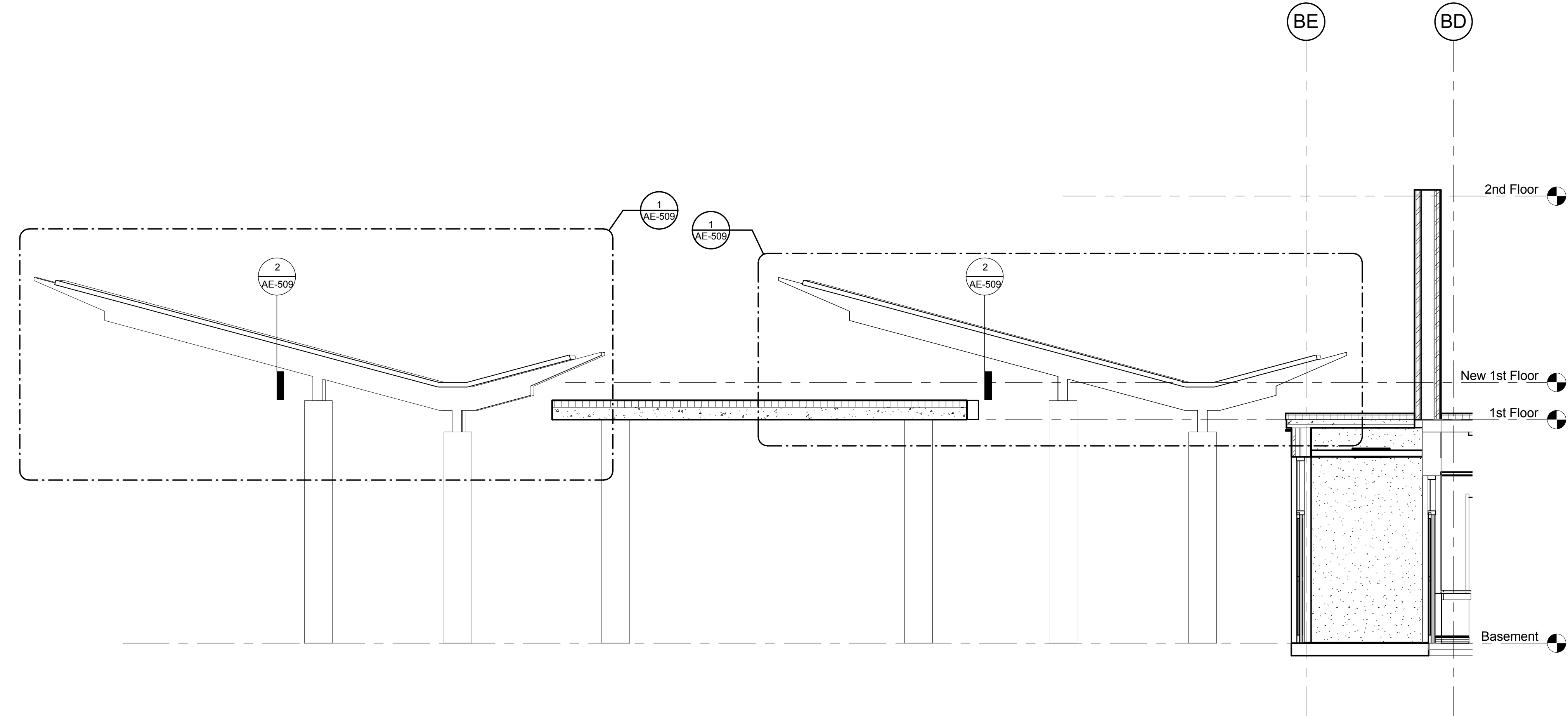


1 Roof Plan - Phase II - Canopy
1/8" = 1'-0"




2 Canopy Section
1/4" = 1'-0"

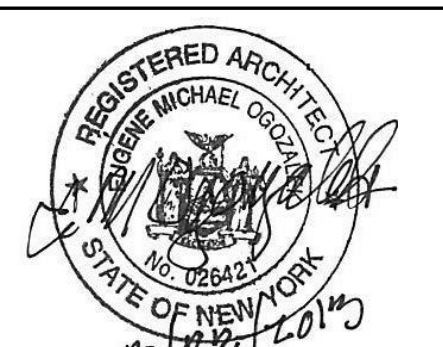
| Plan & ICRA Keynotes | |
|----------------------|--|
| Key Note # | Description |
| 1 | Temporary ICRA barrier. See "ICRA Notes and Details" Sheet for Wall Construction. ICRA Barrier locations will be limited to 1'-0" in the 6'-0" wide corridors and 2'-0" in 8'-0" wide corridors. Coordinate Locations with VA COR. Remove After Full Activation and Patch/Repair Floors, Walls, and Ceiling to Matching Surrounding Area. |
| 2 | Existing Full Height Partition to Be Used as ICRA Barrier (See detail on "ICRA Notes and Details" sheet). See "ICRA Notes and Details" sheet for detail to extend any existing walls that do not extend to deck above. |
| 3 | Anteroom Contractor Shall Provide Ante Rooms To Prevent The Transfer Of Dust & Debris Between The Construction & Non Construction Areas. Anteroom Shall Have A Negative Pressure Relative To Occupied Spaces. Shall Be Fitted With A Ball-in-tube Clearly Visible at public corridor. |
| 4 | Temporary ICRA Door (See Detail on "ICRA Notes and Details" Sheet). |
| 5 | Install ICRA Contact mat at ICRA Doors. (Sticky Mat) |
| 6 | Remove existing ceiling system and ceiling mounted devices in their entirety. Before removing plaster ceiling see asbestos abatement requirements. |
| 7 | Remove existing flooring if not removed during asbestos abatement. Prepare existing flooring as required by specs and manufacturer to receive new floor finish. Patch all holes and voids in existing flooring prior to installation of new floor finish. |
| 8 | Remove portion of existing wall to accommodate new door and frame. |
| 9 | Demolish existing plumbing fixture, cap supply and sanitary lines. |
| 10 | Demolish existing millwork and plumbing fixture, cap supply and sanitary lines. |
| 11 | Remove existing B.U. roof membrane & substrate during Phase II. Contractor to Ensure Construction Activity does not interfere w/ VA Daily Operations. As per Deduct Alternate 1, existing BU roof to remain and only new penetration and flashing work to occur. |
| 13 | Remove door and frame in its entirety. |
| 14 | New Fire Extinguisher Cabinet (See Interior Details for Construction) |
| 15 | Remove portion of existing wall from 34" below finish slab to floor above. Refer to Structural Drawings for additional demolition requirements to install new structure. |
| 16 | Remove existing window or louver & frame in its entirety. Secure window opening w/ 5/8" Fire Rated Plywood. See HA drawings for Asbestos abatement. |
| 17 | Remove existing roof structure / construction as required for new addition. |
| 18 | Infill opening with same construction as existing (see Structural drawings.) |
| 19 | New .045"EPDM roof system (Minimum R25). Slope 1/4" / Foot. |
| 20 | Remove portion of existing slab as required to install new structural column & foot. See Structural. |
| 21 | Existing TELCO Panel and Conduits to remain. Remove existing Access Door. |
| 23 | Max occupancy load is limited to 49. Contractor to indicate max occupancy load. |
| 24 | New steel locking access panel. Paint to match adjacent finishes. |
| 25 | Demo / Expose chase enclosure in it's entirety. |
| 26 | Existing Abandoned Fire Alarm Panel and Associated Wiring to be Removed in its Entirety. |
| 27 | Infill Door Opening with Construction to Match Adjacent Walls |
| 28 | Remove Existing Wall Mounted Toilet Accessories Including but not Limited to Soap Dispensers, Toilet Paper Holders, Paper Towel Dispensers, Mirrors, Etc. |
| 29 | Remove Existing Ceramic Tile Wallcovering & Prepare Substrate to Receive New Finish as Specified. |
| 30 | Remove Existing Wall in its entirety. Existing Light Switch to be Relocated to Adjacent Wall & Existing Surface Mounted Power Conduit to be Rerouted Overhead. |
| 31 | Existing Rooms not in Contract. Rooms will be Vacant During Phase I Construction & Available for Contractor. Contractor to Protect Existing Surfaces from Damage & will be Responsible for Repair of any Damage as a Result of Construction Activity. |
| 32 | Existing Rooms to be Renovated in Phase 2. These Rooms will be Vacant During Phase 1 and Available for Contractor Use. |
| 33 | GC Shall Install Tamper Resistant Screws. Typical Entire Room. |
| 34 | Remove Existing AC units and infill with salvaged block. |
| 35 | Existing CO2 Canisters to remain. |
| 36 | Temporarily relocated location of Phlebotomy Waiting. |
| 37 | Saw Cut existing slab for Plumbing demolition and new work in area hatched. Coordinate with Plumbing Drawings. Patch according to structural details. |
| 38 | Existing HVAC Equipment to be demolished. Refer to Mechanical drawings for more information. Roof to be patched per Deduct Alternate 1. |
| 39 | As per Deduct Alternate 2, this section of canopy will not be included in contract. Refer to specifications for more information. |
| 40 | Existing BU Roof to remain. |
| 41 | New penetration in existing BU roof system. |
| 42 | Rooms in hatched region are to be fitted out by owner as per Deduct Alternate 4. Refer to specifications for more information. |
| 43 | Contractor to demo all interior furred walls to structural masonry and demo encapsulated windows. See Asbestos Plans. |
| 44 | Infill existing door to create temporary ICRA barrier. See "ICRA Notes and Details" Sheet for Wall Construction. ICRA Barrier locations will be limited to 1'-0" in the 6'-0" wide corridors and 2'-0" in 8'-0" wide corridors. Coordinate Locations with VA COR. Remove After Full Activation and Patch/Repair Floors, Walls, and Ceiling to Matching Surrounding Area. |
| 45 | Provide construction barrier to protect fire alarm panel. |
| 46 | Temporary 5'-0" x 5'-0" x 7'H temporary grate platform w/ rail at 36" high for emergency egress. |
| 47 | New .045 White Fully Adhered EPDM over glass mat protection board on box decking. See details. |

| Revisions: | Date |
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Architect/Engineer:


Architecture
SERVICE DISABLED VETERAN OWNED SMALL BUSINESS

Seal:



| Drawing Title | | Project Title | | Date |
|---------------------------|--|--|--|----------------|
| Canopy Plans and Sections | | Expand and Renovate Urgent Care Area - 15E at Castle Point | | March 22, 2013 |
| Scale | | Building Number | | Project No. |
| As Noted | | 15 | | 620-332 |
| Issued For | | Location | | Drawing No. |
| Final Contract Documents | | 100 Route 9D Castle Point, NY 12511 | | AE-508 |