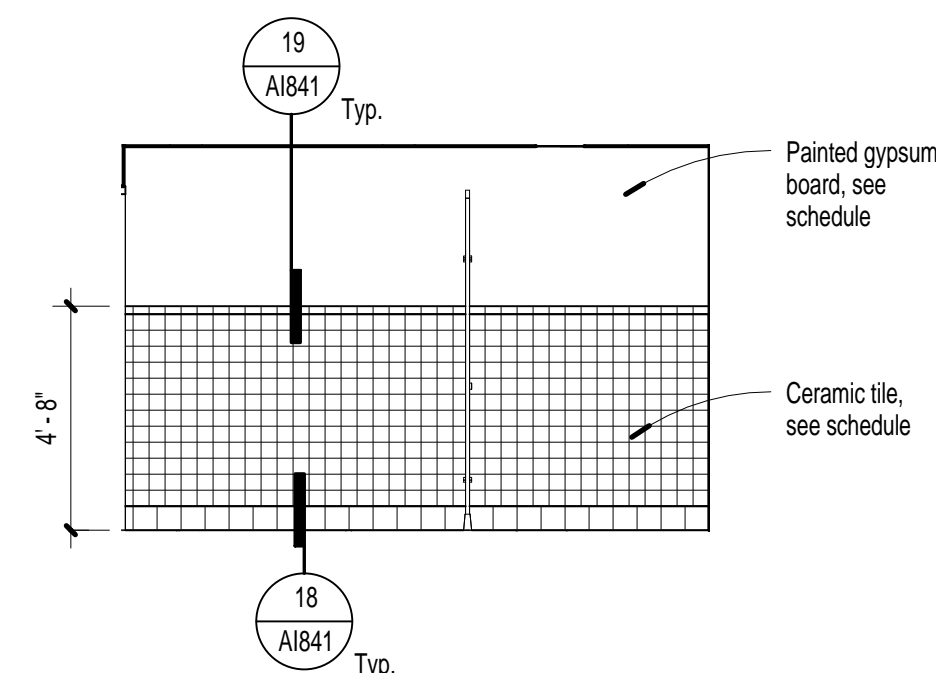
6 Restroom - Women G2506 South



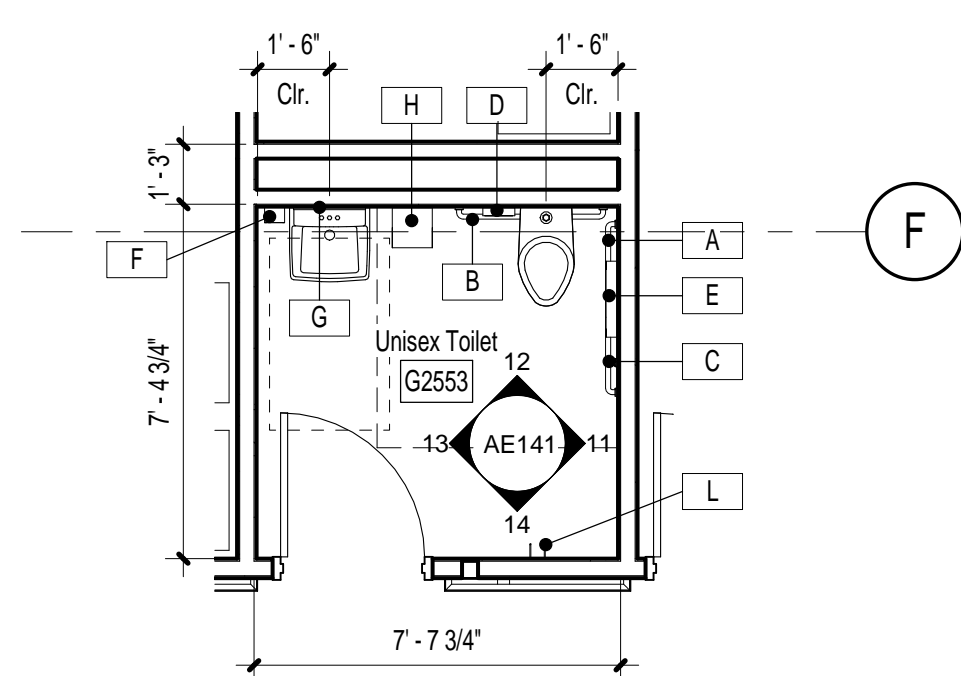
5 Restroom - Women G2506 West



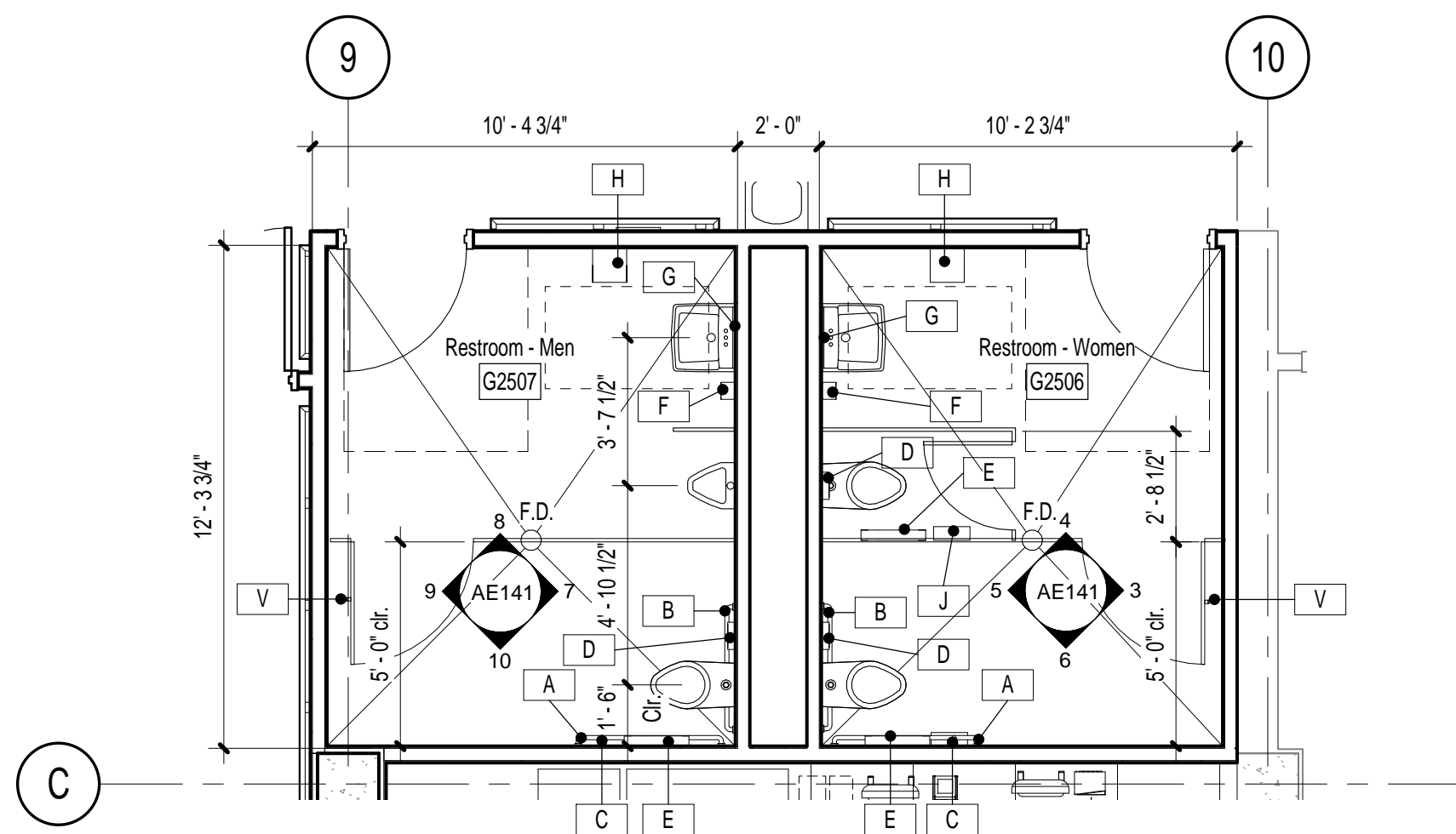
4 Restroom - Women G2506 North



3 Restroom - Women G2506 East



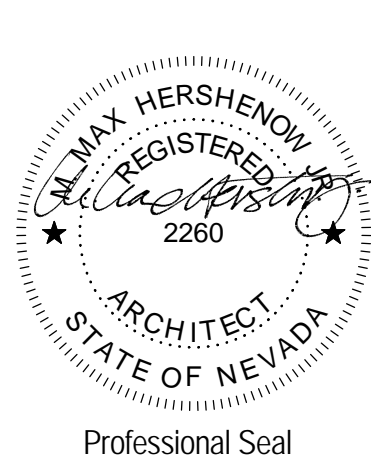
Unisex Toilet G2553



Restroom - Men G2507 / Restroom - Women G2506

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CONSULTANTS:



ARCHITECT/ENGINEERS:  
**H+K ARCHITECTS**  
5485 Reno Corporate Drive, Suite 100  
Reno, Nevada 89511-2262  
P 775+332+6640  
F 775+332+6642  
hkarchitects.com



Drawings Title	Phase 1 Restroom Plans and Elevations
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Approved: Project Director

Project Title	Remodel and Expansion of DICE Services
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Location	975 Kirman Avenue, Reno, NV 89502
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Date  
4/4/2013

Checked  
LM

Drawn
DG

Project Number  
654-777Building Number  
1D

Drawing Number

AE141

Office of  
Construction  
and Facilities  
Management



# Bid Documents - Final